



ARTIST RENDERING - FOR REFERENCE ONLY.

NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

AMENDED DRAWINGS
DP No Date Received
DP2025-01650 2025-10-15
**THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.**

JAYMAN NOSTALGIA CLUB

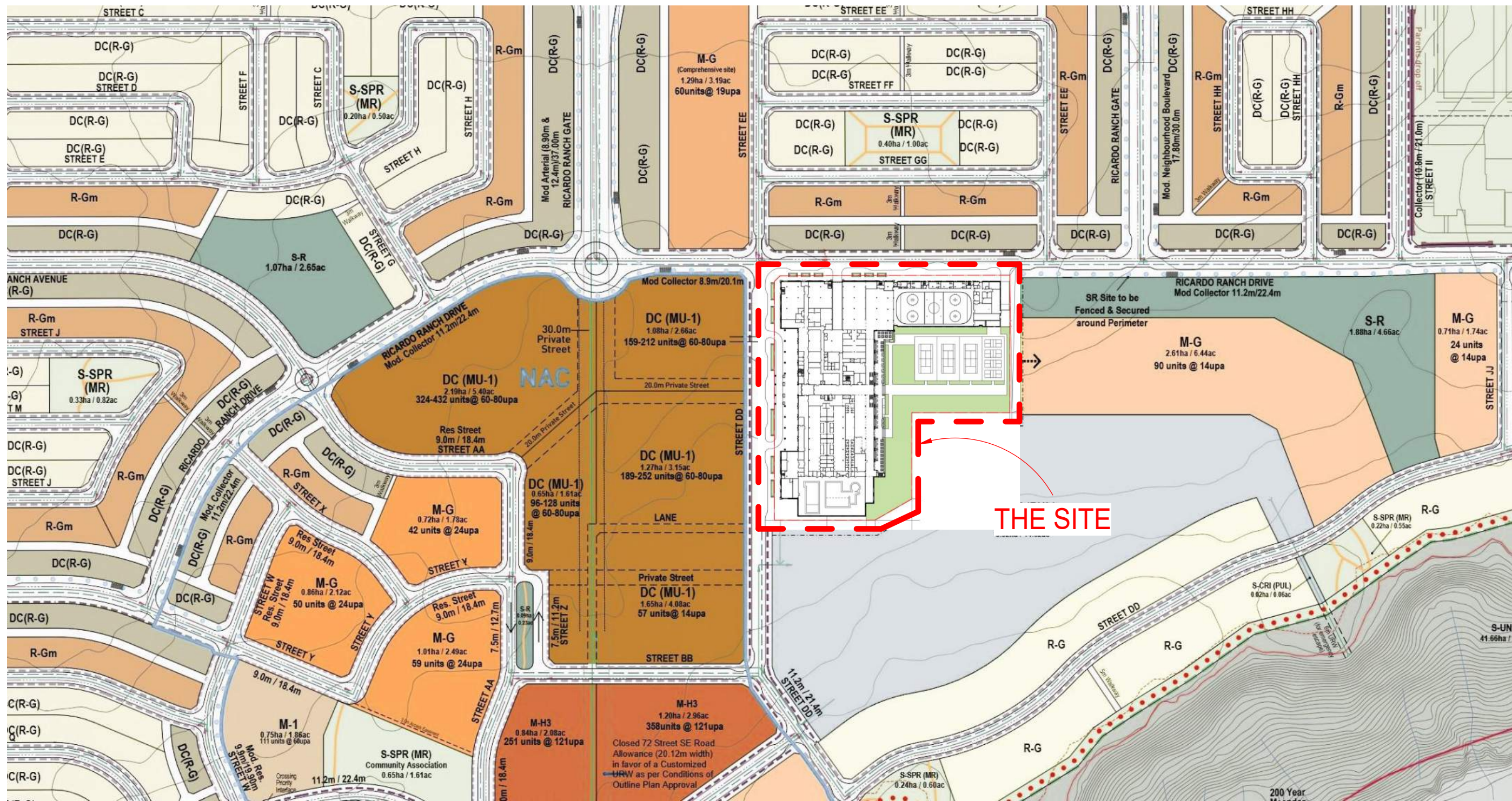
CALGARY, ALBERTA

DEVELOPMENT PERMIT: DP2025-01650
NORR PROJECT NUMBER: RZ1125-0014



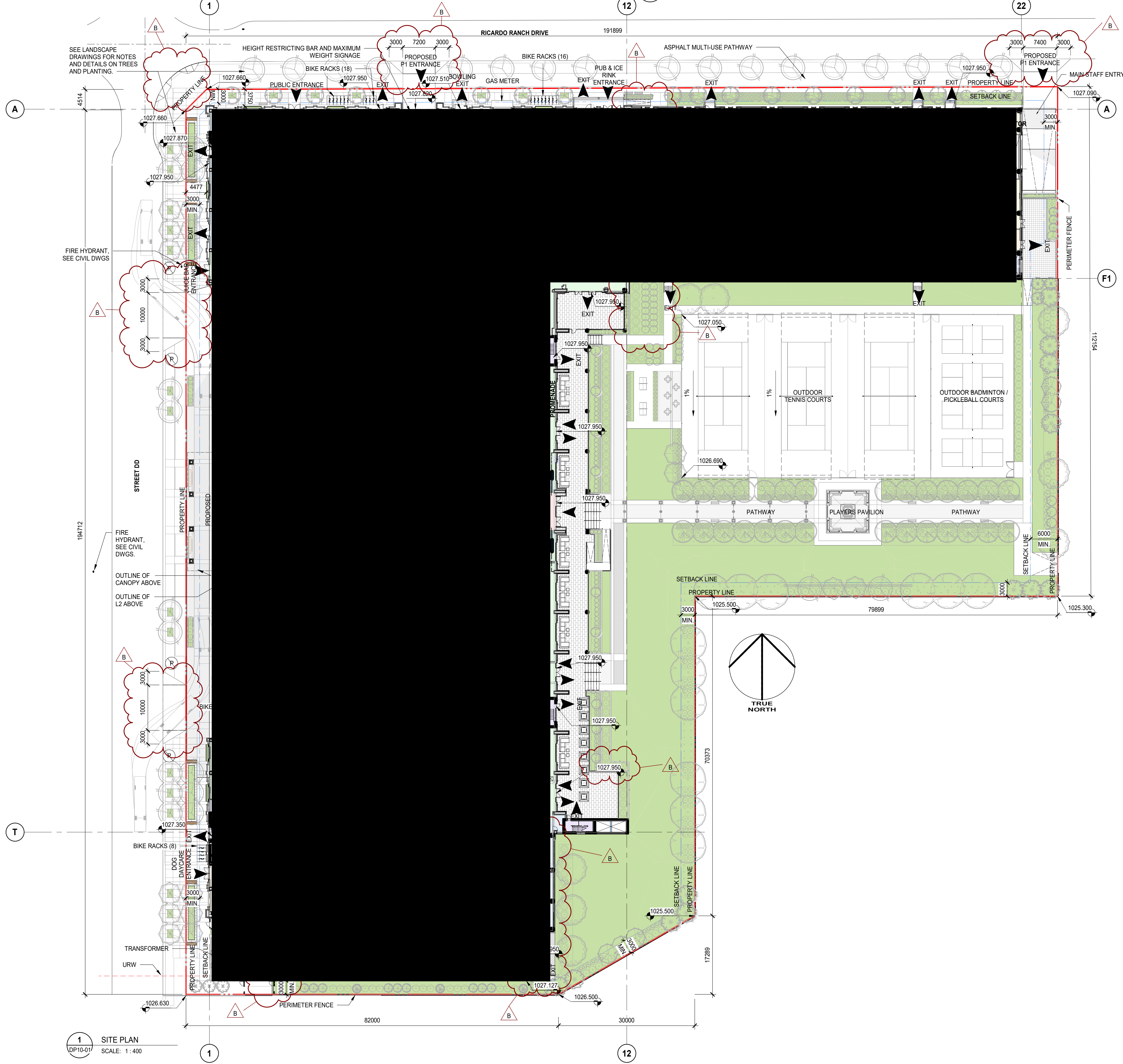
DEVELOPMENT PERMIT DR-2 - 10-09-2025

AQUATIC WATER TECHNOLOGY INC. 100 Park Ave. Beaver Dam, WI, USA 53916 1-920-887-7375	SURVEY & CIVIL URBAN SYSTEMS 101 - 134 11TH Avenue SE Calgary, AB, Canada T2G 0X5 1-403-291-1193	ARCHITECTURE & INTERIORS NORR 2300, 411 - 1st Street SE Calgary, AB, Canada T2G 4Y5 1-403-264-4000	STRUCTURAL ENTUITIVE 1075 W. Georgia St. Suite #1020 Vancouver, BC, Canada V6E 3C9 1-604-900-6224
MEP SMITH + ANDERSEN 1205, 330 - 5th Ave. SW Calgary, AB, Canada T2P 0L4 1-403-261-8897	GEOTECH ENGLLOBE 110, 10 Stonehill Place Calgary, AB, Canada T3N 1T7 1-403-291-2345	INTERIORS HRIBAR DESIGN GROUP 227 10 St. NW Calgary, AB, Canada T2N 1V5 1-403-452-4190	LANDSCAPE EIGHT ONE EIGHT STUDIO 1812 14A Street SW Calgary, AB, Canada T2T 3W6 1-403-244-8188



3 SITE CONTEXT
SCALE: 1:50

2 SATELLITE VIEW
SCALE: NTS



1 SITE PLAN
SCALE: 1:400

12

Site Information

LAND USE DISTRICT	(S-R)	Special Purpose - Recreation (S-R) District		
LEGAL DESCRIPTION	PLAN	BLOCK	LOT(S)	
MUNICIPAL ADDRESS	000 Street Name, Calgary, Alberta			
COMMUNITY	Ricardo Ranch		Calgary	
SITE AREA	31,039.4 SM	334,105.2 SF	7.67 AC	3.10 HA
Development Statistics				
PROPOSED USE	Indoor Recreation Facility, Private Athletic / Recreation Club with sports, leisure, health & wellness facilities.			
USE AREA	Except as noted below, there is no use area requirement in the Special Purpose - Recreation District.			

Development Statistics

Max cumulative use area:	ALLOWED	PROPOSED
Health Care Services	1,000 SM	0 SM
Child Care Services	1,000 SM	200 SM
Restaurant	300 SM	2000+ SM
BUILDING SETBACKS	REQUIRED	PROPOSED
North	3.0 M	3.1 M
South	3.0 M	3.0 M
East	6.0 M	7.5 M
West	3.0 M	4.4 M

Vehicle Parking Provided

LEVEL	STALLS	REQUIRED	PROVIDED
Parkade	Standard Stalls	0	454
	Standard w/ EV		3
	Standard w/ EV Ready		9
	Barrier Free Stalls		7
Total Stalls		0	473
Deficiency			
Surplus			473
Motorcycle Stalls (Not included in parking count above)			16
Total Stalls (Standard + EV + BF + Motorcycle)			489

Bicycle Parking

TYPE	REQUIREMENT	REQUIRED	PROVIDED
0			
Class 1	Not required	0	0
Class 2	0.5 stalls per 100m gross usable area	191	219
Total Bike Stalls		191	219

Building Areas

LEVEL	GROSS FLOOR AREA (Includes mechanical rooms & void spaces such as elevator shafts, atriums, stairwells and similar areas)	
	SM	SF
Level 1	17,080.3	183,850.8
Level 2	17,822.3	191,837.1
Level 3	12,961.7	139,518.1
Level 4	5,045.8	54,312.0
Penthouse	504.0	5,424.6
P1	20,246.9	217,935.8
TOTAL EXCL. P1	52,910.0 SM	569,518.1 SF
TOTAL INCL. P1	73,660.8 SM	792,878.5 SF

LEVEL	GROSS USABLE FLOOR AREA (Excludes mech / elec. rooms, voids, elevators, stairwells, parking / loading, trash & below grade storage)	
	SM	SF
Level 1	16,141.5	173,745.2
Level 2	12,808.9	137,873.9
Level 3	4,945.2	53,229.2
Level 4	3,887.9	41,848.8
P1	231.1	2,478.0
OVERALL TOTAL	38,244.5 SM	411,876.9 SF

AMENDED DRAWINGS
DP No 2025-01650 Date Received 2025-10-15
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

SITE PLAN NOTES

- REGULAR ASPHALT ON PARKING STALLS
- REGULAR CONCRETE ON GARAGE APPROACH
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL LINE
- NO PARKING ANYTIME AT LOADING STALL
- REFER TO CIVIL DRAWINGS FOR SERVICES AND GRADING
- REFER TO LANDSCAPE DRAWINGS FOR DETAILS

GENERAL NOTES

- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS AND FEATURES
- REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING LAYOUT AND DETAILS ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY
- REFER TO DP10-03 FOR WASTE & RECYCLING DRAWINGS AND DETAILS
- ALL PROPERTY LINES ARE EXISTING AND ALL ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
- NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION
- ALL INFORMATION ABOUT SERVICES, UTILITY RIGHT OF WAY AND GRADING IS PROVIDED & EXTERIOR STEPS BY CIVIL ENGINEER AND ITS SHOWN IN ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY AND FOR ADDITIONAL INFORMATION REFER TO CIVIL DRAWINGS
- THIS DEVELOPMENT PERMIT DRAWING AND NOTED AREA CALCULATION IS FOR GENERAL REFERENCE ONLY. ALL BUILDINGS ARE APPROXIMATE AND ARE TO BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT

SITE LEGEND

- PRINCIPAL ENTRY
- COMPACT PARKING
- ELECTRICAL VEHICLE READY
- BARrier FREE PARKING
- BARrier FREE PARKING SIGNAGE
- VISITOR PARKING SIGNAGE
- NO PARKING ANY TIME / FIRELANE
- STOP SIGN
- TRANSFORMER & CONC. PAD
- FIRE HYDRANT EXISTING (E) & PROPOSED (P)
- ASPHALT FINISH
- PROPERTY LINE
- SETBACK LINE
- URW
- BUILDING / PROJECTION ABOVE
- LINE OF BUILDING BELOW

DRAWING LIST - ARCHITECTURAL - DP

SHEET NUMBER

SHEET NAME

DP00-00	COVER SHEET	
DP10-01	SITE STATISTICS AND VICINITY PLAN	
DP10-03	LOADING VEHICLE SWEEP PATH, W&R DETAILS	
DP10-04	FIRE TRUCK SWEEP PATH	
DP10-07	3D RENDERINGS	
DP10-08	3D RENDERINGS	
DP10-09	SURVEY	
DP11-01	SITE DETAILS	
DP20-01	LEVEL 1 OVERALL FLOOR PLAN	
DP20-02	LEVEL 2 OVERALL FLOOR PLAN	
DP20-03	LEVEL 3 OVERALL FLOOR PLAN	
DP20-04	LEVEL 4 OVERALL FLOOR PLAN	
DP20-05	OVERALL ROOF PLAN	
DP20-P1	LEVEL P1 OVERALL FLOOR PLAN	
DP21-P1-T	LEVEL P1 ENLARGED FLOOR PLAN - TUNNEL	
DP40-01	OVERALL BUILDING ELEVATIONS	
DP43-01	OVERALL BUILDING SECTIONS	
DP43-02	RAMP & BLVD SECTIONS	
Total Number of sheets: 18		

DATE	ISSUED FOR	REV
2025-03-18	DEVELOPMENT PERMIT	A
2025-08-13	DEVELOPMENT PERMIT - DR1	A
2025-10-09	DEVELOPMENT PERMIT - DR2	B

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer

Project Component

Key Plan

Consultants

Architecture:	NORR
Structural:	ENTUITIVE
MEP:	SMITH + ANDERSEN
Geotech:	ENGLÖBE
Interiors:	HRBAR DESIGN GROUP
Landscape:	EIGHT ONE EIGHT STUDIO
Survey:	WATER TECHNOLOGY INC.
Civil:	URBAN SYSTEMS

Seal(s)

2

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norrr.com

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Jonathan Hughes, Northwest, ASA, OAA, NBC, BNA, AARB, AARE
Allan Tisdale, P.Eng., OFSQA
Chris Hall, P.Eng., AECQA

Project Manager	William Woodcock	Drawn	Author
Project Leader	Amber Kishchok	Checked	Checker

Client

Jayman Living

Project

JAYMAN NOSTALGIA CLUB

CALGARY, ALBERTA

Drawing Title

SITE STATISTICS AND VICINITY PLAN

Scale

As indicated

Project No.

RZ1125-0014

Drawing No.

DP10-01

10/01/2025 10:01:01 AM

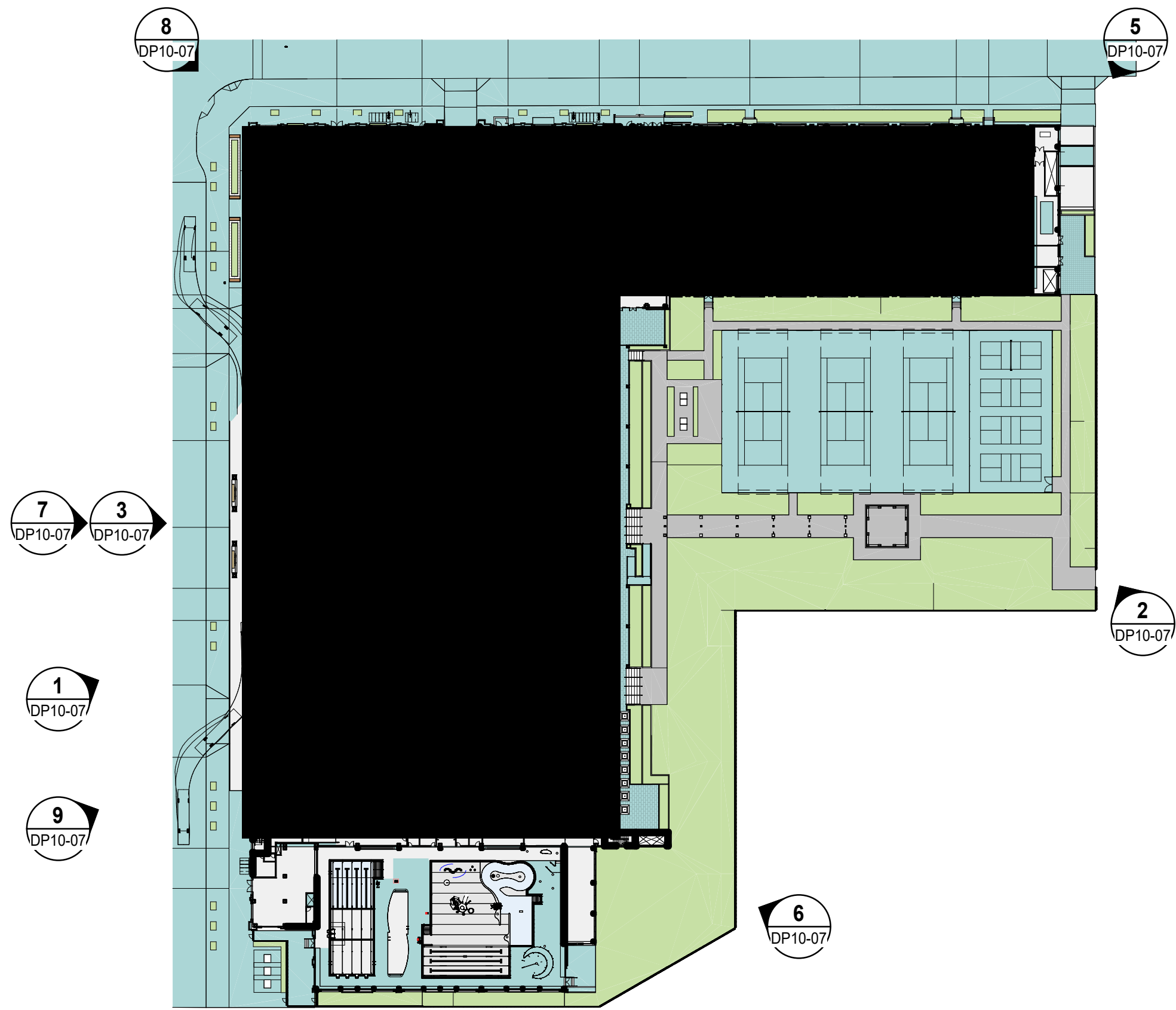
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7 MAIN ENTRANCE VIEW
SCALE: NTS



4 KEYPLAN
SCALE: NTS



3 DP_RENDER_NAC_S00B
SCALE: NTS



9 SOUTH EASTERN VIEW
SCALE: NTS



6 DP_RENDER_NAC_REAR 02
SCALE: NTS



2 DP_RENDER_NAC_REAR 01
SCALE: NTS



8 DP_RENDER_NAC_S05
SCALE: NTS



5 DP_RENDER_NAC_NORTH 01
SCALE: NTS



1 DP_RENDER_NAC_S02-DUSK
SCALE: NTS

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4

3

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Alicia Tisdale, P.Eng., ASCE
Chris Pelt, P.Eng., ASCE

Project Manager
William Woodcock

Project Leader
Amber Kishchok

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JAYMAN NOSTALGIA CLUB

CALGARY, ALBERTA

Drawing Title

3D RENDERINGS

Scale
As indicated

Project No.
RZ1125-0014

Drawing No.
DP10-07



9 SOUTH WESTERN VIEW - MAIN ENTRANCE
SCALE: NTS



5 DP_RENDER_NAC_REAR 05
SCALE: NTS



8 MAIN ENTRANCE
SCALE: NTS



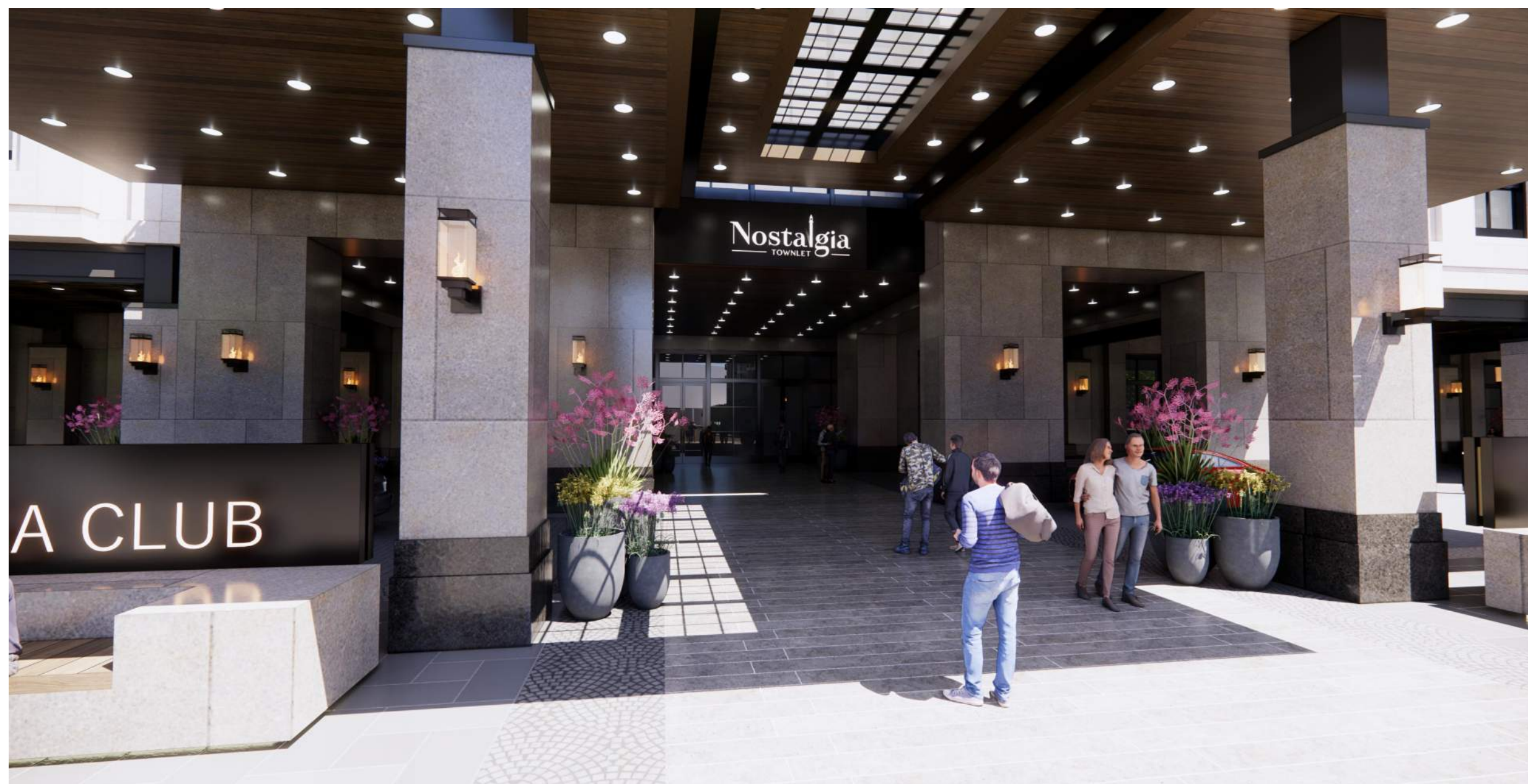
4 DP_RENDER_NAC_REAR 03
SCALE: NTS



7 MAIN ENTRANCE - DROP-OFF AREA/DRIVEWAY
SCALE: NTS



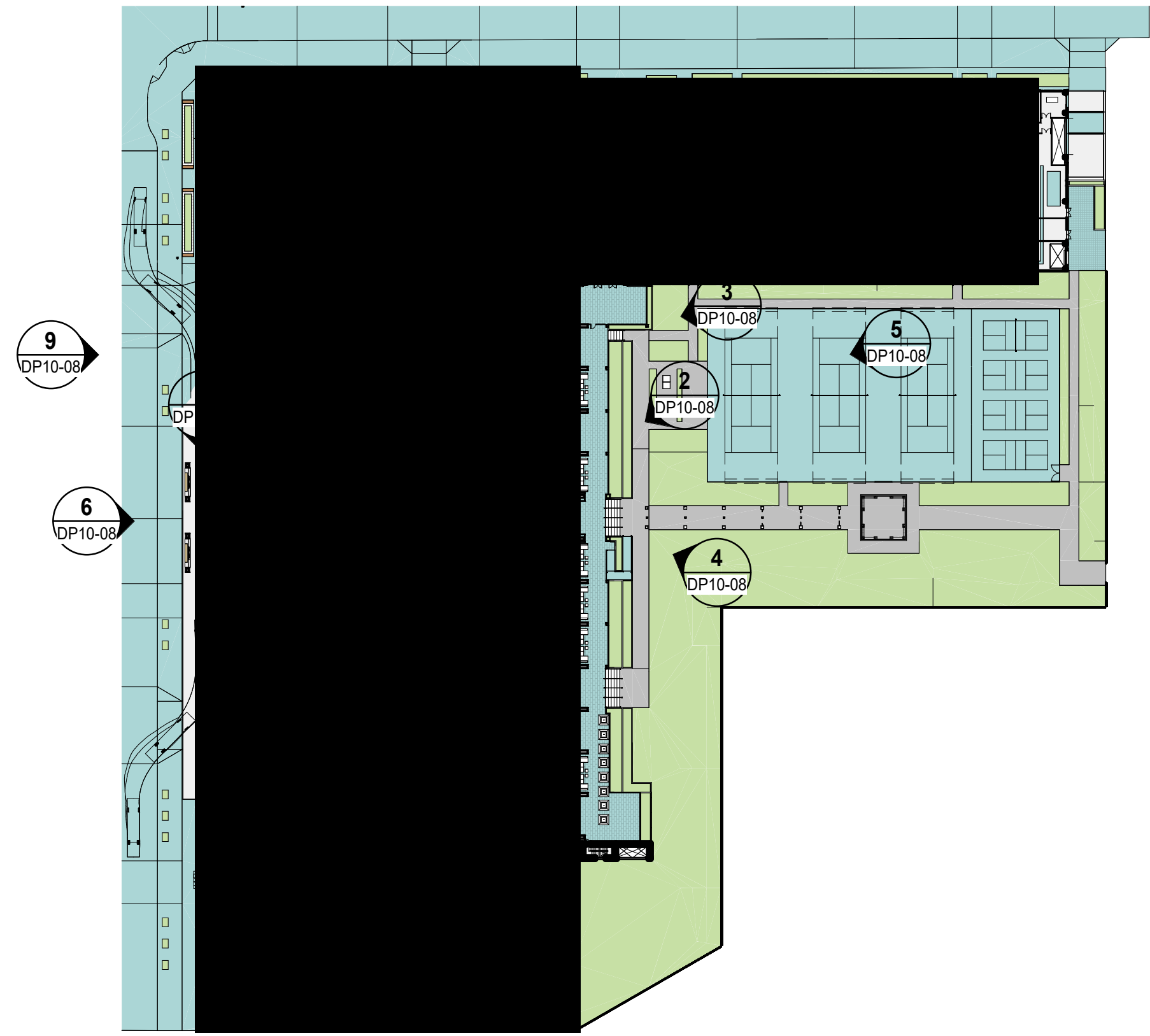
3 DP_RENDER_NAC_ALFRESCO
SCALE: NTS



6 DP_RENDER_NAC_S13
SCALE: NTS



2 DP_RENDER_NAC_REAR 04
SCALE: NTS



1 KEYPLAN
SCALE: NTS

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Scale

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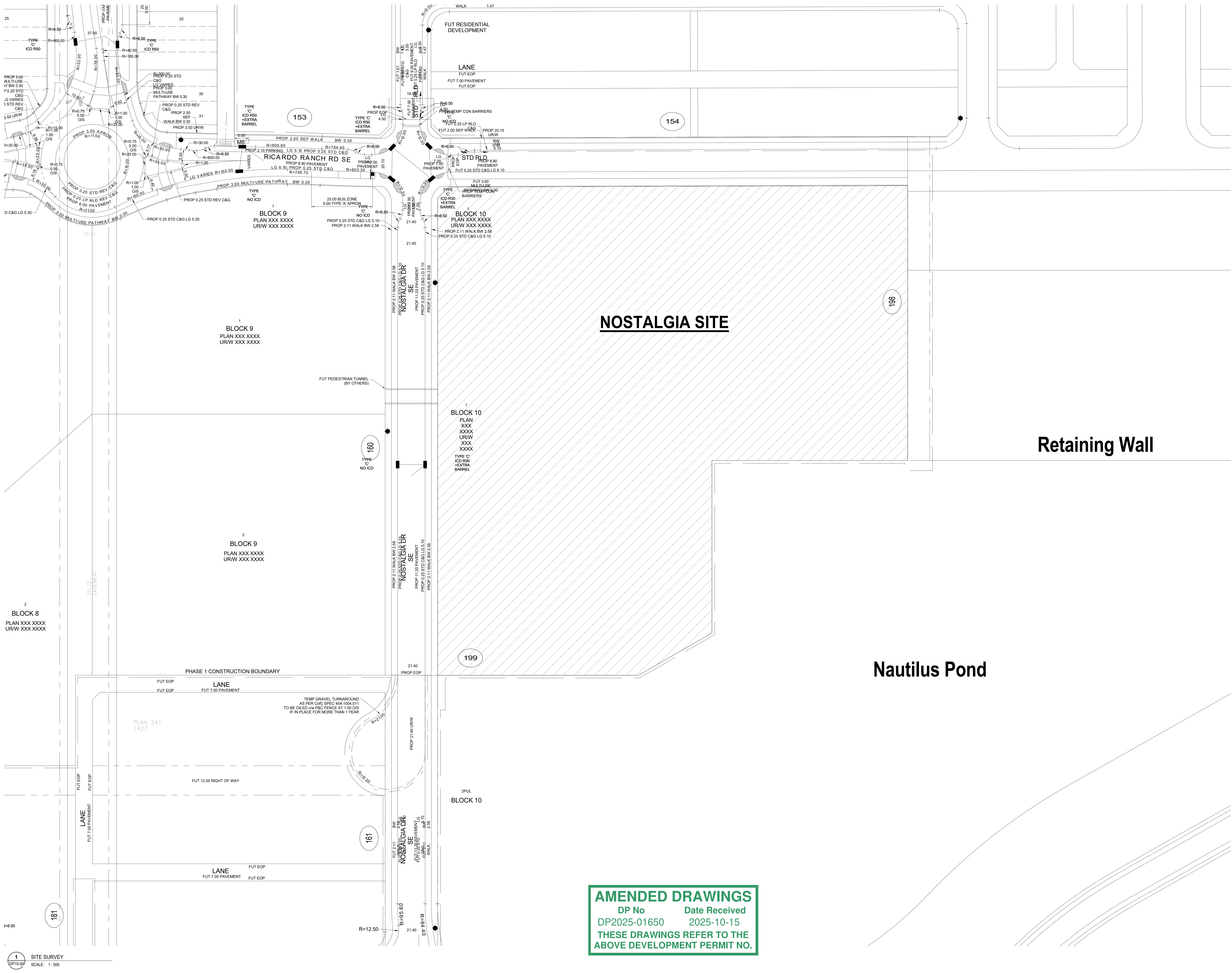
Project No.

RZ1125-0014

Drawing No.

DP10-08

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Allan Tashak, P.Eng., ORECA
Chris Pelt, P.Eng., ARCCA

Project Manager William Woodcock	Drawn Author
Project Leader Amber Kishock	Checked Checker



Project
JAYMAN NOSTALGIA CLUB

CALGARY, ALBERTA
Drawing Title
SURVEY

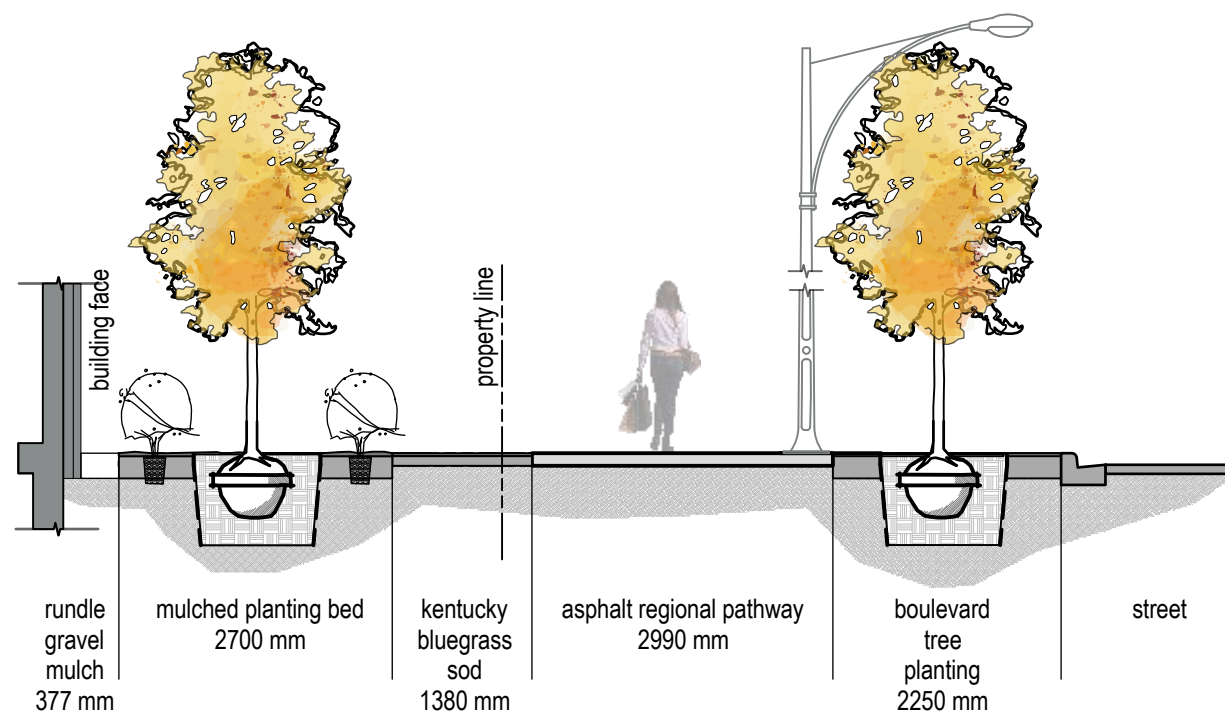
Scale	1 : 500
Project No.	RZ1125-0014
Drawing No.	DP10-09



AMENDED DRAWINGS	
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1 landscape plan
1:400

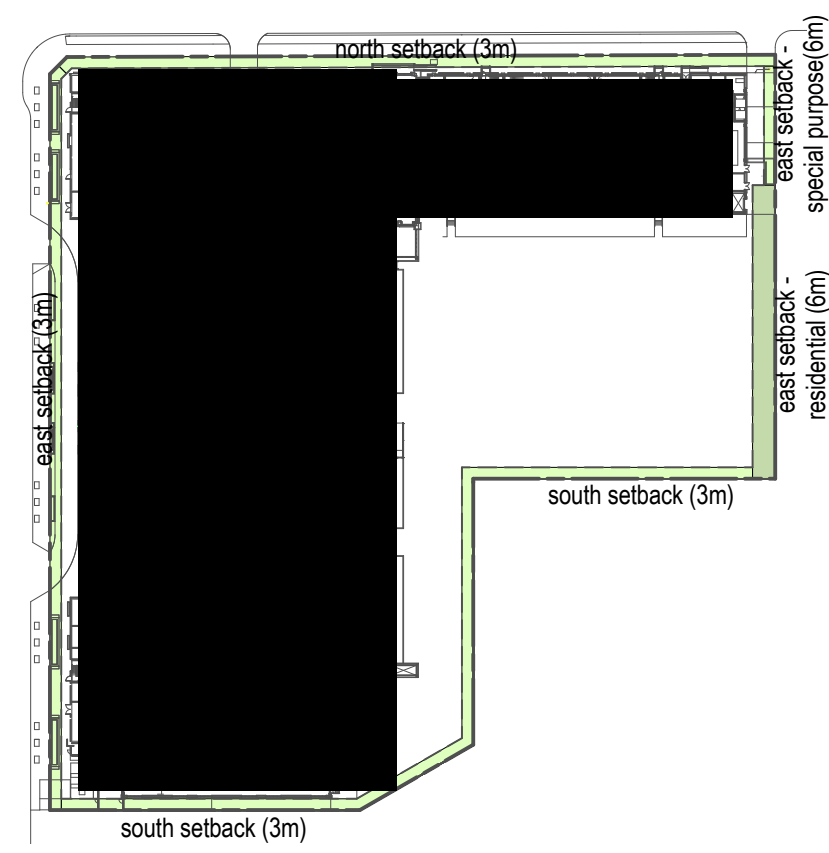


2 boulevard cross section
1:75

land use bylaw landscape requirements						
City Of Calgary Zoning		S-R				
total parcel area		31,016.00 m2				
landscape area				total number of trees		required provided
setback areas						
north setback area (3m)	569 m2	north setback area (1/45m2)		13	19	
west setback area (3m)	590 m2	west setback area (1/45m2)		14	12	
east setback area - residential (6m)	466 m2	east setback area - residential (1/30m2)		16	17	
east setback area - special purpose (3m)	94 m2	east setback area - special purpose (1/45m2)		3	4	
south setback area (3m)	776 m2	south setback area (1/45m2)		18	40	
total trees (setback areas)				64	92	
total trees (site)					44	
deciduous trees		75%	provided	coniferous trees (min. 1/4)		25% provided
north setback area	10	15	north setback area	min	3	4
west setback area	11	11	west setback area	min	4	1
east setback area (residential)	12	8	east setback area (residential)	min	4	9
east setback area (special purpose)	2	0	east setback area (special purpose)	min	1	4
south setback area	14	19	south setback area	min	5	21
total deciduous trees (setback areas)		48	53	total coniferous trees (setback areas)		16 39
total deciduous trees (site)						
shrubs		required	provided			
north setback area (2/45m2)	26	173				
west setback area (2/45m2)	28	74				
east setback area - residential (2/30m2)	32	59				
east setback area - special purpose (2/45m2)	6	11				
south setback area (2/45m2)	36	243				
total shrubs (setback areas)		128	560			
total shrubs (site)						
trees		shrubs				
	bur oak <i>Quercus macrocarpa</i> Qty: 28	75mm caliper balled and burlapped		Turkestan Burning Bush <i>Euonymus narius 'Turkestanicus'</i> Qty: 29	#5 container 600mm min. height	
	baby blue spruce <i>Picea pungens 'Baby Blue'</i> Qty: 13	3m height balled and burlapped		Common Goatsbeard <i>Anrucus dioicus</i> Qty: 69	#1 container	
	bakeri blue spruce <i>Picea pungens 'Bakeri'</i> Qty: 6	2m height balled and burlapped		miss canada lilac <i>Syringa x prestoniae 'Miss Canada'</i> Qty: 87	#5 container 600mm min height + spread	
	colorado spruce <i>Picea pungens</i> Qty: 3	3m height balled and burlapped		goldflame spirea <i>Spiraea x bumalda 'Goldflame'</i> Qty: 215	#5 container Multiple values	
	columnar colorado spruce <i>Picea pungens 'Fastigiata'</i> Qty: 12	2m height balled and burlapped		creeping blue spruce <i>Picea pungens 'St. Mary's Broom'</i> Qty: 32	#5 container 600mm min spread	
	foothills green ash <i>Fraxinus pennsylvanica 'Foothills'</i> Qty: 7	75mm caliper balled and burlapped		Annabelle Hydrangea <i>Hydrangea arborescens 'annabelle'</i> Qty: 69	#5 container 600mm min height + spread	
	laurel leaf willow <i>Salix pentandra</i> Qty: 12	50mm caliper balled and burlapped		hillside creeper scotch pine <i>Pinus sylvestris 'Hillside Creeper'</i> Qty: 79	#5 container 600 mm min height + spread	
	mayday <i>Prunus padus 'commutata'</i> Qty: 8	75mm caliper balled and burlapped		buckbrush coralberry <i>Symphoricarpos occidentalis</i> Qty: 81	#5 container 600 mm min height + spread	
	Silver Cloud Maple <i>Acer saccharinum 'Silver Cloud'</i> Qty: 10	75mm caliper balled and burlapped		red osier dogwood <i>Cornus sericea</i> Qty: 91	#5 container 600mm min height + spread	
	siberian larch <i>Larix sibirica</i> Qty: 5	3m height balled and burlapped		dwarf european cranberry <i>Viburnum opulus 'Nanum'</i> Qty: 560	#5 container Multiple values	
	true north linden <i>Tilia americana 'Duros'</i> Qty: 5	50mm caliper balled and burlapped		Karl Foerster Feather Reed Grass <i>Calamagrostis acutiflora</i> Qty: 28	#2 container	
	toba hawthorn <i>Crataegus x mordenensis 'Toba'</i> Qty: 15	75mm caliper balled and burlapped		Miss Kim Lilac <i>Syringa patula 'Miss Kim'</i> Qty: 56	#5 container 600mm min height + spread	
	courageous flowering crab <i>Malus 'DrLawrence'</i> Qty: 12	50mm caliper balled and burlapped		snowbelle mock orange <i>Philadelphus x 'Snowbelle'</i> Qty: 36	#5 container 600mm min height + spread	
				mugo pine <i>Pinus mugo 'Mughus'</i> Qty: 83	#5 container 600mm min height + spread	
				shrubby cinquefoil <i>Potentilla fruticosa</i> Qty: 42	#5 container 600mm min height + spread	
				russian almond <i>Prunus tenella</i> Qty: 111	#5 container 600mm min height + spread	

hardscape		softscape	
	colored concrete paving; broom finish + tooled joints		kentucky bluegrass sod
	decorative concrete pavers; colour + pattern tbd		mulched planting bed
	rundle gravel mulch		perennial plantings
	standard concrete paving; broom finish + tooled joints		
	vehicular grade concrete pavers; colour + pattern tbd		
site furnishings		utilities	
	catenary lighting arch Qty: 6		water line (refer to civil)
	class 2 bike rack Qty: 43		storm line (refer to civil)
	concrete tennis table Qty: 2		site property line
	surface mounted bench Qty: 18		sanitary line (refer to civil)

- notes
- This drawing is copyright © 818 studio ltd., and shall not be reproduced, revised, transmitted and / or utilized by any third party outside of the Owner without written permission from 818 studio ltd.
 - Do not scale drawings.
 - Refer to Civil drawings for all grading information.
 - All walkways are plain concrete unless noted otherwise.
 - All landscape areas to be watered with an automatic underground irrigation system.
Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
 - All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.



bylaw setback areas
1:2000

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE
1112 4th STREET SW CALGARY, AB T2T3W6

number	revision	date	by	approved
7	issued for design development	2025-07-17	rr	
6	revision - client comments	2025-04-15	aag	
5	issue revisions - client comments 2025-04-14	2025-04-14	aag	
4	revisions to rooftop terrace based on client feedback and base revisions	2025-04-04	zec	
3	revisions based on client feedback	2025-03-12	zec	
2	civil base update	2025-03-11	zec	
1	arch base update	2025-03-05	zec	
13	issued for DR2	2025-10-10		
12	issued for DR2	2025-10-08		
10	issued for coordination / Arch review	2025-09-23		
8	issued for coordination with NORR	2025-09-02		
7	Issued for Coordination / Civil Review	2025-08-28		
6	issued for DR1	2025-08-13		
5	issued for DR 1	2025-08-12		
4	issued for design development	2025-07-18		
3	issue for coordination	2025-07-09		
2	issue for coordination	2025-05-27		
1	Issued for development permit	2025-03-18		
issued for		date (y.m.d)		

AMENDED DRAWINGS
DP No DP2025-01650 Date Received 2025-10-15
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project		Nostalgia Athletic Club	
drawing		landscape plan	
drawn	rr	approved	rbg
checked	pt	project number	0472.9
date	2025 10 10	sheet	DPL1
scale	as noted		