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NORR

2300, 411 – 1st Street SE
Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
Adrian Todella, P.Eng., APEGA
Chris Pal, P.Eng., APEGA

JAYMAN NOSTALGIA CLUB

CALGARY, ALBERTA

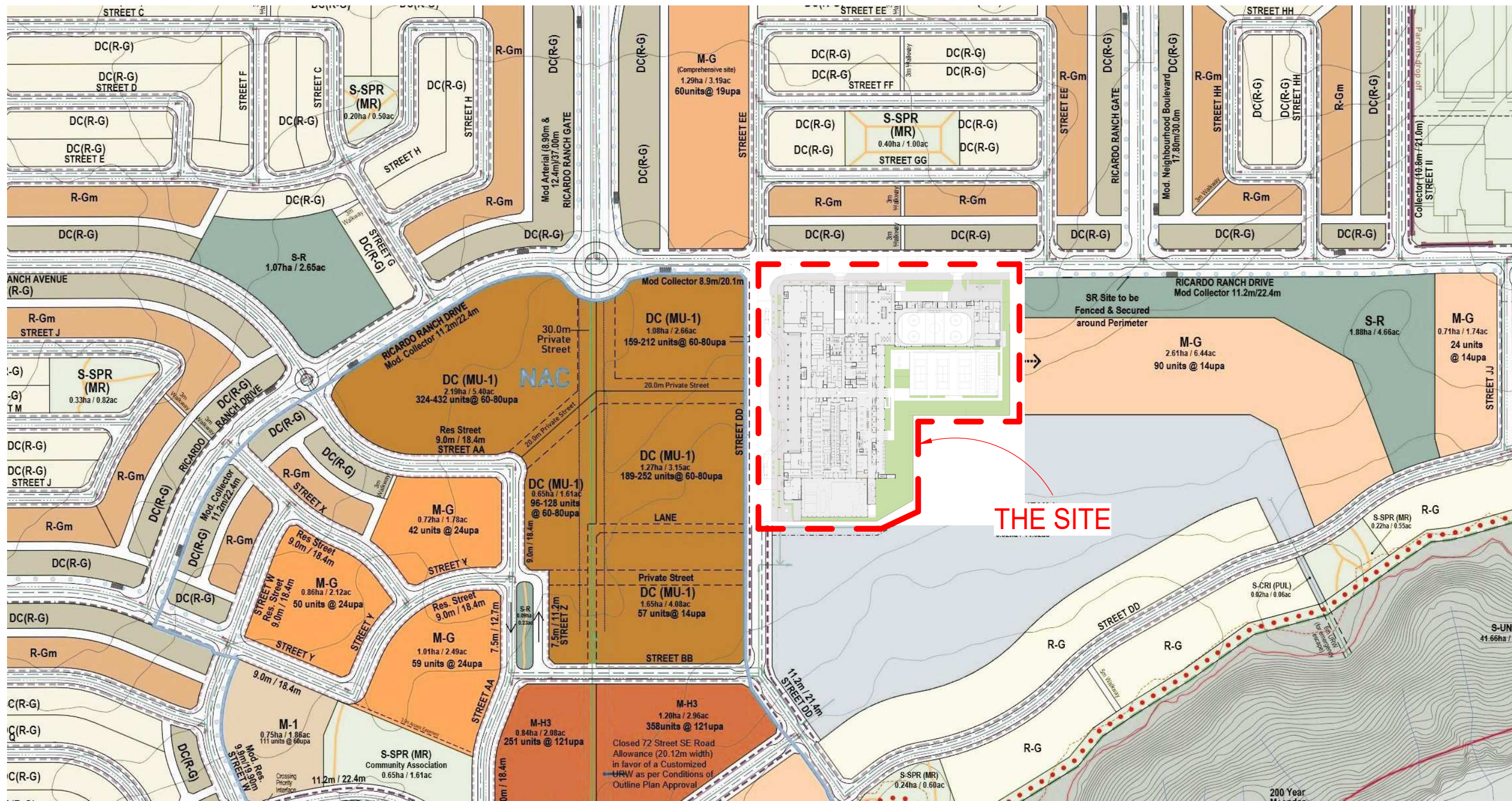
DEVELOPMENT PERMIT: DP2025-01650
NORR PROJECT NUMBER: RZ1125-0014

AMENDED DRAWINGS
DP No Date Received
DP2025-01650 2026-01-13
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



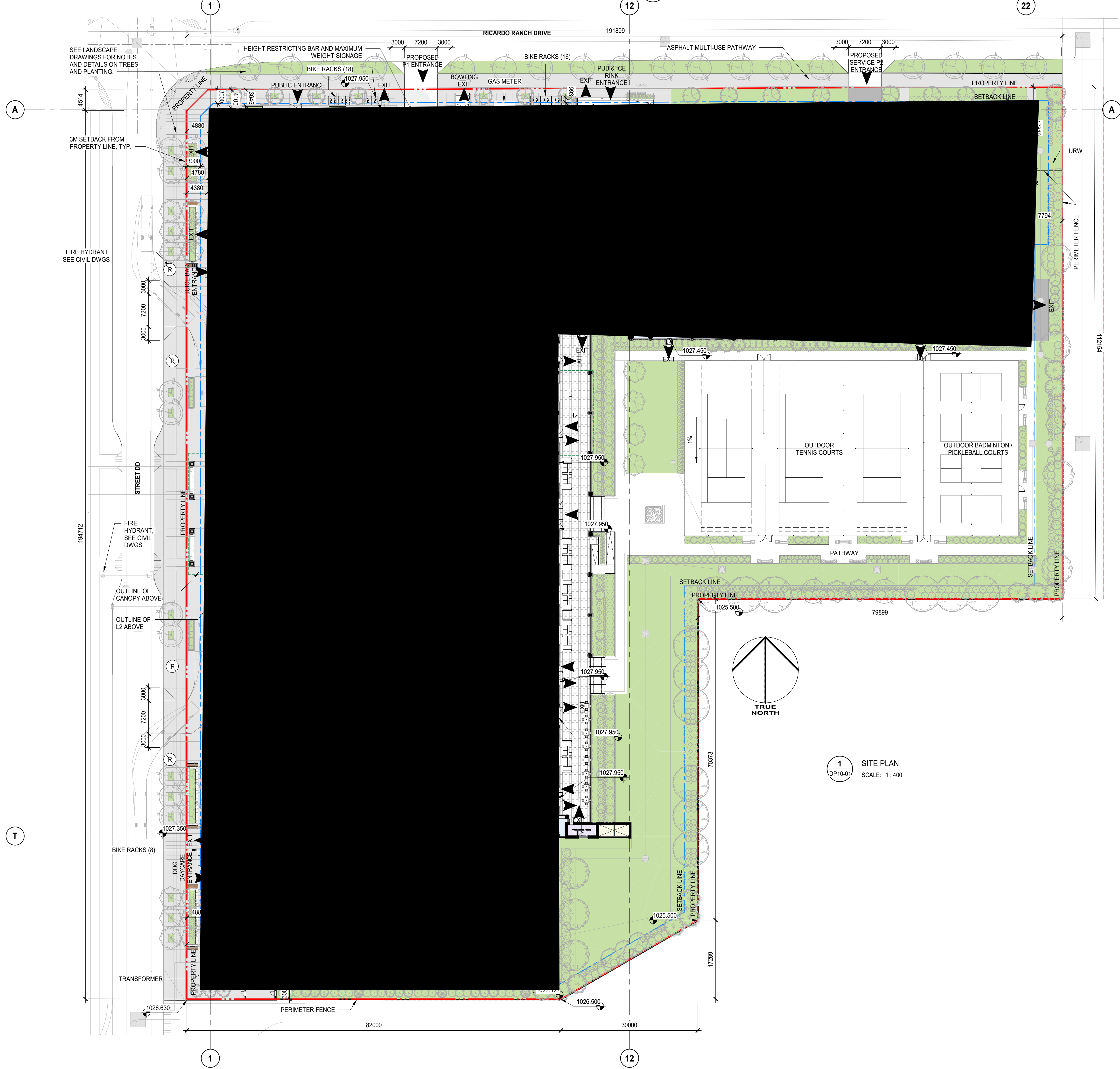
AMENDED DP SUBMISSION - 01-12-2026

AQUATIC WATER TECHNOLOGY INC. 100 Park Ave. Beaver Dam, WI, USA 53916 1-920-887-7375	SURVEY & CIVIL URBAN SYSTEMS 101 - 134 11TH Avenue SE Calgary, AB, Canada T2G 0X5 1-403-291-1193	ARCHITECTURE & INTERIORS NORR 2300, 411 - 1st Street SE Calgary, AB, Canada T2G 4Y5 1-403-264-4000	STRUCTURAL ENTUITIVE 1075 W. Georgia St. Suite #1020 Vancouver, BC, Canada V6E 3C9 1-604-900-6224
MEP SMITH + ANDERSEN 1205, 330 - 5th Ave. SW Calgary, AB, Canada T2P 0L4 1-403-261-8897	GEOTECH ENGLLOBE 110, 10 Stonehill Place Calgary, AB, Canada T3N 1T7 1-403-291-2345	INTERIORS HRIBAR DESIGN GROUP 227 10 St. NW Calgary, AB, Canada T2N 1V5 1-403-452-4190	LANDSCAPE EIGHT ONE EIGHT STUDIO 1812 14A Street SW Calgary, AB, Canada T2T 3W6 1-403-244-8188



3 SITE CONTEXT
SCALE: 1:50

2 SATELLITE VIEW
SCALE: NTS



1 SITE PLAN
SCALE: 1:400

Site Information

LAND USE DISTRICT	(S-R)	Special Purpose - Recreation (S-R) District		
LEGAL DESCRIPTION	PLAN	BLOCK	LOT(S)	
MUNICIPAL ADDRESS	900 Street Name, Calgary, Alberta			
COMMUNITY	Ricardo Ranch		Calgary	
SITE AREA	31,039.4 SM	334,105.2 SF	7.67 AC	3.10 HA
Development Statistics				
PROPOSED USE	Indoor Recreation Facility, Private Athletic / Recreation Club with sports, leisure, health & wellness facilities.			
USE AREA	Except as noted below, there is no use area requirement in the Special Purpose - Recreation District.			

Max cumulative use area:	ALLOWED	PROPOSED
Health Care Services	1,000 SM	0 SM
Child Care Services	1,000 SM	200 SM
Restaurant	300 SM	200+ SM

BUILDING SETBACKS	REQUIRED	PROPOSED
North	3.0 M	4.1 M
South	3.0 M	3.0 M
East	6.0 M	7.7 M
West	3.0 M	4.8 M

Vehicle Parking Provided

LEVEL	REQUIRED STALLS	PROVIDED STALLS
Parkade	0	538
Standard Stalls		3
Standard w/ EV		9
Standard w/ EV Ready		9
Barrier Free Stalls		9
Total Stalls		559
Deficiency		
Surplus		559
Motorcycle Stalls (not included in parking count above)		28
Total Stalls (Standard + EV + BF + Motorcycle)		587

Bicycle Parking

TYPE	REQUIREMENT	REQUIRED STALLS	PROVIDED STALLS
0			
Class 1	Not required	0	0
Class 2	0.5 stalls per 100sm gross usable area	192	192
Total Bike Stalls		192	192

Building Areas

LEVEL	GROSS FLOOR AREA (Includes mechanical rooms & void spaces such as elevator shafts, atriums, stairwells and similar areas)	
	SM	SF
Level 1	17,095.5	184,014.2
Level 2	17,715.9	190,692.6
Level 3	12,875.6	138,592.0
Level 4	5,075.6	54,632.9
Penthouse	524.2	5,642.3
P1	15,245.8	164,104.0
P2	13,084.5	140,840.6
TOTAL EXCL. P1 & P2		53,286.8 SM 573,574.0 SF
TOTAL INCL. P1 & P2		81,617.1 SM 878,518.6 SF

LEVEL	GROSS USABLE FLOOR AREA (Excludes mech. / elec. rooms, voids, elevators, stairwells, parking / loading, trash, & below grade storage)	
	SM	SF
Level 1	16,251.6	174,930.9
Level 2	12,702.7	136,731.2
Level 3	4,908.9	52,838.9
Level 4	3,917.9	42,171.8
P1	406.5	4,375.7
P2	95.4	1,030.3
OVERALL TOTAL		38,265.1 SM 413,151.9 SF

SITE PLAN NOTES

- REGULAR ASPHALT ON PARKING STALLS
 - REGULAR CONCRETE ON GARAGE APPROACH
 - WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (W)
 - NO PARKING ANYTIME AT LOADING STALL
 - REFER TO CIVIL DRAWINGS FOR SERVICES AND GRADING
 - REFER TO LANDSCAPE DRAWINGS FOR DETAILS
- #### GENERAL NOTES
- REFER TO LANDSCAPE PLANS FOR EXISTING AND PROPOSED TREES, SIDEWALKS AND FEATURES
 - REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING LAYOUT AND DETAILS, ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY
 - REFER TO DP10-03 FOR WASTE & RECYCLING DRAWINGS AND DETAILS
 - ALL PROPERTY LINES ARE EXISTING AND ALL ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
 - NO SURFACE PARKING (VISITORS INCLUDED) SHALL EXCEED 4% SLOPE IN ANY DIRECTION
 - ALL INFORMATION ABOUT SERVICES, UTILITY RIGHT OF WAY AND GRADING IS PROVIDED & EXTERIOR STEPS BY CIVIL ENGINEER AND ITS SHOWN ARCHITECTURAL DRAWINGS FOR REFERENCE ONLY. IF THERE IS ANY DISCREPANCY AND FOR ADDITIONAL INFORMATION REFER TO CIVIL DRAWINGS
 - THIS DEVELOPMENT PERMIT DRAWING AND NOTED AREA CALCULATION IS FOR GENERAL REFERENCE ONLY. ALL BUILDINGS ARE APPROXIMATE AND ARE TO BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT

SITE LEGEND

- ▲ PRINCIPAL ENTRY
- COMPACT PARKING
- EV ELECTRICAL VEHICLE READY
- BARRIER FREE PARKING
- BARRIER FREE PARKING SIGNAGE
- VISITOR PARKING SIGNAGE
- NO PARKING ANY TIME / FIRE/LANE
- STOP SIGN
- TRANSFORMER & CONC. PAD
- FIRE HYDRANT EXISTING (E) & PROPOSED (P)
- ASPHALT FINISH
- PROPERTY LINE
- SETBACK LINE
- URW
- BUILDING / PROJECTION ABOVE
- LINE OF BUILDING BELOW

DRAWING LIST - ARCHITECTURAL - DP

SHEET NUMBER

SHEET NAME

SHEET NUMBER	SHEET NAME	3-16-2025 - DP	8-16-2025 - DP	10-16-2025 - DP	11-16-2025 - DP	01-16-2026 - DP
DP00-00	COVER SHEET	■	■	■	■	■
DP10-01	SITE STATISTICS AND VICINITY PLAN	■	■	■	■	■
DP10-03	LOADING VEHICLE SWEEP PATH, W&R DETAILS	■	■	■	■	■
DP10-04	FIRE TRUCK SWEEP PATH	■	■	■	■	■
DP10-07	3D RENDERINGS	■	■	■	■	■
DP10-09	SURVEY	■	■	■	■	■
DP11-01	SITE DETAILS	■	■	■	■	■
DP20-01	LEVEL 1 OVERALL FLOOR PLAN	■	■	■	■	■
DP20-02	LEVEL 2 OVERALL FLOOR PLAN	■	■	■	■	■
DP20-03	LEVEL 3 OVERALL FLOOR PLAN	■	■	■	■	■
DP20-04	LEVEL 4 OVERALL FLOOR PLAN	■	■	■	■	■
DP20-05	OVERALL ROOF PLAN	■	■	■	■	■
DP20-P1	LEVEL P1 OVERALL FLOOR PLAN	■	■	■	■	■
DP20-P2	LEVEL P2 OVERALL FLOOR PLAN	■	■	■	■	■
DP21-P1-T	LEVEL P1 ENLARGED FLOOR PLAN - TUNNEL	■	■	■	■	■
DP40-01	OVERALL BUILDING ELEVATIONS	■	■	■	■	■
DP43-01	OVERALL BUILDING SECTIONS	■	■	■	■	■
DP43-02	RAMP & BLVD SECTIONS	■	■	■	■	■
DP43-03	RAMP & BLVD SECTIONS	■	■	■	■	■
Total Number of sheets: 19						

DATE	ISSUED FOR	REV
2025-03-18	DEVELOPMENT PERMIT - DR1	A
2025-08-13	DEVELOPMENT PERMIT - DR2	B
2025-10-09	DEVELOPMENT PERMIT - DR3	C
2025-11-21	AMENDED DP SUBMISSION	

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Project Component

Key Plan

Consultants

Architecture:	NORR
Structural:	ENTUITIVE
MEP:	SMITH + ANDERSEN
Geotech:	ENGLOBE
Interiors:	HIBAR DESIGN GROUP
Landscape:	EIGHT ONE EIGHT STUDIO
Survey:	WATER TECHNOLOGY INC.
Civil:	URBAN SYSTEMS

Project North

Seal(s)



JOINT FIRM
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Incorporated by
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Certificate No. AEC015504

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Chris Hall, P.Eng., P.Eng.

Project Manager

William Woodcock

Project Leader

Amber Kishack

Client

Jayman Living

Project

JAYMAN NOSTALGIA CLUB

CALGARY, ALBERTA

Drawing Title

SITE STATISTICS AND VICINITY PLAN

Scale

As indicated

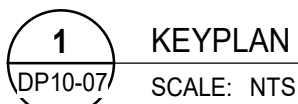
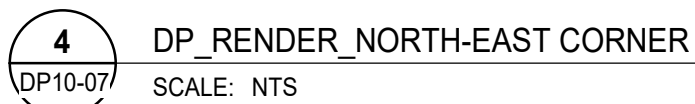
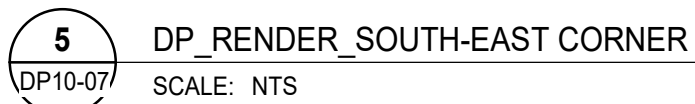
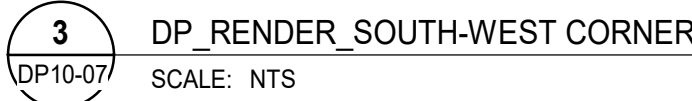
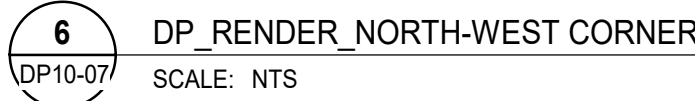
Project No.

RZ1125-0014

Drawing No.

DP10-01

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ISO A2 Title Block - v.2023 - Rev (8/2023) - Copyright © 2023

1/20/2025 12:42:27 PM
Altitude: Docu: Jayman's Nostalgia NORR NC2425-01650 Jayman Nostalgia_R01 Chis: Building 30x1x1
9/2 All Title Block - 2023 - Rev (Sept23) - Copyright © 2023



4 DP_A40 OVERALL BUILDING ELEVATION - WEST
SCALE: 1:300



3 DP_A40 OVERALL BUILDING ELEVATION - NORTH
SCALE: 1:300



2 DP_A40 OVERALL BUILDING ELEVATION - EAST
SCALE: 1:300



1 DP_A40 OVERALL BUILDING ELEVATION - SOUTH
SCALE: 1:300

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ELEVATION LEGEND		
01	EXTERIOR STONE CLADDING 48" x 24"; COLOUR: WARM LIGHT GREY	
02	EXTERIOR STONE CLADDING 24" x 24"; COLOUR: WARM MEDIUM GREY	
03	EXTERIOR STONE CLADDING 24" x 12"; WARM DARK GRAY (WALL BASE)	
04	EXTERIOR STONE CLADDING 48" x 24"; COLOUR: WARM DARK GRAY (ACCENT)	
05	EXTERIOR STONE CLADDING 48" x 24"; WARM DARK GRAY (ACCENT)	
06	ENTRANCE LOGO	
07	GLASS PANEL, COLOUR: CLEAR	
08	GLASS PANEL, SPRANDREL, OPACI COAT 300 COMMUNITY GREEN ON CLEAR GLASS	
09	GLASS PANEL, TINTED; COLOUR: TINTED	
10	METAL; COLOUR: GREEN (AWNING/CANOPY)	
11	ALUMINUM WINDOW FRAME & METAL LOUVER; COLOUR: BLACK	
12	METAL; CHAINLINK FENCING	
13	PRE-FINISHED ALUMINUM FASCIA PANELING; COLOUR: BLACK	
14	PRE-FINISHED ALUMINUM FENCE; COLOUR: BLACK	
15	BLACK METAL WALL-MOUNTED FLAG POLE HOLDER	
16	BLACK METAL WALL-MOUNTED BANNER POLE HOLDER	
17	PRE-FINISHED ALUMINUM CORING; COLOUR: BLACK	
18	ALUMINUM COMPOSITE PANEL, WOOD TEXTURE AND COLOUR	
19	ALUMINUM COMPOSITE PANEL, BLACK	
20	ALUMINUM COMPOSITE PANEL, DARK GRAY	
21	ALUMINUM COMPOSITE PANEL, GRAY	

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2025-10-09	DEVELOPMENT PERMIT - DR2	C
2025-11-21	DEVELOPMENT PERMIT - DR3	
2026-01-12	AMENDED DP SUBMISSION	

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Landscape:	EIGHT ONE EIGHT STUDIO
Survey:	WATER TECHNOLOGY INC.
Civil:	URBAN SYSTEMS

Project North

Seal(s)

2026-01-13
IFDP
ALBERTA

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Allan Tisdale, P.Eng., ORECA
Chris Pelt, P.Eng., ARECA

Project Manager William Woodcock	Drawn Author
Project Leader Amber Kishack	Checked Checker

Client

Jayman Living

Project

JAYMAN NOSTALGIA CLUB

CALGARY, ALBERTA

Drawing Title

OVERALL BUILDING ELEVATIONS

Scale

As indicated

Project No.

RZ1125-0014

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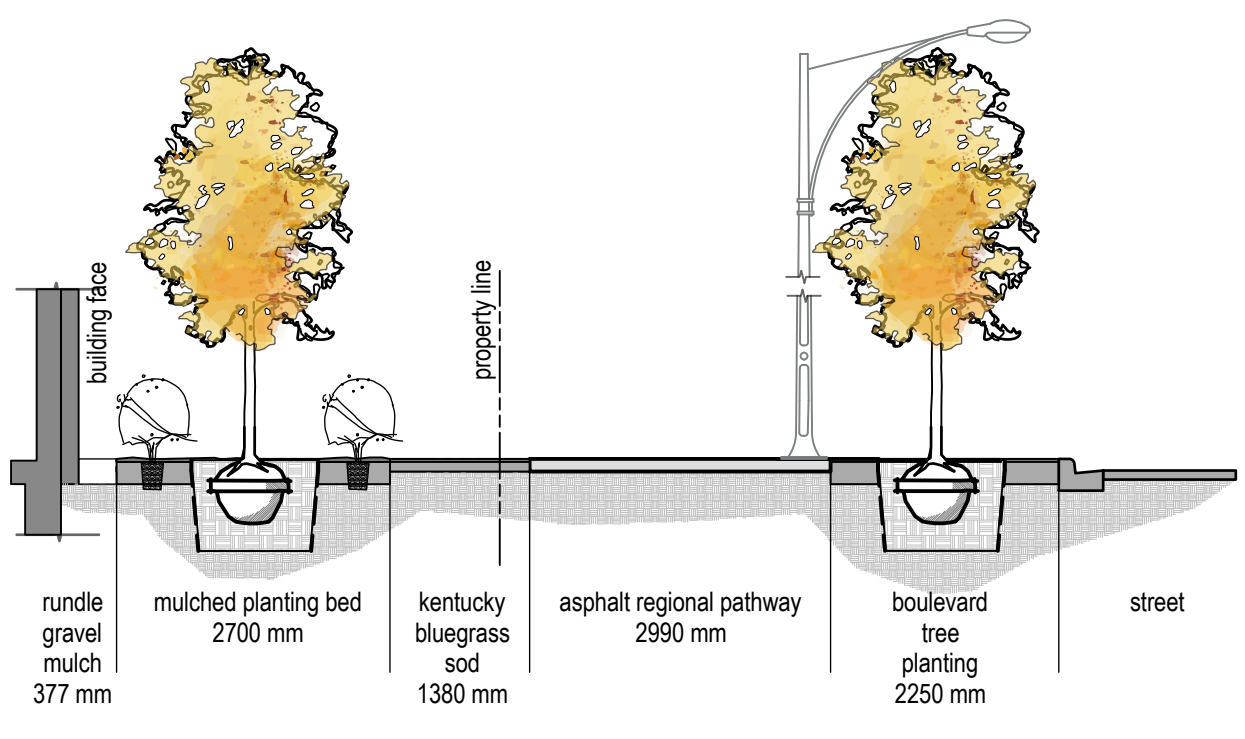
DP40-01

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1 landscape plan
1:400

2 boulevard cross section
1:75

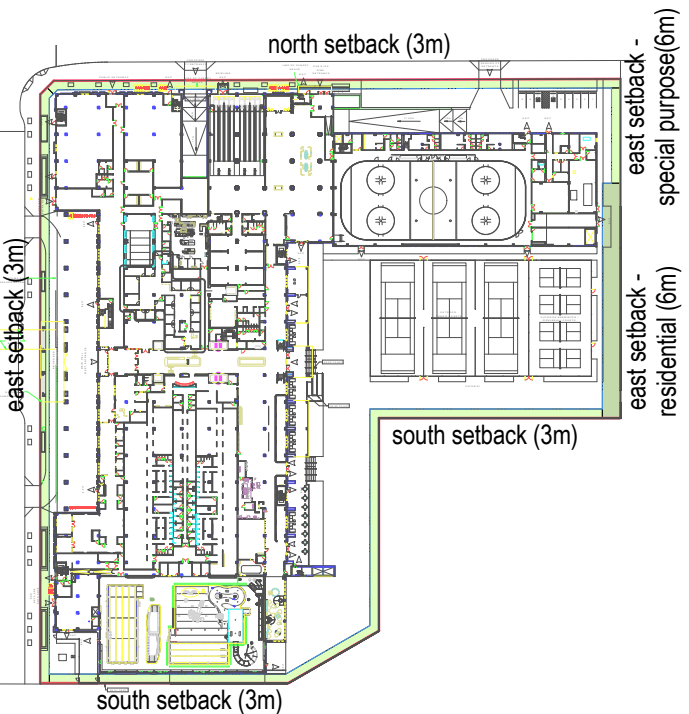


- softscape**
- mulched planting bed
 - kentucky bluegrass sod
 - perennial plantings
- hardscape**
- colored concrete paving; broom finish + tooled joints
 - standard concrete paving; broom finish + tooled joints
 - concrete apron
 - vehicular grade concrete pavers; colour + pattern tbd
 - decorative concrete pavers; colour + pattern tbd
 - rundle gravel mulch

land use bylaw landscape requirements					
City Of Calgary Zoning		S-R			
total parcel area		31,016.00 m2			
landscape area		total number of trees			
setback areas		required provided			
north setback area (3m)		569 m2	north setback area (1/45m2)	13	16
west setback area (3m)		590 m2	west setback area (1/45m2)	14	12
east setback area - residential (6m)		466 m2	east setback area - residential (1/30m2)	16	17
east setback area - special purpose (3m)		94 m2	east setback area - special purpose (1/45m2)	3	6
south setback area (3m)		776 m2	south setback area (1/45m2)	18	41
total trees (setback areas)				64	92
total trees (site)					40
deciduous trees		75% provided	coniferous trees (min. 1/4)	25% provided	
north setback area		10	north setback area	min	4
west setback area		11	west setback area	min	4
east setback area (residential)		12	east setback area (residential)	min	5
east setback area (special purpose)		2	east setback area (special purpose)	min	1
south setback area		14	south setback area	min	5
total deciduous trees (setback areas)		48	total coniferous trees (setback areas)	16	33
total deciduous trees (site)		25	total coniferous trees (site)		15
shrubs		required provided			
north setback area (2/45m2)		26	33		
west setback area (2/45m2)		28	74		
east setback area - residential (2/30m2)		32	68		
east setback area - special purpose (2/45m2)		6	30		
south setback area (2/45m2)		36	243		
total shrubs (setback areas)		128	448		
total shrubs (site)			1476		

trees		shrubs	
	baby blue spruce <i>Picea pungens 'Baby Blue'</i> Qty: 16	3m height balled and burlapped	Turkestan Burning Bush <i>Euonymus nanus 'Turkestanicus'</i> Qty: 41
	bakeri blue spruce <i>Picea pungens 'Bakeri'</i> Qty: 15	2m height balled and burlapped	Common Goatsbeard <i>Aruncus dioicus</i> Qty: 72
	colorado spruce <i>Picea pungens</i> Qty: 3	3m height balled and burlapped	miss canada lilac <i>Syringa x prestoniae 'Miss Canada'</i> Qty: 73
	columnar colorado spruce <i>Picea pungens 'Fastigiata'</i> Qty: 9	2m height balled and burlapped	goldflame spirea <i>Spiraea x bumalda 'Goldflame'</i> Qty: 235
	foothills green ash <i>Fraxinus pennsylvanica 'Foothills'</i> Qty: 7	75mm caliper balled and burlapped	creeping blue spruce <i>Picea pungens 'St. Mary's Broom'</i> Qty: 30
	laurel leaf willow <i>Salix pentandra</i> Qty: 12	50mm caliper balled and burlapped	Annabelle Hydrangea <i>Hydrangea arborescens 'annabelle'</i> Qty: 79
	mayday <i>Prunus padus 'commutata'</i> Qty: 7	75mm caliper balled and burlapped	bearberry <i>Arctostaphylos uva-ursi</i> Qty: 33
	Silver Cloud Maple <i>Acer saccharinum 'Silver Cloud'</i> Qty: 12	75mm caliper balled and burlapped	hillside creeper scotch pine <i>Pinus sylvestris 'Hillside Creeper'</i> Qty: 89
	siberian larch <i>Larix sibirica</i> Qty: 5	3m height balled and burlapped	buckbrush coralberry <i>Symphoricarpos occidentalis</i> Qty: 102
	true north linden <i>Tilia americana 'Duros'</i> Qty: 5	50mm caliper balled and burlapped	red osier dogwood <i>Cornus sericea</i> Qty: 65
	toba hawthorn <i>Crataegus x mordenensis 'Toba'</i> Qty: 20	Multiple values balled and burlapped	dwarf european cranberry <i>Viburnum opulus 'Nanum'</i> Qty: 362
	courageous flowering crab <i>Malus 'DuriLawrence'</i> Qty: 21	50mm caliper balled and burlapped	Karl Foerster Feather Reed Grass <i>Calamagrostis acutiflora</i> Qty: 46
			Miss Kim Lilac <i>Syringa patula 'Miss Kim'</i> Qty: 56
			snowbelle mock orange <i>Philadelphus x 'Snowbelle'</i> Qty: 40
			mugo pine <i>Pinus mugo 'Mughus'</i> Qty: 77
			shrubby cinquefoil <i>Potentilla fruticosa</i> Qty: 42
			russian almond <i>Prunus tenella</i> Qty: 27

- notes**
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 - Do not scale drawings.
 - Refer to Civil drawings for all grading information.
 - All walkways are plain concrete unless noted otherwise.
 - All landscape areas to be watered with an automatic underground irrigation system.
Contractor to ensure irrigation meter is installed and properly operating prior to charging and running the irrigation system.
 - All planting beds and tree wells to be mulched with bark chip mulch, to 100 mm depth. Contractor to ensure planting beds extend to drip line of outermost plant materials in planting bed.



bylaw setback areas
1:2500

EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATION

number	revision	date	by	approved
13	amended DP submission			2026-01-12
12	issued for DR3			2025-11-21
11	issued for DR2			2025-10-10
10	issued for DR2			2025-10-08
9	issued for coordination / arch review			2025-09-23
8	issued for coordination with NORR			2025-09-02
7	issued for coordination / civil review			2025-08-28
6	issued for DR1			2025-08-13
5	issued for design development			2025-07-18
3	issued for coordination			2025-07-09
2	issued for coordination			2025-05-27
1	issued for development permit			2025-03-18
issued for			date (y.m.d)	

project
Nostalgia Athletic Club

drawing
landscape plan

drawn	rr	approved	rbg
checked	pt	project number	0472.9
date	2025 11 21	sheet	DPL1
scale	as noted		

AMENDED DRAWINGS
DP No DP2025-01650 Date Received 2026-01-13
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