



Overhead View

Carriage Suite
Site Location

1

Site Photos

1" = 60'-0"



DANA HOMES

2231 16 ST SE
CALGARY, AB
T2G3P8

Project Address:
2231 16 ST S.E.

No.	Description	Date

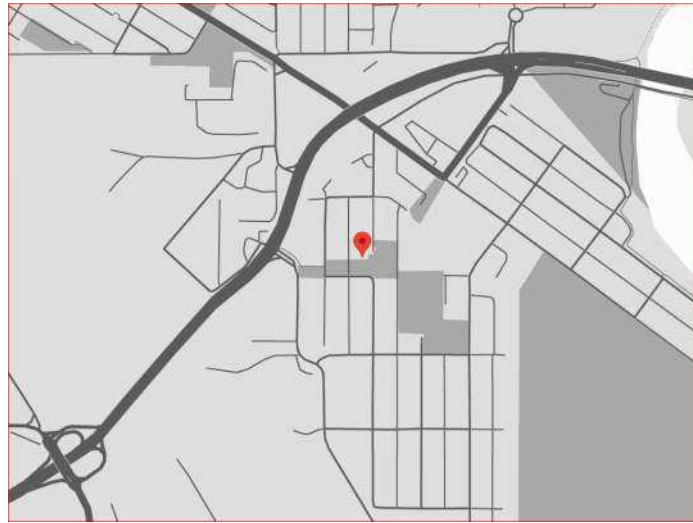
DP3.0.1

Site Photos

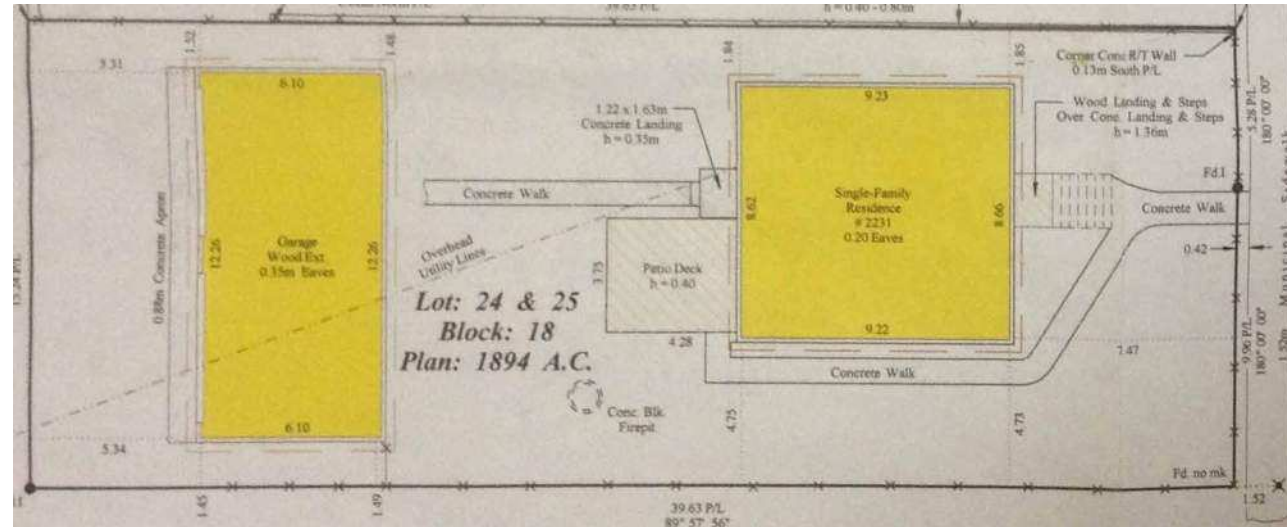
Date Issue Date

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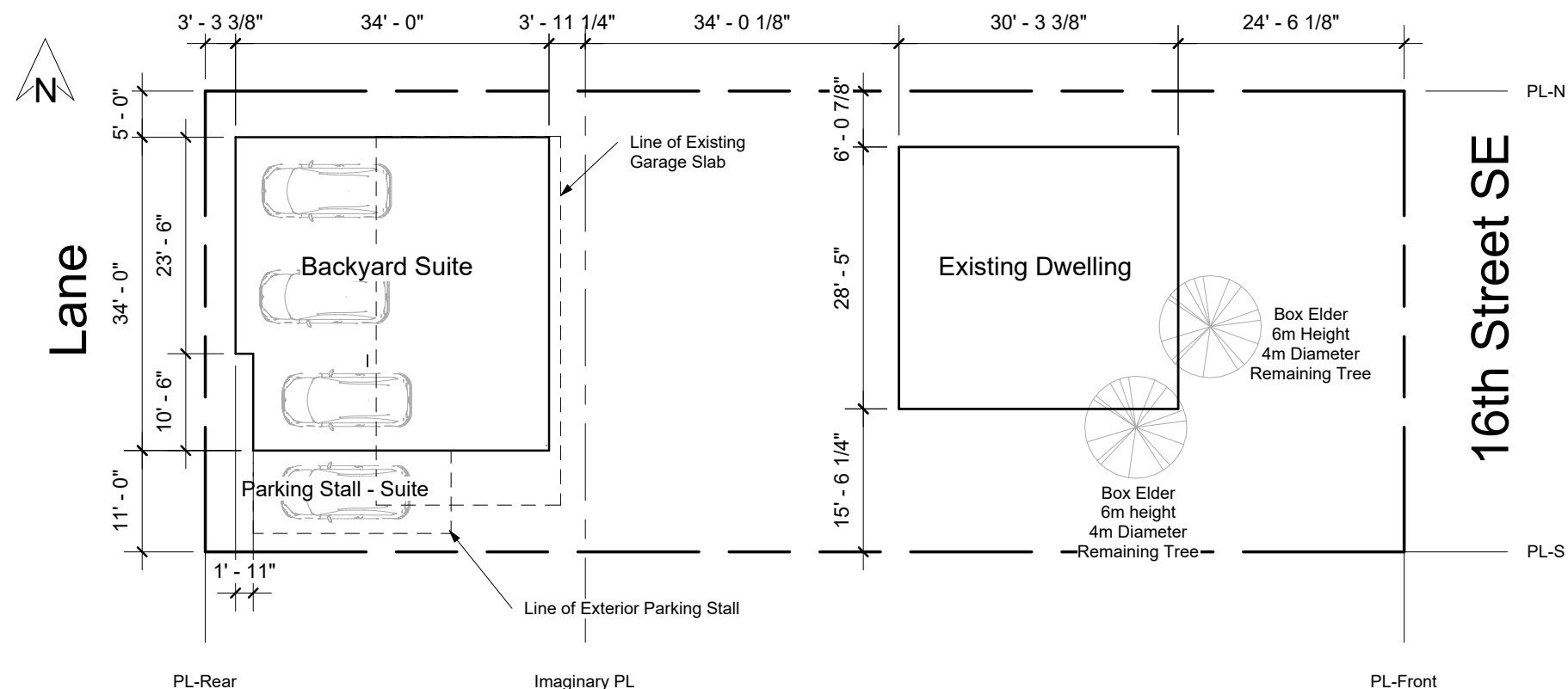
Scale 1" = 60'-0"



Map Location (Inglewood)

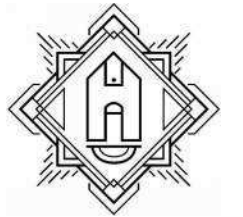


Existing Real Property Report (2012)



Off-Leash Dog Park

1 Proposed Site Plan
1 : 200



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DP3.1

Site Plan

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Scale 1 : 200



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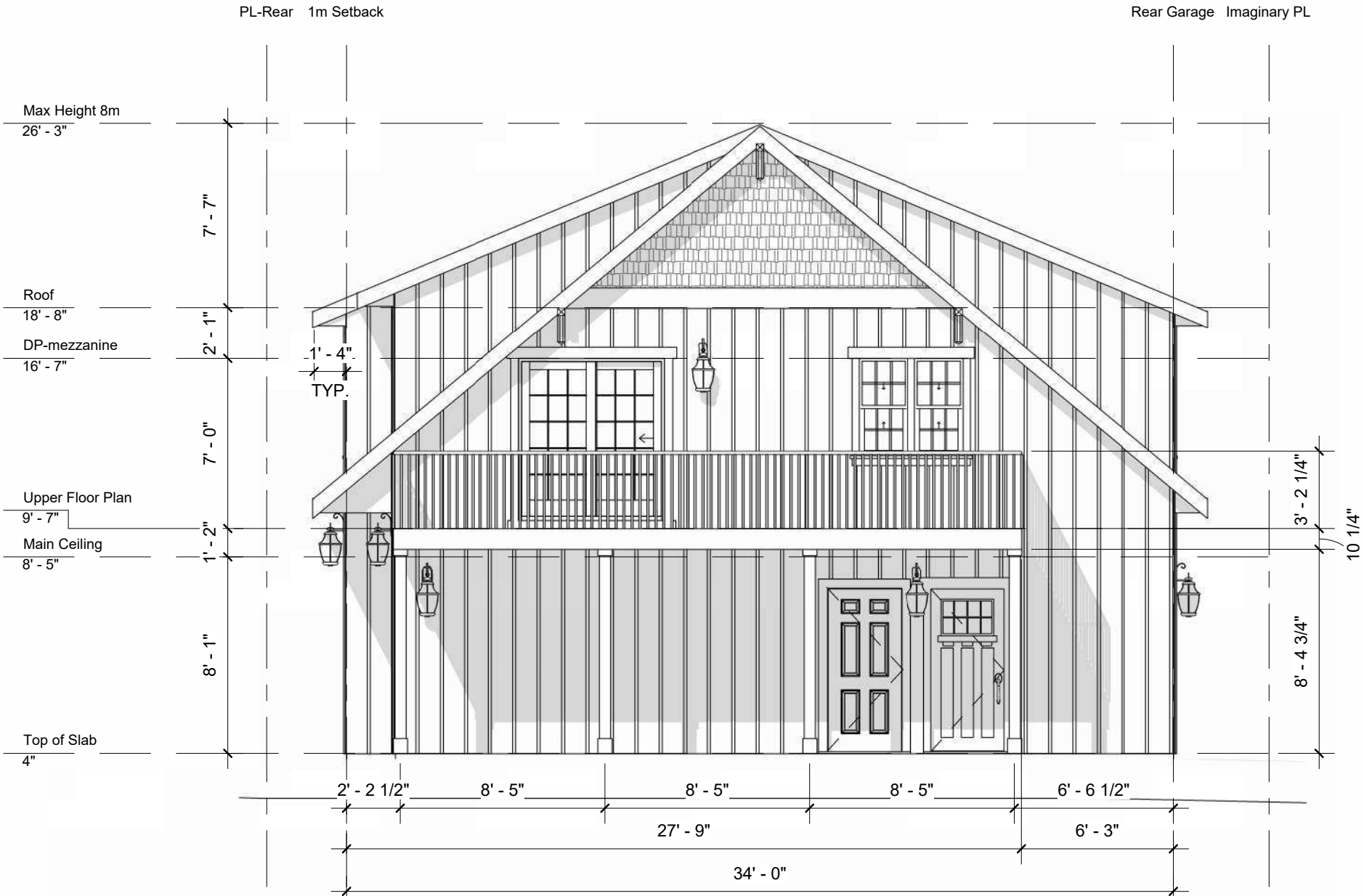
DP3.3.1

South Elev.

Date Issue Date

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Scale 3/16" = 1'-0"



1 South Elevation
3/16" = 1'-0"



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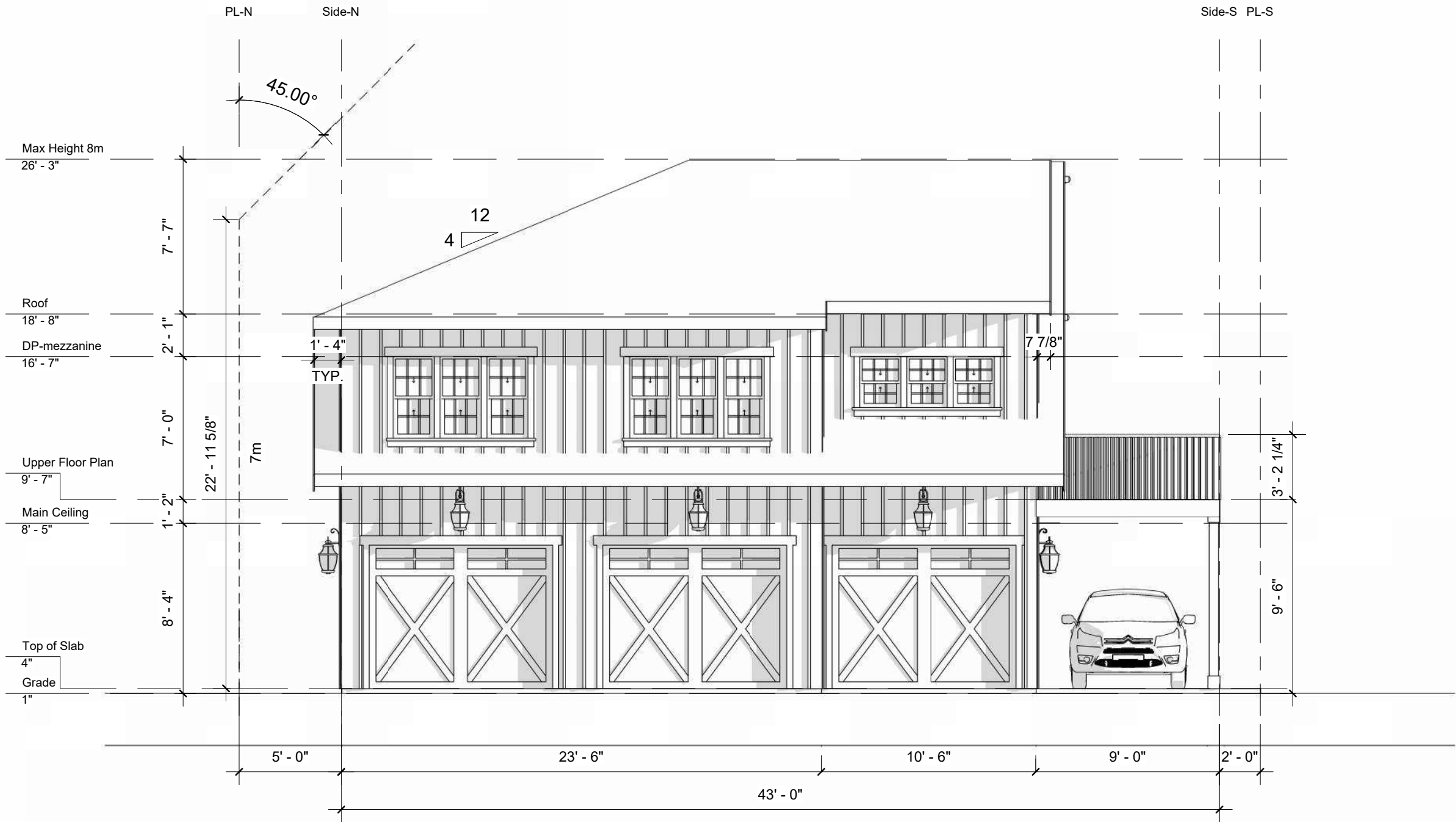
DP3.3.2

West Elev.

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Scale 3/16" = 1'-0"



1 West Elevation
3/16" = 1'-0"



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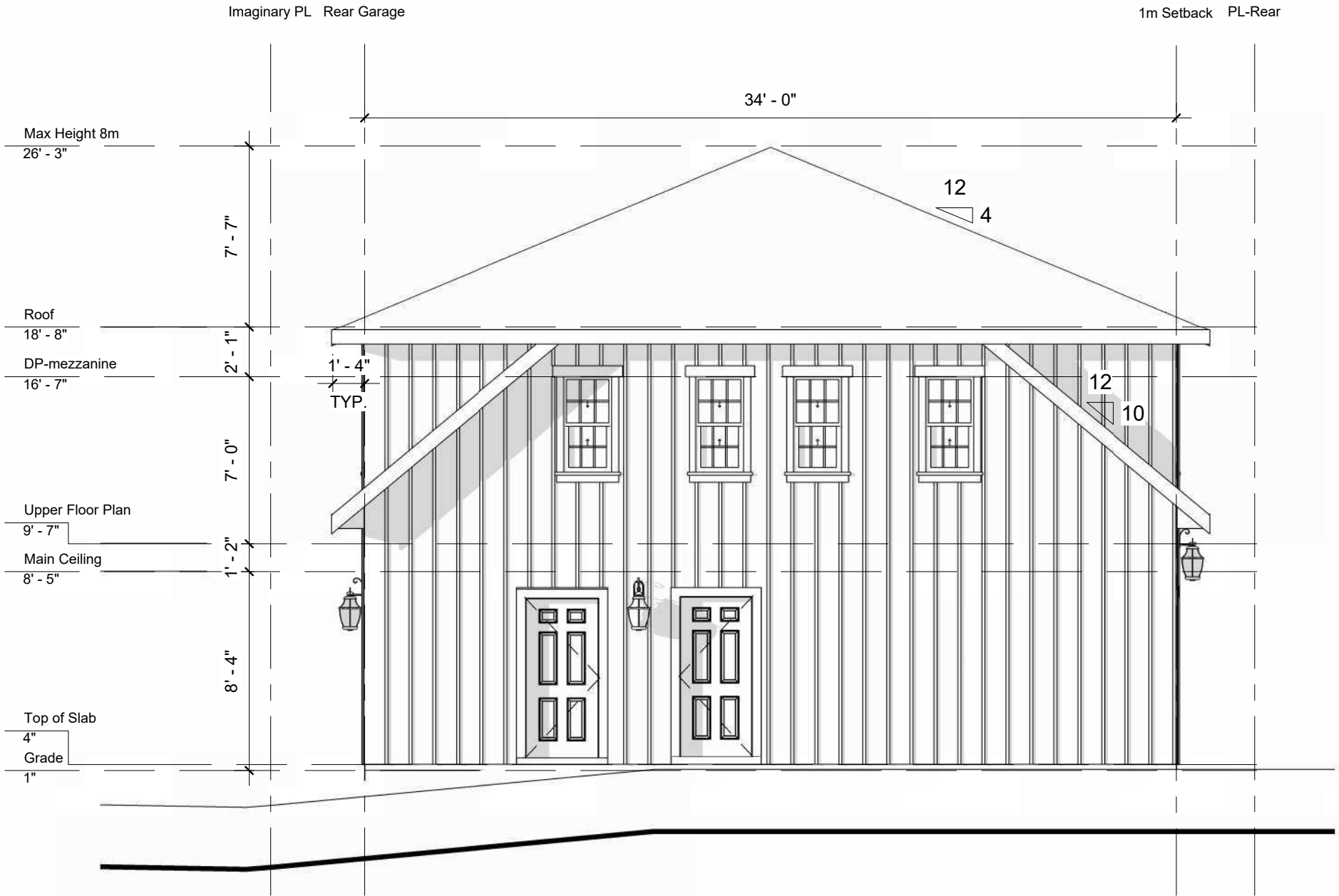
DP3.3.3

North Elev.

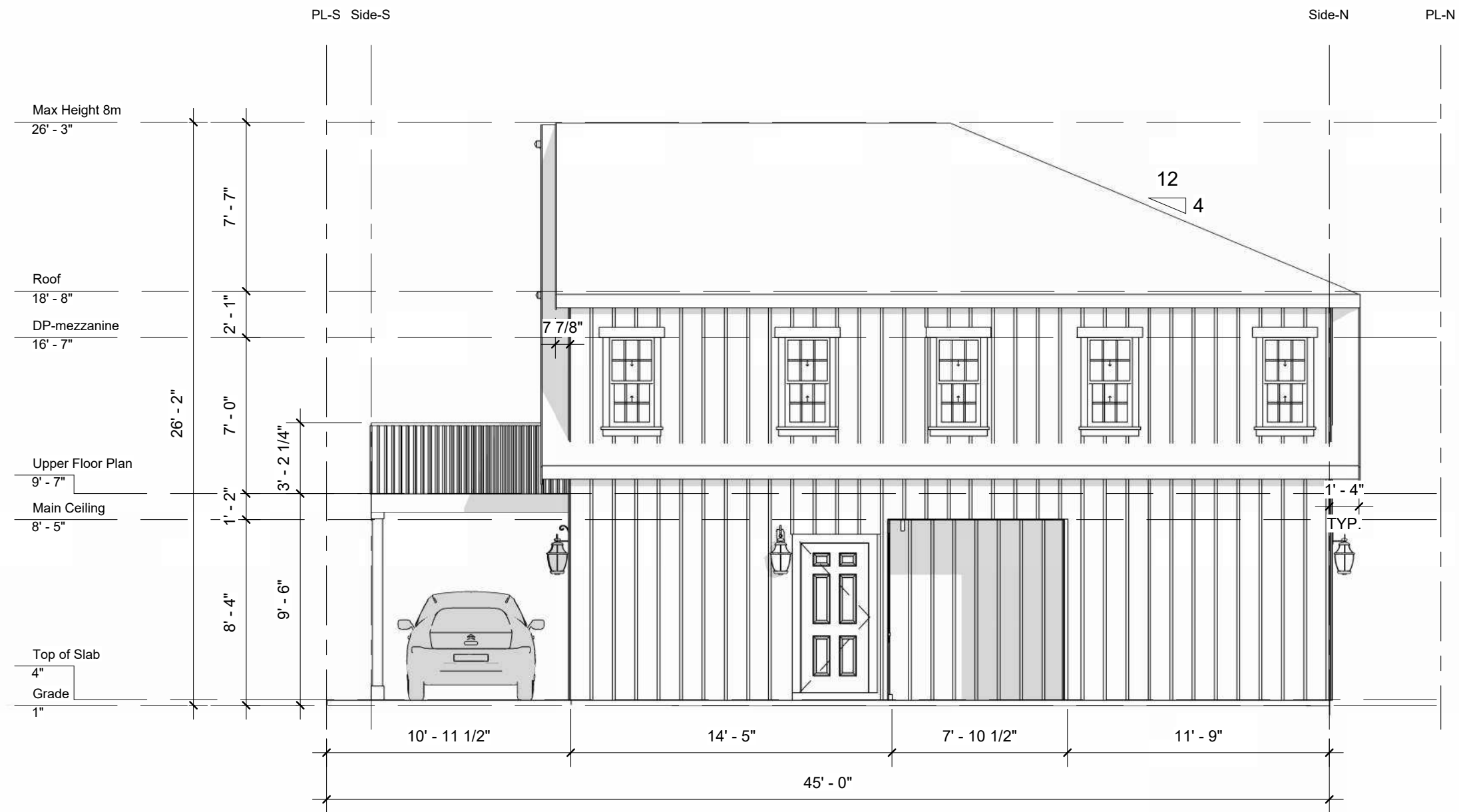
Date Issue Date

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Scale 3/16" = 1'-0"



1 North Elevation
3/16" = 1'-0"



1 East Elevation
3/16" = 1'-0"



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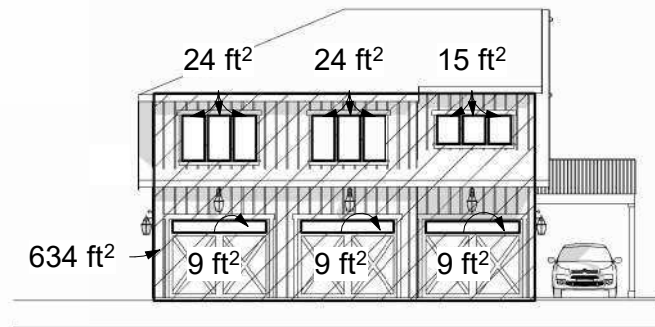
DP3.3.4

East Elev.

Date Issue Date

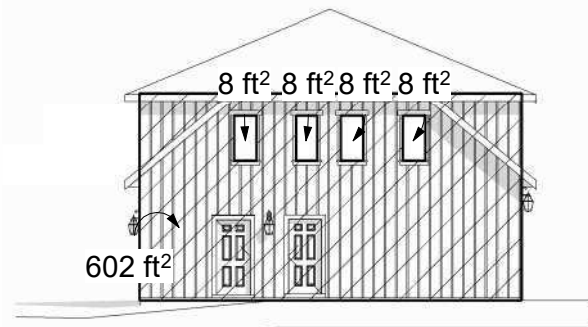
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Scale 3/16" = 1'-0"



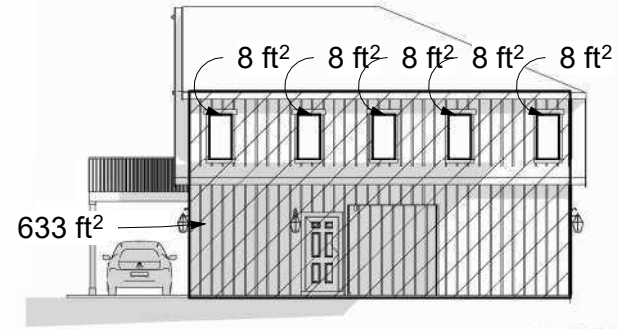
Spatial Separation
Exposed Building Face = 634 ff (58.9 m²)
Glazed Openings:
• 24+24+15+9+9+9 = 90 ff (8.36 m²)
Glazed Openings / Exposed Bldg Face:
8.36 / 58.9 = 14.19%
Limiting Distance: 4.0 m (center of lane)
Max % glazed openings = 26.22%
(9.10.15.4.)
Compliant: 14.19 < 26.22 = YES

2 Spatial West Elev
1/16" = 1'-0"



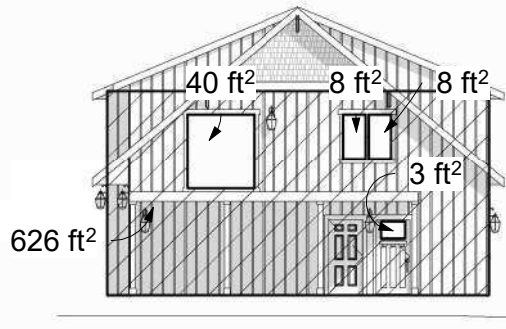
Spatial Separation
Exposed Building Face = 602 ff (55.9 m²)
Glazed Openings:
• 8 x 4 = 32 ff² (2.9 m²)
Glazed Openings / Exposed Bldg Face:
2.9 / 55.9 = 5.18%
Limiting Distance: 1.5 m (North property line)
Max % glazed openings = 8% (9.10.15.4.)
• Compliant: 5.18 < 7.0 = YES

4 Spatial North Elev
1/16" = 1'-0"



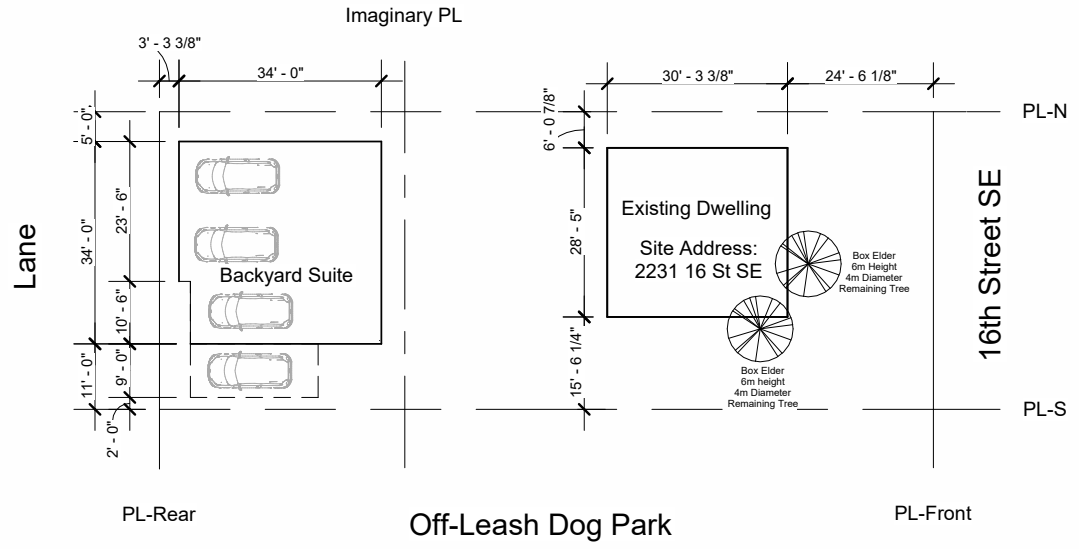
Spatial Separation
Exposed Building Face = 633 ff (58.81 m²)
Glazed Openings:
• 8 x 5 = 40 ff² (3.72 m²)
Glazed Openings / Exposed Bldg Face:
3.72 / 58.81 = 6.32%
Limiting Distance: 1.2 m (to imaginary property line)
Max % Glazed openings = 7% (9.10.15.4)
Compliant: 6.32 < 7.0 = YES

3 Spatial East Elev
1/16" = 1'-0"



Spatial Separation
Exposed Building Face = 626 ff (58.16 m²)
Glazed Openings:
• 40+8+8+3= 59 ff² (5.48 m²)
Glazed Openings / Exposed Bldg Face:
5.48 / 58.16 = 9.42%
Limiting Distance: 3.35 m (to south property line)
Max % Glazed openings = 21% (9.10.15.4.)
Compliant: 9.42 < 21.0 = YES

5 Spatial South Elev
1/16" = 1'-0"



1 Spatial Separation Plan
1" = 30'-0"



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DP3.3.5

Spatial
Separation

Date Issue Date

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Scale As indicated

Legend

Proposed Water Line

Proposed Sewer Line

Proposed Gasline

Proposed Electrical (Overhead Line)

Limit of Land Disturbance Zone

Construction Fencing

6m Boundary (From Disturbance Zone)

Proposed Building

Existing Trees to Remain/Be Protected

Details:
Pre/post construction care will consist of weekly tree watering.
Construction equipment will not be used on city of calgary lands, except for construction fencing used to protect tree.
Designated tree protection supervisor:
Dana Ellison
dana@dana.homes
403-921-6700

The diagram illustrates the site layout for a residential project. It shows a rectangular property bounded by PL-N (North), PL-S (South), PL-Front (Front), and PL-Rear (Rear). A dashed line represents the Limit of Land Disturbance Zone. Within this zone, a solid orange line indicates the proposed building footprint. To the right of the building is a dashed orange rectangle labeled 'Material Hoarding Area'. A hatched area at the bottom left is labeled 'Deliveries/Construction Access'. A pink line points from the 'Gravel Lane' label to a small circle on the left boundary. Two existing trees, represented by circle-with-spokes symbols, are labeled 'Existing Trees to Remain'. One tree is located near the building, and the other is further south. A green dashed line forms a triangle around a tree at the bottom left, labeled 'Siberian Larch 2m Height 1m Diameter'. An arrow points to this area with the text 'Area separated from construction zone by construction fencing'. A label '6' Construction fencing' points to the green dashed line. The right boundary is labeled '16th Street SE'. Various colored lines represent proposed utilities: blue for water, green for sewer, yellow for gas, and pink for electrical (overhead).

1

Tree Protection Plan

1/16" = 1'-0"

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No.	Description	Date

DP3.B

Tree Plan

Date

Issue Date

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Scale

1/16" = 1'-0"