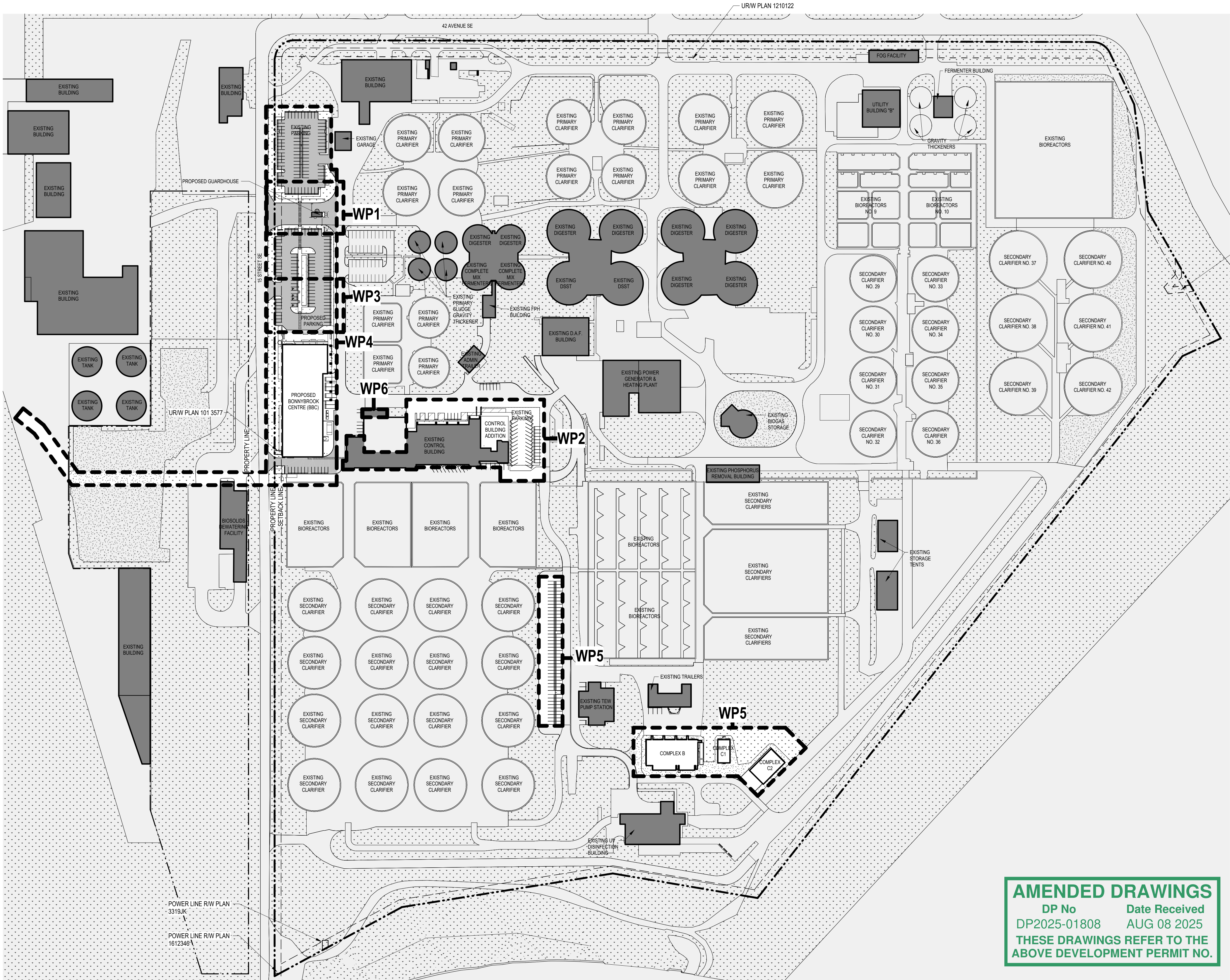


KEY SITE PLAN LEGEND

- AREA OUTSIDE OF PROJECT SCOPE
- EXISTING BUILDING
- LANDSCAPE
- HEAVY DUTY ASPHALT

- PROPERTY LINE
- SETBACK LINE

- SCOPE BOUNDARY

- WP1** WORK PACKAGE #1 - NEW GUARDHOUSE
(PHASE 1)
DP2020-5042
BP2024-18652
- WP2** WORK PACKAGE #2 - CONTROL BUILDING RENOVATION & ADDITION
(PHASE 3)
DP2024-07268
- WP3** WORK PACKAGE #3 - ADMINISTRATION BUILDING DEMOLITION
(PHASE 4)
BP2025-06701
- WP4** WORK PACKAGE #4 - NEW BONNYBROOK CENTRE (BBC) & PARKING LOT
(PHASE 5, 6, 7)
DP2025-01808
- WP5** WORK PACKAGE #5 - TEMPORARY FACILITIES FOR THE CONTROL BUILDING CONSTRUCTION
(PHASE 2)
DP2024-08321
BP2025-10891 (COMPLEX B - OFFICES)
BP2025-08995 (COMPLEX C - OFFICE & PARTS STORAGE)
BP2025-08997 (COMPLEX D - TENT)
- WP6** WORK PACKAGE #6 - SWITCHGEAR UPGRADE

SITE PLAN NOTES

MUNICIPAL ADDRESS:
4500 15 ST SE, CALGARY, AB T2G 3M8

LEGAL ADDRESS:
LOT 1, BLOCK 1, PLAN 111 2448
WITHIN THE S.W. 1/4 SEC. 1, TWP. 24, RGE. 1, W5m

PARCEL AREA:
407,270 m²

FLOOR AREA RATIO:
10,675 m² / 407,270 m² = 0.026

B	ISSUED FOR DEVELOPMENT PERMIT REV. 1	2025-08-05	M.W.	V.A.
A	ISSUED FOR DEVELOPMENT PERMIT	2025-03-17		
NO.	DESCRIPTION	DATE	BY	APPD

PERMIT SEAL

PRELIMINARY - NOT FOR CONSTRUCTION

	BY	DATE
DESIGNED	Designer	2025-03-17
DRAWN	Author	2025-03-17
CHECKED	Checker	2025-03-17

SCALE As indicated



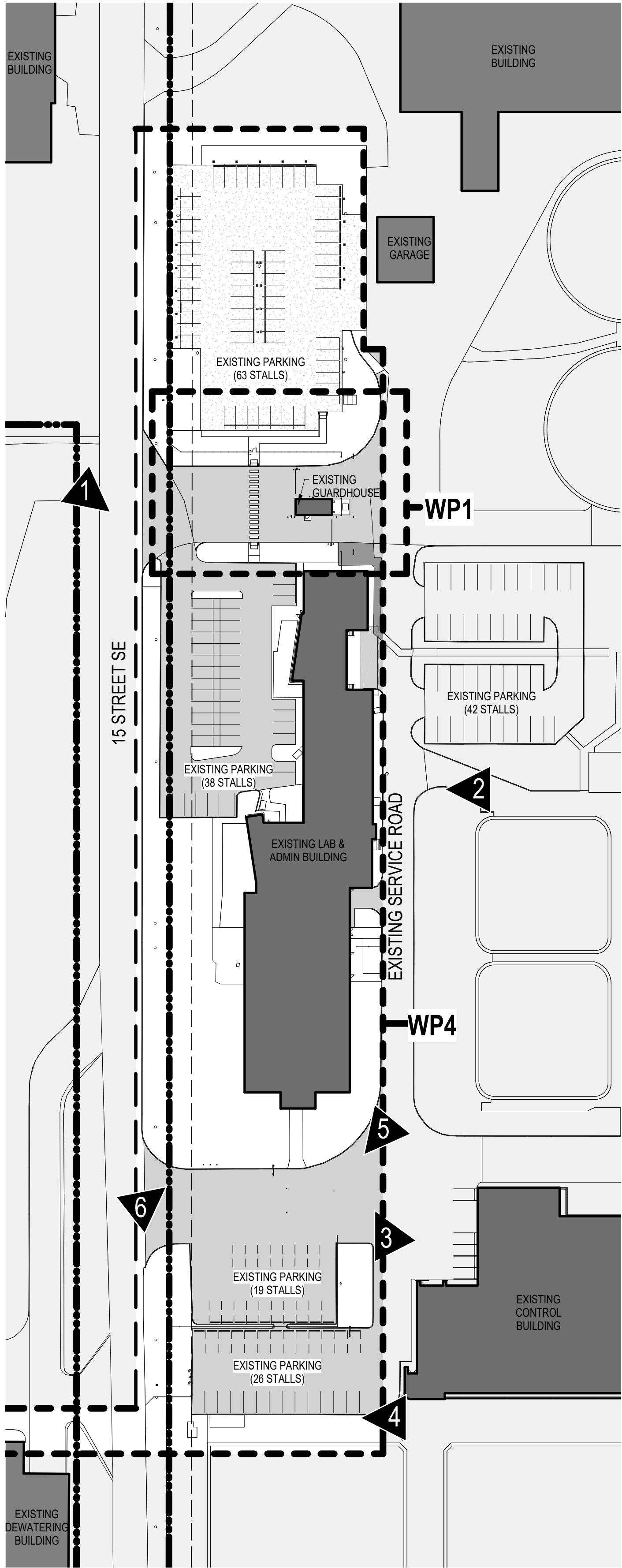
PROJECT BONNYBROOK CENTRE AND CONTROL BUILDING RENOVATION
WP4 - BBC

4500 15 ST SE, Calgary, Alberta Plan 111 2448, Block 1, Lot 1

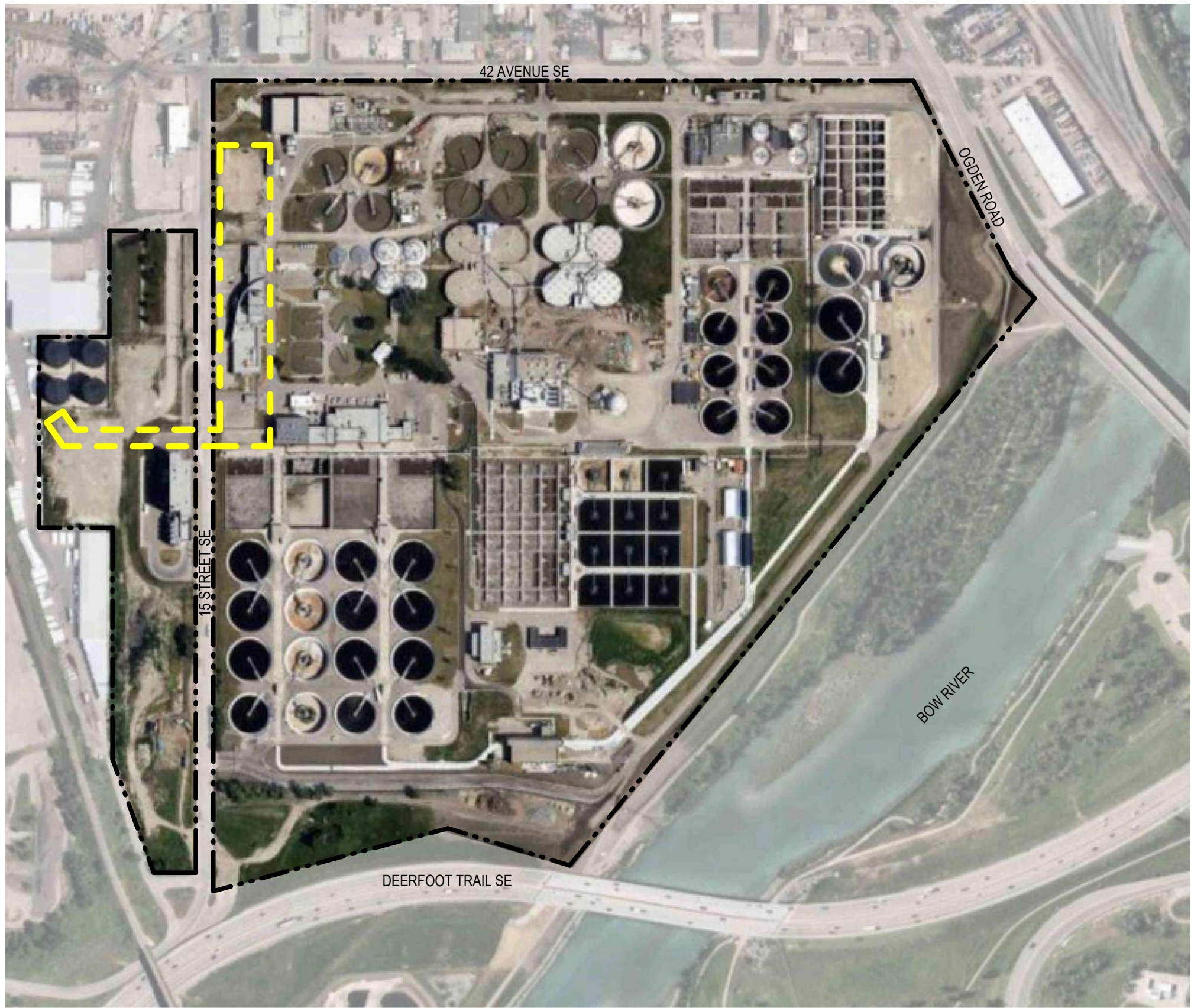
SHEET TITLE KEY SITE PLAN

RFP	23-1607	MICROFILM NO.	446.0294
ACTIVITY CODE	454718	WORK PACKAGE	WP4
PSD PROJECT	23088-23	ASSET ID	xxxxx
UPN	101679	CORPORATE STRUCTURES ID	xxxxxxx
CONSULTANT PROJECT NO.	5987	SHEET NO.	DP-B04A-A101

AMENDED DRAWINGS
DP No Date Received
DP2025-01808 AUG 08 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



1 DP - BBC - BBC PHOTOGRAPHY REFERENCE PLAN
DP-B04A-A102 Scale: 1:750



KEY PLAN



1 BONNYBROOK SITE WEST FROM 15TH STREET SE



2 BONNYBROOK SITE EAST FROM SECURED AREA



3 BONNYBROOK SITE SOUTH



4 BONNYBROOK SITE SOUTH PARKING - LOOKING WEST



5 BONNYBROOK SITE GATEHOUSE - LOOKING WEST



6 BONNYBROOK SITE SOUTH FROM 15TH STREET SE

PROJECT DESCRIPTION

THE BONNYBROOK CENTRE (BBC) IS PART OF A MULTI-PHASE PROJECT AT THE BONNYBROOK WASTEWATER TREATMENT PLANT. THE PROJECT INCLUDES THE GUARDHOUSE REPLACEMENT (DP2020-5042), THE TEMPORARY FACILITIES (DP2024-08321), THE RENOVATION AND ADDITION OF THE CONTROL BUILDING (DP2024-07268), AND THE NEW BONNYBROOK CENTRE (BBC) FOR LAB AND ADMINISTRATIVE SPACES (DP2025-01808). THIS DEVELOPMENT PERMIT APPLICATION CONSISTS OF A NEW BUILD OF 10,650m² AND ASSOCIATED PARKING. THE WP1 - NEW GUARDHOUSE HAS BEEN APPROVED UNDER A DIFFERENT DP AND IS OUTSIDE OF THIS DP APPLICATION. THE BUILDING CONSISTS OF LAB ON THE MAIN FLOOR, ADMINISTRATION SPACE ON LEVEL 2 AND 3 AND A MECHANICAL PENTHOUSE ON LEVEL 4. THE BUILDING HAS TWO BASEMENT LEVELS FOR SERVICE SPACES. THE LOWER BASEMENT CONNECTS TO THE EXISTING SERVICE TUNNEL SYSTEM. THIS PROPERTY CURRENTLY HAS 263 PARKING STALLS. THIS PROJECT SCOPE IS REMOVING 83 AND ADDING 119 PARKING STALLS. A TOTAL OF 36 PARKING STALLS ARE ADDED TO THE PROPERTY.

PROJECT INFORMATION & BYLAW REVIEW

MUNICIPAL ADDRESS: 4500 15 St SE Calgary, AB

LEGAL ADDRESS: LOT 1, BLOCK 1, PLAN 111 2448

LAND USE: S-CRI

PROPOSED FLOOR AREA: 10,650 m²

PROPERTY LINE SETBACK REQUIRED: 6m

STREET SETBACK REQUIRED: 6m

LANE SETBACK REQUIRED: 3m

VEHICLE PARKING:

- NORTH OF BBC: 84 PARKING STALLS
- LAB / VISITOR PARKING: 87 PARKING STALLS
- SOUTH OF BBC: 11 PARKING STALLS
- EAST OF EXISTING LAB: 42 PARKING STALLS
- CONTROL BUILDING: 75 PARKING STALLS
- NEW BBC LOADING STALLS: 1 LOADING STALL REQUIRED, 5 ADDITIONAL PROVIDED

no.	Revision Description
1	Sheet added for site details.
2	The exterior rendering has been updated to reflect the new canopy design
3	Project description has been revised to reflect updated parking numbers
4	Per Utility Engineering request, Fire truck sweeping path has been updated to "CFD Bronto Skylift" sweeping path
5	The drop off has been revised to suit a bus or fire truck
6	The fire hydrant location has been relocated closer to the front entrance of the building
7	The parking layout has been adjusted to suit a minimum stall length of 5.4m The extent of the parking area has moved north slightly. The parking now accommodates 84 stalls.
8	The parking layout has been adjusted to suit a minimum stall length of 5.4m The lab/visitor parking has changed to accommodate 88 stalls. The site entrance of the lab/visitor parking has shifted to the south away from the guardhouse entrance.
9	The canopy design has been adjusted, which include column spacing and the employee outdoor seating.
10	24x Class 1 bike stalls have been added under the canopy
11	12x Class 2 bike stalls have been added to the secured site area east of the BBC
12	The locations of the proposed generator and gas tank have been adjusted
13	Bollards have been added around the gas meter
14	Security gate revised to bi-fold fence gates
15	11 parking stalls have been added south of the BBC
16	Site signage details added
17	Basement exit stair location has been relocated. An exit door for the basement stairs have been added to the south elevation of the building
18	Canopy design revised

AMENDED DRAWINGS
DP No DP2025-01808 Date Received AUG 08 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

B	ISSUED FOR DEVELOPMENT PERMIT REV. 1	2025-08-05	M.W.	V.A.
A	ISSUED FOR DEVELOPMENT PERMIT	2025-03-17		
NO.	DESCRIPTION	DATE	BY	APPD
PERMIT		SEAL		
PRELIMINARY - NOT FOR CONSTRUCTION				
	BY	DATE (YYYY-MM-DD)		
DESIGNED	Designer	2025-03-17		
DRAWN	Author	2025-03-17		
CHECKED	Checker	2025-03-17		
SCALE				
As indicated				
  				
PROJECT				
BONNYBROOK CENTRE AND CONTROL BUILDING RENOVATION WP4 - BBC				
4500 15 ST SE, Calgary, Alberta				
Plan 111 2448, Block 1, Lot 1				
SHEET TITLE				
PROJECT INFORMATION, SITE PHOTOGRAPHS & BYLAW REVIEW				
RFP		MICROFILM NO.		
23-1607		446.0294		
ACTIVITY CODE		WORK PACKAGE		
454718		WP4		
PSD PROJECT		ASSET ID		
23088-23		xxxxxx		
UPN		CORPORATE STRUCTURES ID		
101679		xxxxxxxxxx		
CONSULTANT PROJECT NO.		SHEET NO.		
5987		DP-B04A-A102		

SITE PLAN SHOWING SURVEY OF A PORTION OF **BONNYBROOK WASTE WATER TREATMENT PLANT**

AFFECTING
LOT 1, BLOCK 1, PLAN 111 2448

WITHIN THE
S.W. 1/4 Sec.1, Twp.24, Rge. 1, W5M
CALGARY, ALBERTA 2020



LEGEND

The following symbols may appear on this plan:

Statutory iron posts are shown thus:	•
Temporary survey points are shown thus:	•
Alberta Survey Control Markers found shown thus:	•
Geo-reference point shown thus:	•
Catch basins shown thus:	•
Fire Hydrants Shown Thus:	•
Manholes shown thus:	•
Monitoring wells (cone holes / test holes shown thus:	•
Pole anchors shown thus:	•
Power poles shown thus:	•
Flag poles shown thus:	•
Sign posts shown thus:	•
Outdoor Spot/Lamp Lights	•
Street Lights / Lamp Standards / Davits shown thus:	•
Traffic signal (pole bases) shown thus:	•
Trees shown thus:	•
Water valves shown thus:	•
Bollard shown thus:	•
Electrical Plug (Outdoor) shown thus:	•
Vault Anchor shown thus:	•
Vault Access Hatch shown thus:	•
Nm Door shown thus:	•
Vehicle Door shown thus:	•
Concrete Tunnel shown thus:	•
Sanitary Concrete Tunnel shown thus:	•
Existing Concrete Tunnels as shown from drawing number B01A-C104 (Rev. 3) shown thus:	•
Concrete Tunnels removed and disposed as shown from drawing number B01A-C104 (Rev. 3) shown thus:	•
Electrical line (overhead) shown thus:	•
Fence line (chain link / barb wire) shown thus:	•
Fence line (cable wire) shown thus:	•
Fibre Optic line shown thus:	•
Gas line shown thus:	•
Sanitary line shown thus:	•
Shaw cable line shown thus:	•
Storm line shown thus:	•
Telus line shown thus:	•
Water line shown thus:	•
Sludge line shown thus:	•

NOTES

Distances and elevations are in metres and decimals thereof
Bearings are grid bearings and are derived from GNSS observations at ASCM 311787
Datum: NAD83 (Original)
Projection: UTM
Reference Meridian: 111° 15' 57.9" W
Combined Scale Factor: 0.999714
GNSS derived grid coordinates of the Geo-reference point: 5653256.17 m N
Control Marker 311787 (elevation: 1057.591)

Elevations shown are Geoidic and are derived from Alberta Survey Control Marker 311787 (elevation: 1057.591)

Contours are shown thus:

Index Contours are shown thus:

Contour intervals are 0.25 metres

Underground Utility and Services lines shown are copied from the City of Calgary - CAD read only (CADRO) files except where noted otherwise. No warranty or representation as to the completeness or accuracy of said reproduction or information thereon is made.

WARNING: Shallow utility companies should be contacted prior to construction for the most current information.

ABBREVIATIONS

The following abbreviations may appear on this plan:

A	.....	Arc Length	Mk	.....	Mark
AB	.....	Abandoned	Md	.....	Marked
A.G.L.	.....	Above Ground Level	Mon	.....	Monitoring
ARW	.....	Access Right of Way	Mp	.....	Marker Post
A.L.S.	.....	Alberta Land Surveyor	MR	.....	Municipal Reserve
AM	.....	Access Manhole	MSR	.....	Municipal and School Reserve
ASCM	.....	Alberta Survey Control Marker	N	.....	North
B.C.	.....	Back of curb	NAD83	.....	North American Datum of 1983
BOW	.....	Back of walk	ODRW	.....	Overland Drainage Right of Way
B.S.	.....	Bus shelter	PL	.....	Property Line
C. of T.	.....	Certificate of Title	P.A.S.	.....	Pole Anchor Site
C.S.	.....	Counter sunk	P.P.	.....	Park Plus Play Machine
CB	.....	Catch Basin or Chord Bearing	PL	.....	Placed
calc	.....	Calculated	Pos	.....	Position
conc	.....	Concrete	PUL	.....	Public Utility Lot
CON	.....	Coniferous	R	.....	Radius or Radial
DAS	.....	Digital Aerial Survey	Re-est	.....	Re-established
D.H.	.....	Drill Hole	Ref.	.....	Reference
DEC	.....	Deciduous	Res	.....	Restored
E	.....	Elevation	RT	.....	Geo-reference Point
ER	.....	Environmental Reserve	RGE	.....	Range
Est.	.....	Established	S	.....	South
FD	.....	Found	SAN	.....	Sanitary
FCW	.....	Foot of curb	SEC	.....	Section
GFA	.....	Gross Floor Area	STM	.....	Storm
GNSS	.....	Global Navigation Satellite System	STM	.....	Storm
GT	.....	Grated Top	TCC	.....	Top of Curb
ha	.....	Hectare	TUC	.....	Transportation & Utility Corridor
ha	.....	Stationary Iron Post	URW	.....	Utility Right of Way
LRT	.....	Light Rail Transit	W	.....	West
S.D.	.....	Legal Subdivision	WCR	.....	Wheel Chair Ramp
LOG	.....	Log of Outcrop	R/W	.....	Right of Way
M	.....	Mound or Meridian	Δ	.....	Central Angle of Curve

REGISTERED OWNER
THE CITY OF CALGARY - WATER RESOURCES

ADDRESS:

4302 - 4500 15 STREET S.E.

SURVEYOR
STEVE MEEHAN, A.L.S.

Surveyed between the dates of December 10th, 2019 and January 20th, 2020 in accordance with the provisions of the Survey Act unless otherwise noted.

THE CITY OF CALGARY

Field Surveying Services Division
800 Macleod Trail SE, Calgary, AB T2P 2M5

Date: June 29, 2020 Surveyed by: DS/DACN

File No.: 1195780 Drawn by: EO

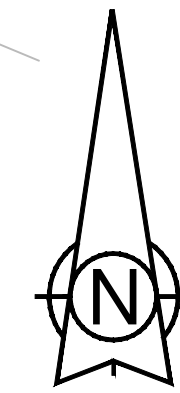
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AMENDED DRAWINGS

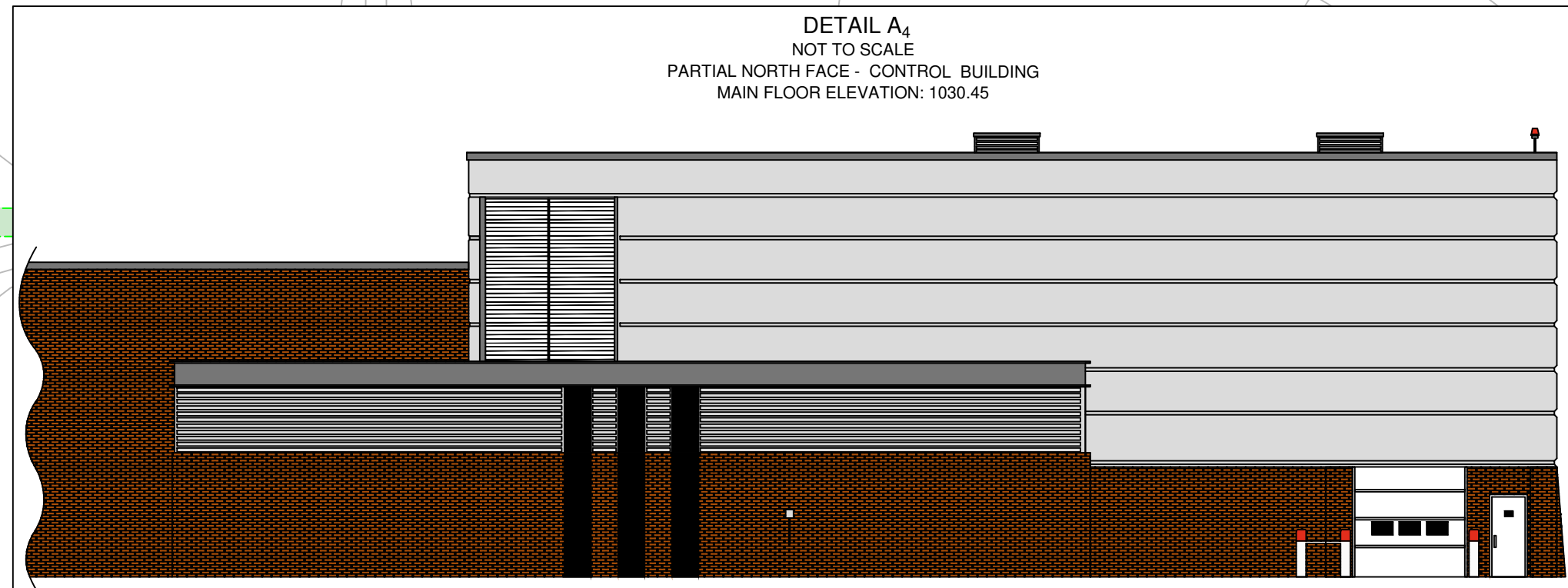
DP No
DP2025-01808

Date Received
AUG 08 2025

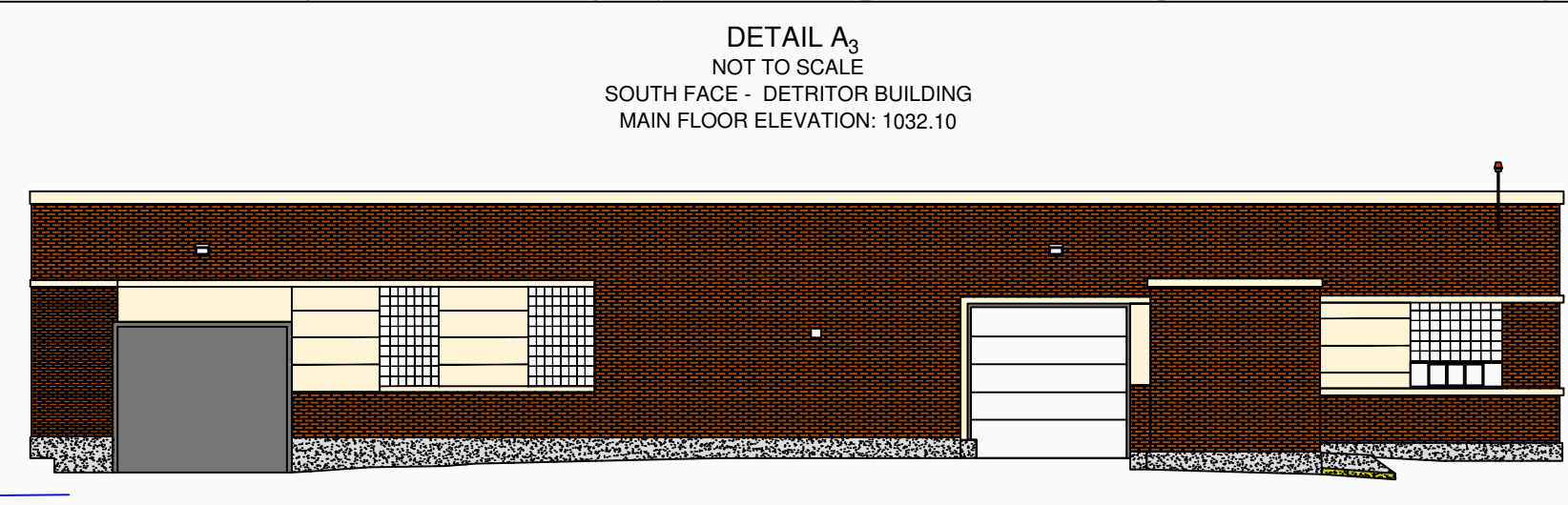
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



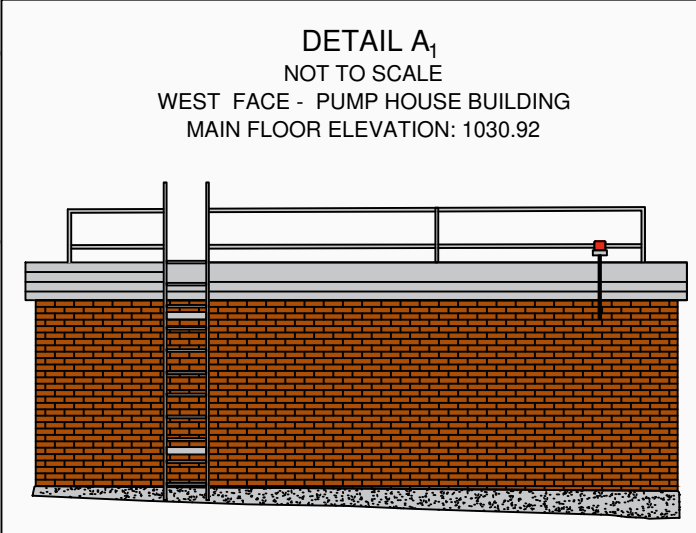
DETAIL A₁
NOT TO SCALE
PARTIAL NORTH FACE - CONTROL BUILDING
MAIN FLOOR ELEVATION: 1030.45



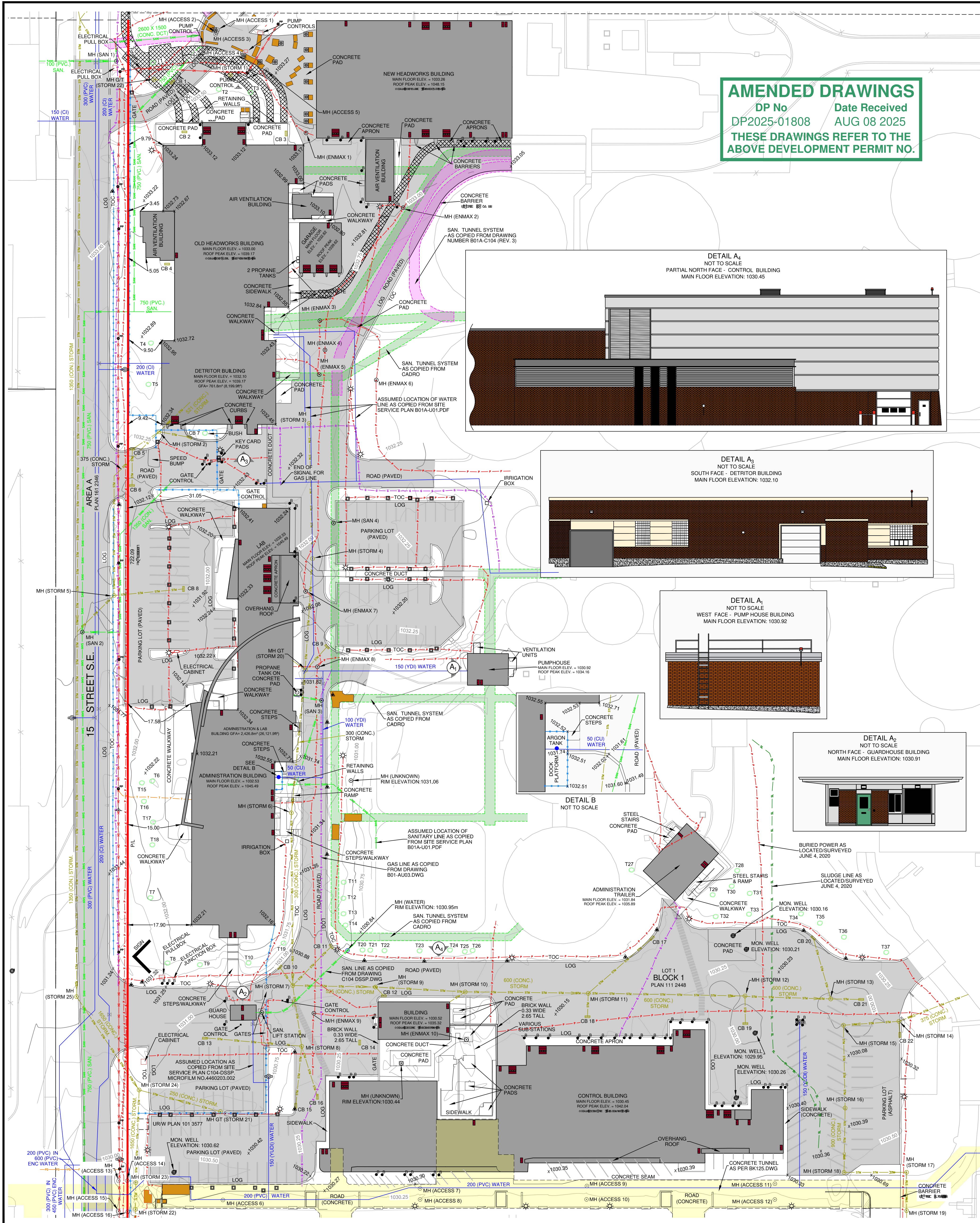
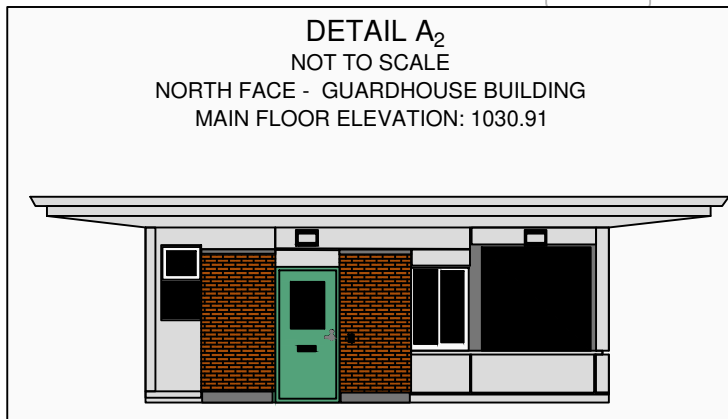
DETAIL A₂
NOT TO SCALE
SOUTH FACE - DETRICTOR BUILDING
MAIN FLOOR ELEVATION: 1032.10



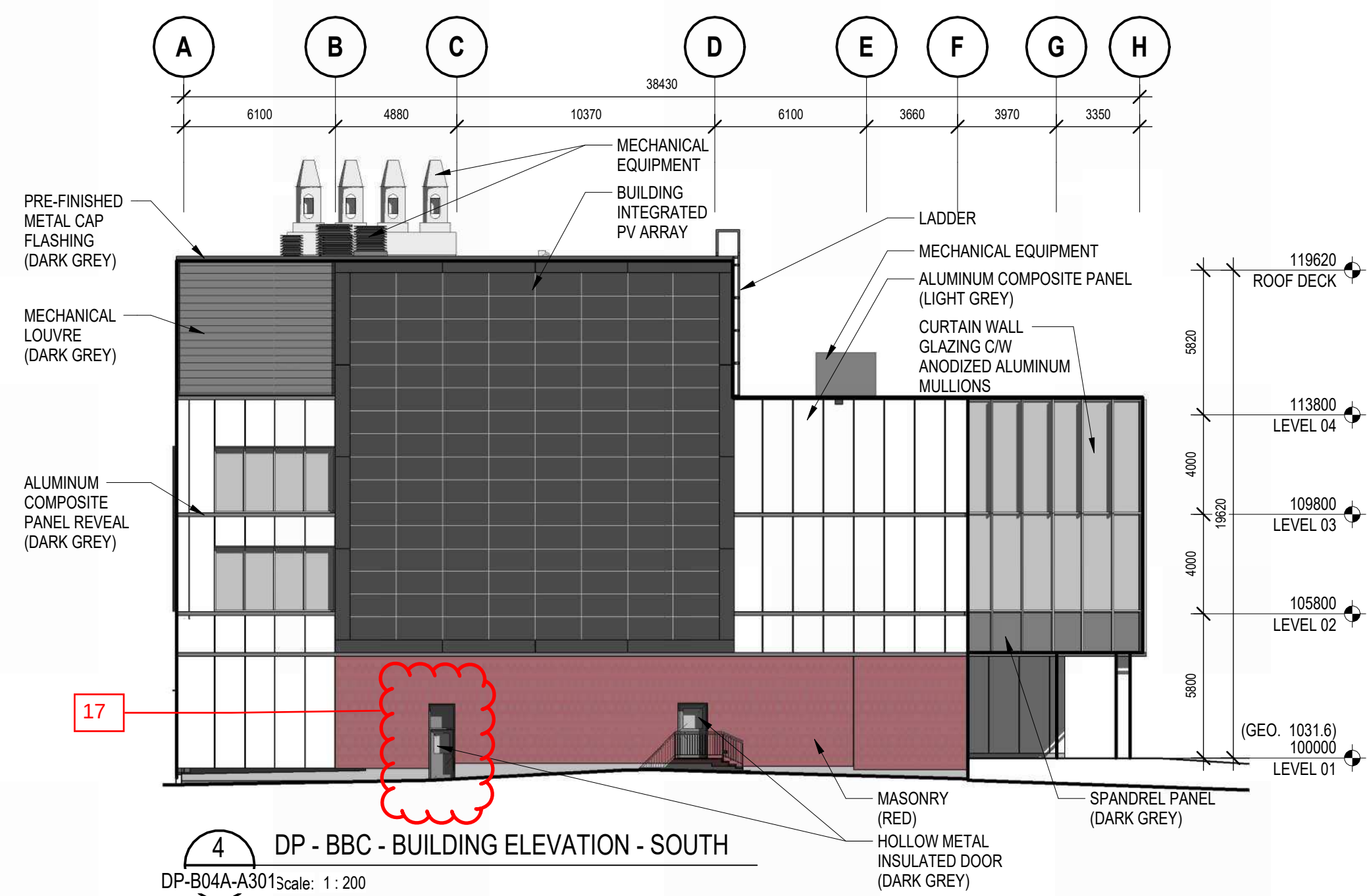
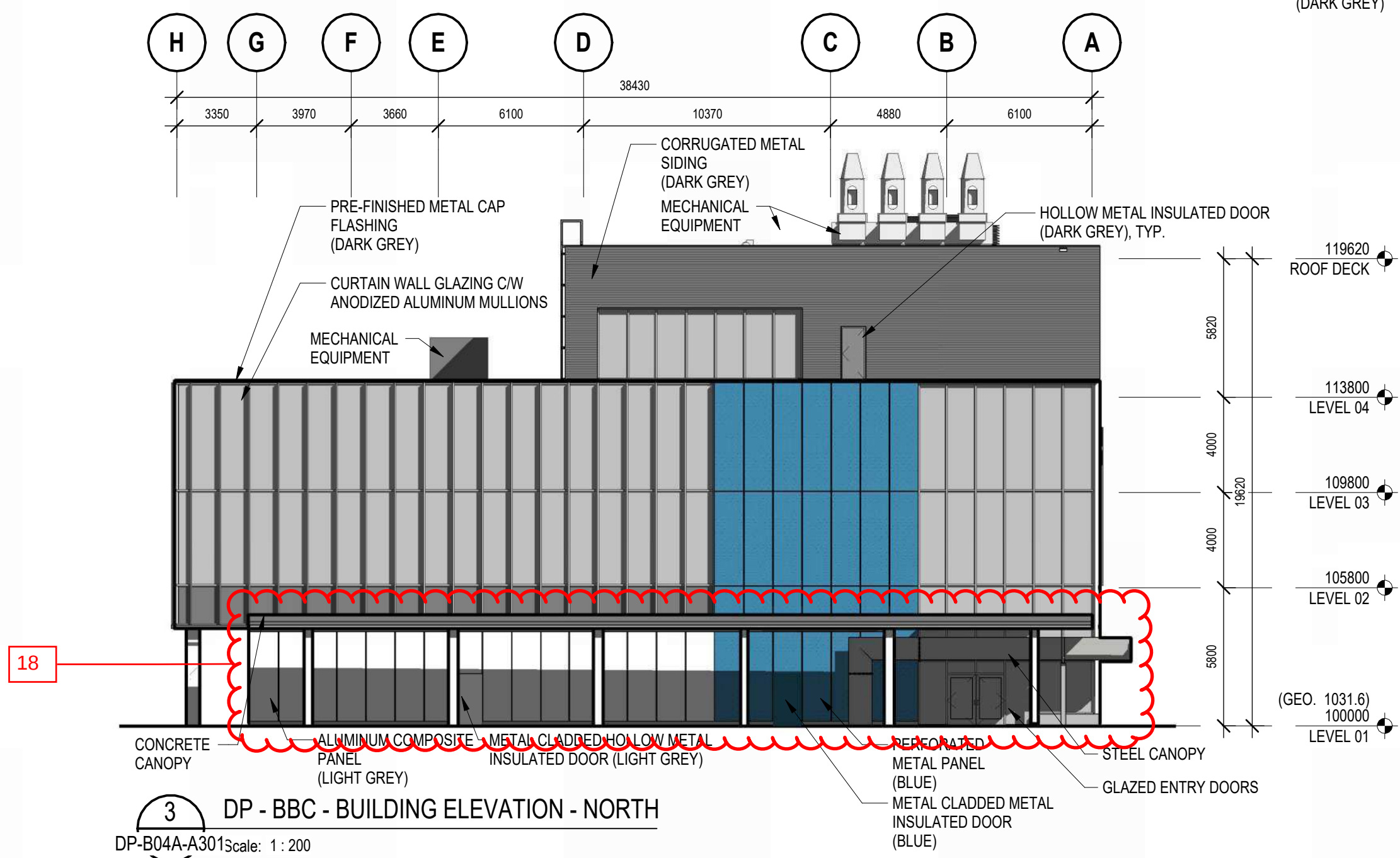
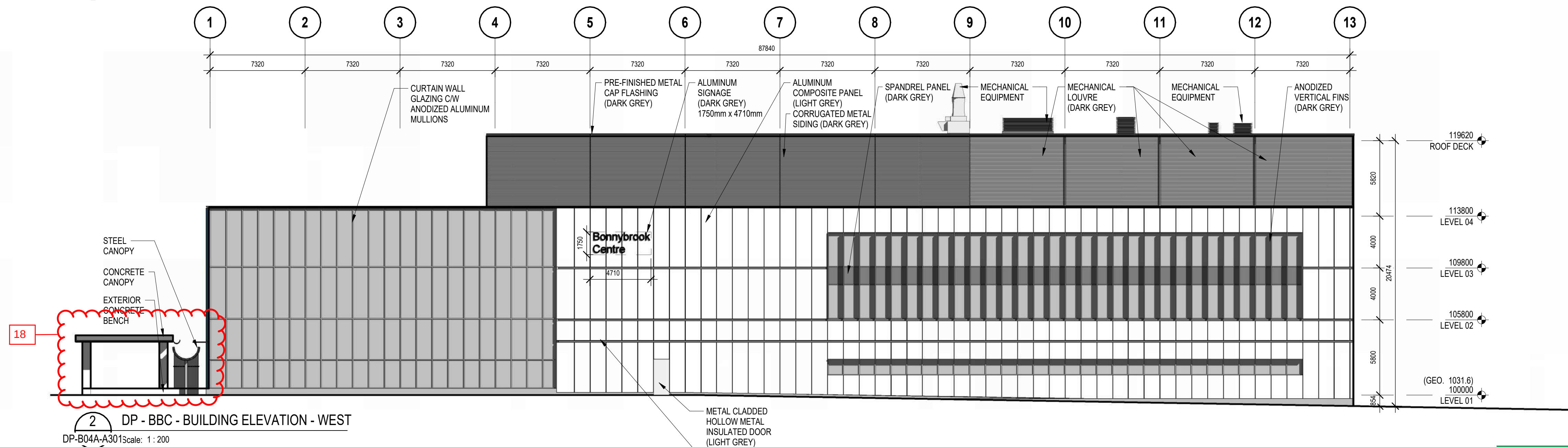
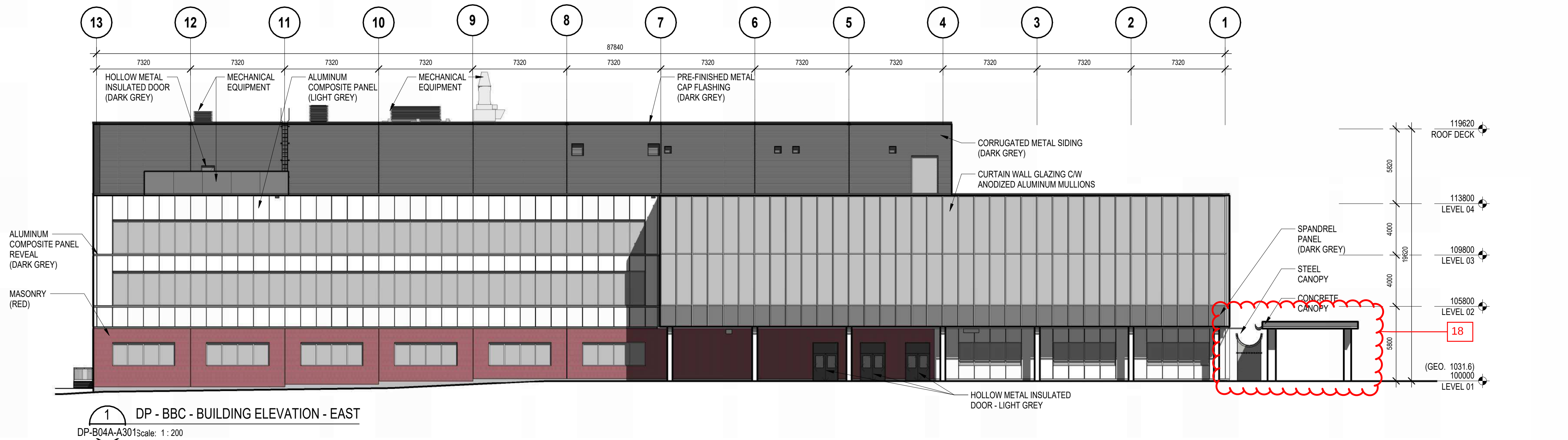
DETAIL A₃
NOT TO SCALE
WEST FACE - PUMP HOUSE BUILDING
MAIN FLOOR ELEVATION: 1030.92



DETAIL A₄
NOT TO SCALE
NORTH FACE - GUARDHOUSE BUILDING
MAIN FLOOR ELEVATION: 1030.91



2025-08-05 2:49:28 PM: B:\4477 - Bonnybrook Centre and Control Building Renovation - DP - A301 - 2501.dwg
Author: GEC
Checked: GEC
Scale: 1:200



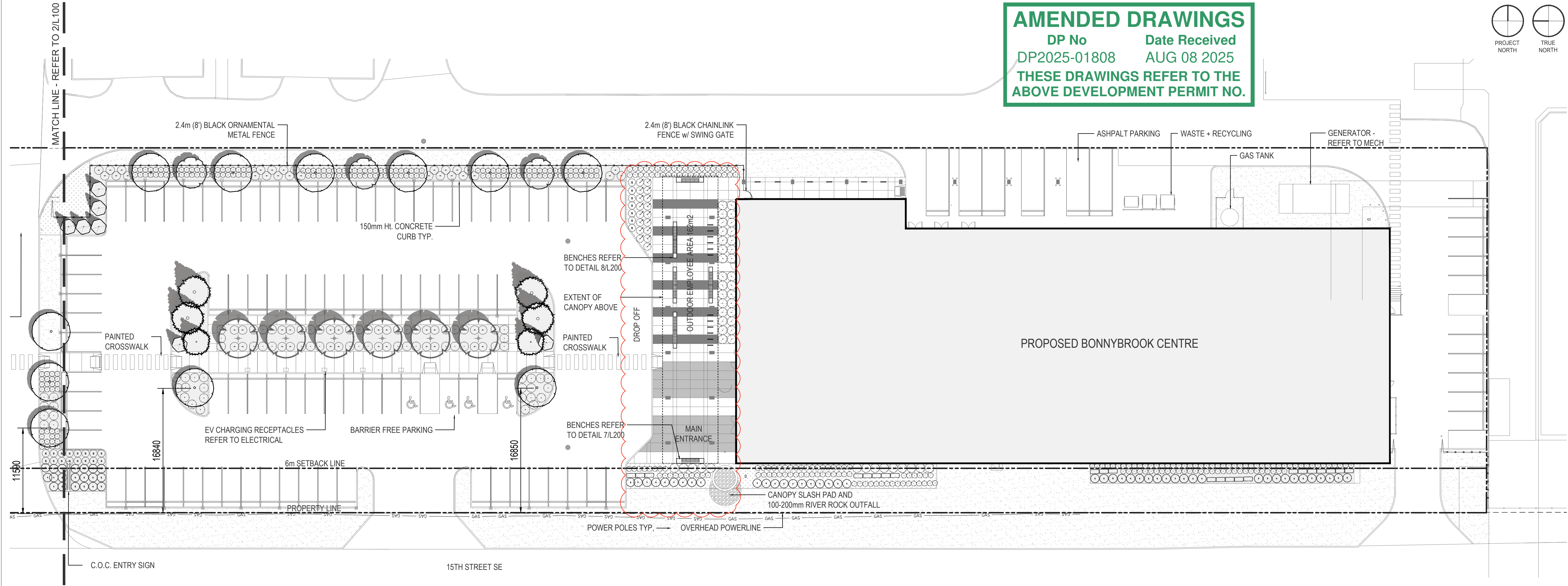
AMENDED DRAWINGS
DP No DP2025-01808 Date Received AUG 08 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

ELEVATION NOTES

MUNICIPAL ADDRESS:
4302 15 ST SE, CALGARY, AB T2G 3M8
LEGAL ADDRESS:
LOT 1, BLOCK 1, PLAN 111 2448
WITHIN THE S.W. 1/4 SEC. 1, TWP. 24, RGE. 1, W5m

B	ISSUED FOR DEVELOPMENT PERMIT REV.	2025-08-05	M.W.	V.A.
A	ISSUED FOR DEVELOPMENT PERMIT	2025-03-17		
NO.	DESCRIPTION	DATE	BY	APPD
PERMIT		SEAL		
PRELIMINARY - NOT FOR CONSTRUCTION				
DESIGNED	BY Designer	DATE 2025-03-17		
DRAWN	Author	2025-03-17		
CHECKED	Checker	2025-03-17		

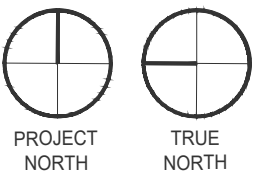
SCALE		As indicated	
 			
PROJECT		BONNYBROOK CENTRE AND CONTROL BUILDING RENOVATION WP4 - BBC	
4500 15 ST SE, Calgary, Alberta		Plan 111 2448, Block 1, Lot 1	
SHEET TITLE		BUILDING ELEVATIONS	
RFP	23-1607	MICROFILM NO.	446.0294
ACTIVITY CODE	454718	WORK PACKAGE	WP4
PSD PROJECT	23088-23	ASSET ID	xxxxx
UPN	101679	CORPORATE STRUCTURES ID	xxxxxxx
CONSULTANT PROJECT NO.	5987	SHEET NO.	DP-B04A-A301



AMENDED DRAWINGS

DP No DP2025-01808 Date Received AUG 08 2025

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

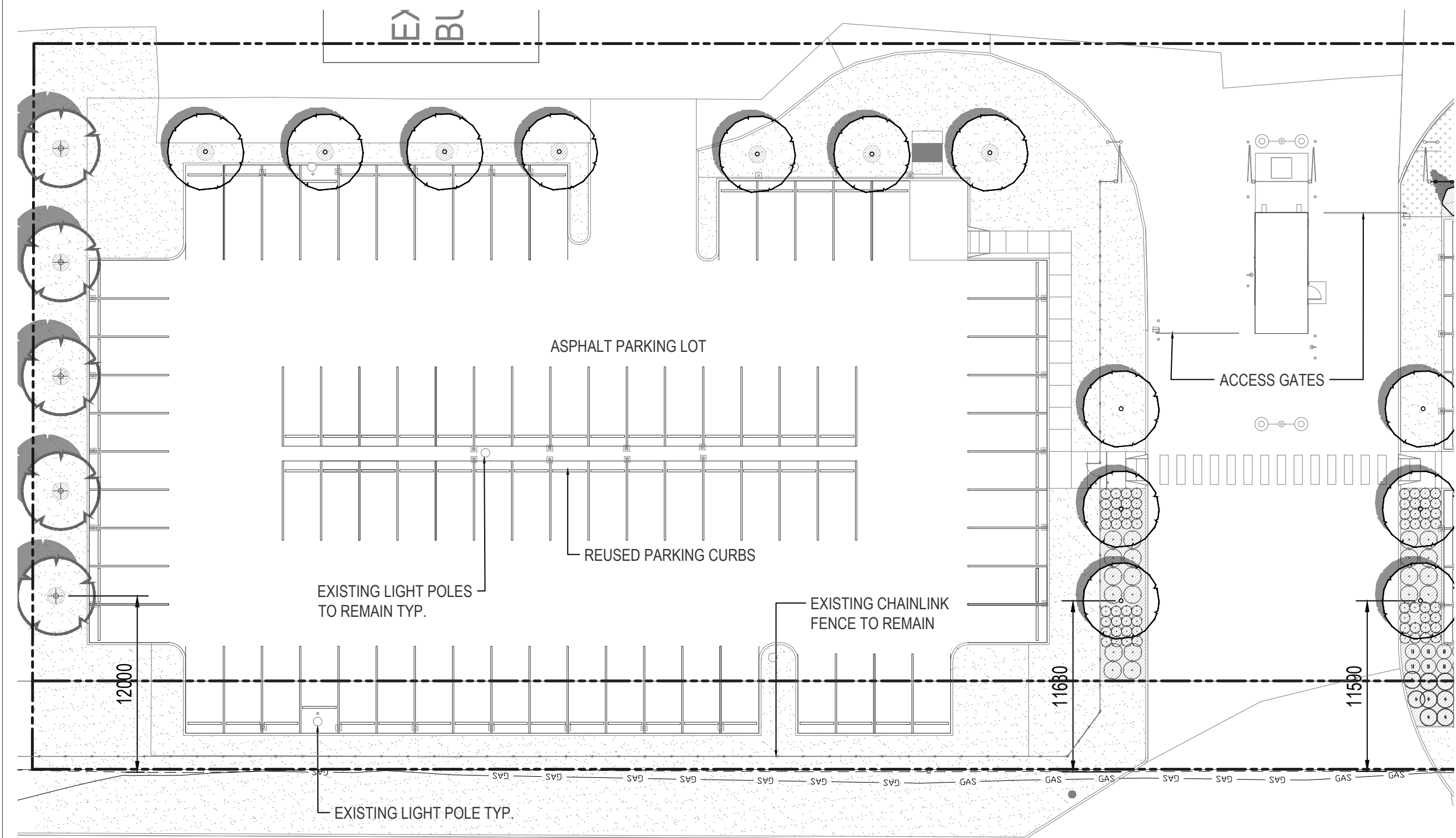


[SMM]

SCATLIFF+MILLER+MURRAY INC.
403.262.9744 | SCATLIFF.CA

1 LANDSCAPE PLAN - BBC BUILDING + PARKING LOT

L100 SCALE 1:300



2 LANDSCAPE PLAN - EXISTING PARKING LOT + GATE HOUSE

L100 SCALE 1:300

LEGAL DESCRIPTION

MUNICIPAL ADDRESS

LOT - 1, BLOCK 1 PLAN 111 2448 4302 15 Street SE CALGARY, AB
ZONING: S-CRI

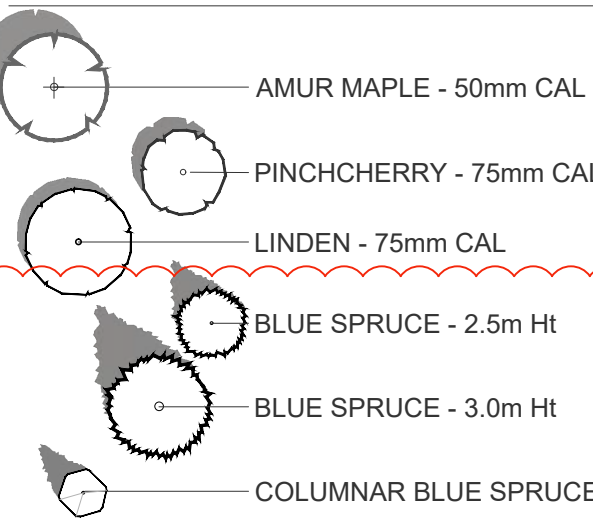
PROJECT DATA/SITE DATA

SITE AREA:	14,252.00 m2	TOTAL TREES REQ	39
BUILDING AREA:	2800.00 m2	DECIDUOUS TOTAL	29
LANDSCAPE AREA REQUIRED:		DEC @ 75mm CAL	15
		DEC @ 50mm CAL	14
1 TREE + 2 SHRUBS / 45m2 SETBACK AREA		CON TOTAL	10
SETBACK AREA = 1,734m2		CON @ 3.0m HT	05
		CON @ 2.5m HT	05
TREES REQUIRED =	39	TOTAL SHRUBS REQ	78
DECIDUOUS TREES REQUIRED =	29		
CONIFEROUS TREES REQUIRED =	10		
SHRUBS REQUIRED =	78		

IRRIGATION NOT PROVIDED TO MEET LEED REQUIREMENTS
LANDSCAPE TO BE DROUGHT TOLERANT

PROPOSED SOD SEED SPECIES - EAGLE LAKE SITE SELECT
15% Celestial Creeping Fescue 10% Full Moon Bluegrass
15% Big Horn Sheep Fescue 10% Ridgeline Bluegrass
15% Enchantment Chewing 10% Blueberry Bluegrass
15% Fescue Nanook Hard Fescue 10% Bewitched Bluegrass

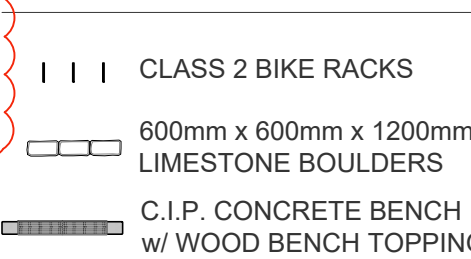
TREE LEGEND



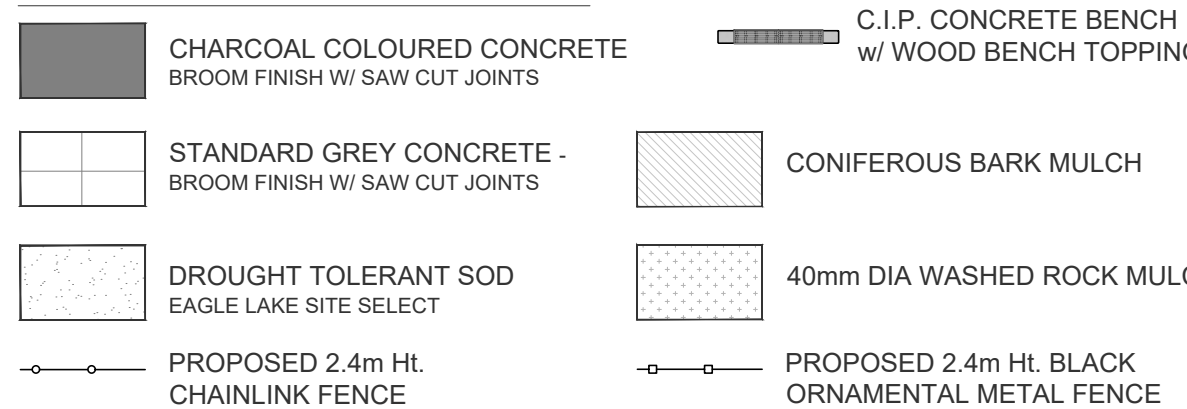
SHRUB + GRASS LEGEND



SITE LEGEND



SITE LEGEND



PLANT LIST: DECIDUOUS TREES

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Acer ginnala	AMUR MAPLE	50mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	11
Prunus pennsylvanica	PINCHERRY	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	03
Tilia americana 'Duros'	TRUE NORTH LINDEN	75mm CAL. B&B, MIN 700 mm wd x 400mm DEPTH ROOT BALL	21

PLANT LIST : CONIFEROUS TREES

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Picea pungens	COLORADO BLUE SPRUCE	3.0m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	04
Picea pungens	COLORADO BLUE SPRUCE	2.5m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	02
Picea pungens 'Fastigiata'	COLUMNAR BLUE SPRUCE	3.0mm HT. B&B, MIN 700 mm wd x 400mm DEPTH ROOT BALL	07

PLANT LIST : SHRUBS

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Cornus alba 'Jefreb'	LITTLE REBEL DOGWOOD	#3 CONT, MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	30
Elaeagnus commutata	SILVERBERRY WOLFWillow	#3 CONT, MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	58
Rosa woodsii	WOODS ROSE	#3 CONT, MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	61
Syringa meyeri 'Palibin'	DWARF LILAC	#3 CONT, MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	23
Sorbaria sorbifolia 'Sem'	URAL FALSE SPIREA	#3 CONT, MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	50
Juniperus sabina 'Arcadia'	ARCADIA JUNIPER	#3 CONT, MIN 600mm sprd. MIN. 4 MAJOR BASAL STEMS,	63

PLANT LIST : GRASSES & PERENNIALS

SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	#3 POT	398

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
- ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
- ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
- ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH

06	ISSUED FOR DP RESUBMISSION	2025.07.18	AP	DM
05	ISSUED FOR 60% REVIEW	2025.06.27	AP	DM
04	ISSUED FOR DP RESUBMISSION	2025.06.20	AP	DM
03	ISSUED FOR DESIGN DEVELOPMENT	2025.03.21	AP	DM
02	ISSUED FOR DEVELOPMENT PERMIT	2025.03.14	AP	DM
01	ISSUED FOR SCHEMATIC DESIGN REPORT	2024.09.16	AP	DM
NO.	DESCRIPTION	DATE	BY	APPD

PERMIT	SEAL
--------	------

DESIGNED	BY	DATE (YYYY-MM-DD)
DRAWN	AP	2024-08-30
CHECKED	AP	2025-03-14
	DM	2025-03-14

SCALE	AS SHOWN
-------	----------



PROJECT
Bonnybrook Centre and Control Building Renovation

4302 15 ST SE, Calgary Alberta

SHEET TITLE
LANDSCAPE PLAN

	MICROFILM NO.	XXX.XXX
UPN	WORK PACKAGE	WP4
ACTIVITY CODE	ASSET ID	11511
PSD PROJECT	CORPORATE STRUCTURES ID	1369732
GEC PROJECT NO.	SHEET NO.	L100