

Autodesk Docs://AB003739 NaAC National accessArts Centre.DWG_2008687_AE_NaAC.rvt

5/22/2026 2:30:55 PM

MULTIDISCIPLINARY DISABILITY COMMUNITY ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY AB T2N 3G9



National
accessArts
Centre



DRAWING LIST - ARCHITECTURAL DP

DP0.1 COVER SHEET
DP1.1 SITE CONTEXT PLAN
DP1.2 EXISTING SITE PLAN
DP1.3 SITE PLAN
DP1.4 SITE PLAN SERVICES
DP1.5 SITE PHOTOGRAPHS
DP1.6 TYPICAL SITE DETAILS
DP2.1 FLOOR PLAN - LEVEL 01
DP2.2 FLOOR PLAN - LEVEL 02
DP2.3 ROOF PLAN
DP4.1 EXTERIOR ELEVATION - NORTH
DP4.2 EXTERIOR ELEVATION - EAST
DP4.3 EXTERIOR ELEVATION - SOUTH
DP4.4 EXTERIOR ELEVATION - WEST
DP4.5 BUILDING SECTIONS - LATITUDINAL
DP4.6 BUILDING SECTIONS - LONGITUDINAL
DP4.7 EXTERIOR VIEWS
DP4.8 EXTERIOR VIEWS

DRAWING LIST - ELECTRICAL DP

DPE1.01 ELECTRICAL SITE PLAN
DPE1.02 SITE PHOTOMETRICS
DPE6.01 ELECTRICAL SITE DETAILS

DRAWING LIST - LANDSCAPE DP

DPL1.00 LANDSCAPE PLAN
DPL6.00 SITE DETAILS

DRAWING LIST - CIVIL DP

C-01 PRELIMINARY SERVICING PLAN
C-02 PRELIMINARY GRADING PLAN

COVER SHEET DETAILED REVIEW 3 RESPONSE

05/22/2026

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-01193 2026 MAY 22
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DIALOG®

DIALOG
134 11 AVE SE SUITE 300, CALGARY, AB T2G 0X5
(403) 245-5501



ISL ENGINEERING AND LAND SERVICES
4015 7 ST SE, CALGARY, AB T2G 2T9
(403) 254-0544

MULTIDISCIPLINARY DISABILITY
COMMUNITY ARTS HUB (MDCAH)
2140 BROWNSEA DRIVE NW
CALGARY AB T2N 3G9



National
accessArts
Centre



COVER SHEET
DETAILED REVIEW 3 RESPONSE
05/22/2026

ISSUED FOR

1	02/28/2025	ISSUED FOR DEVELOPMENT PERMIT
2	07/09/2025	DETAILED REVIEW 1 RESPONSE
3	01/14/2026	DETAILED REVIEW 2 RESPONSE
4	05/22/2026	DETAILED REVIEW 3 RESPONSE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No 0P2025-01193 Date Received 2026 MAY 22
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

METRIC

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. VERIFY DIMENSIONS. DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.

ARCHITECT & PRIME CONSULTANT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

CIVIL ENGINEER
JSL ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

SITE CONTEXT PLAN

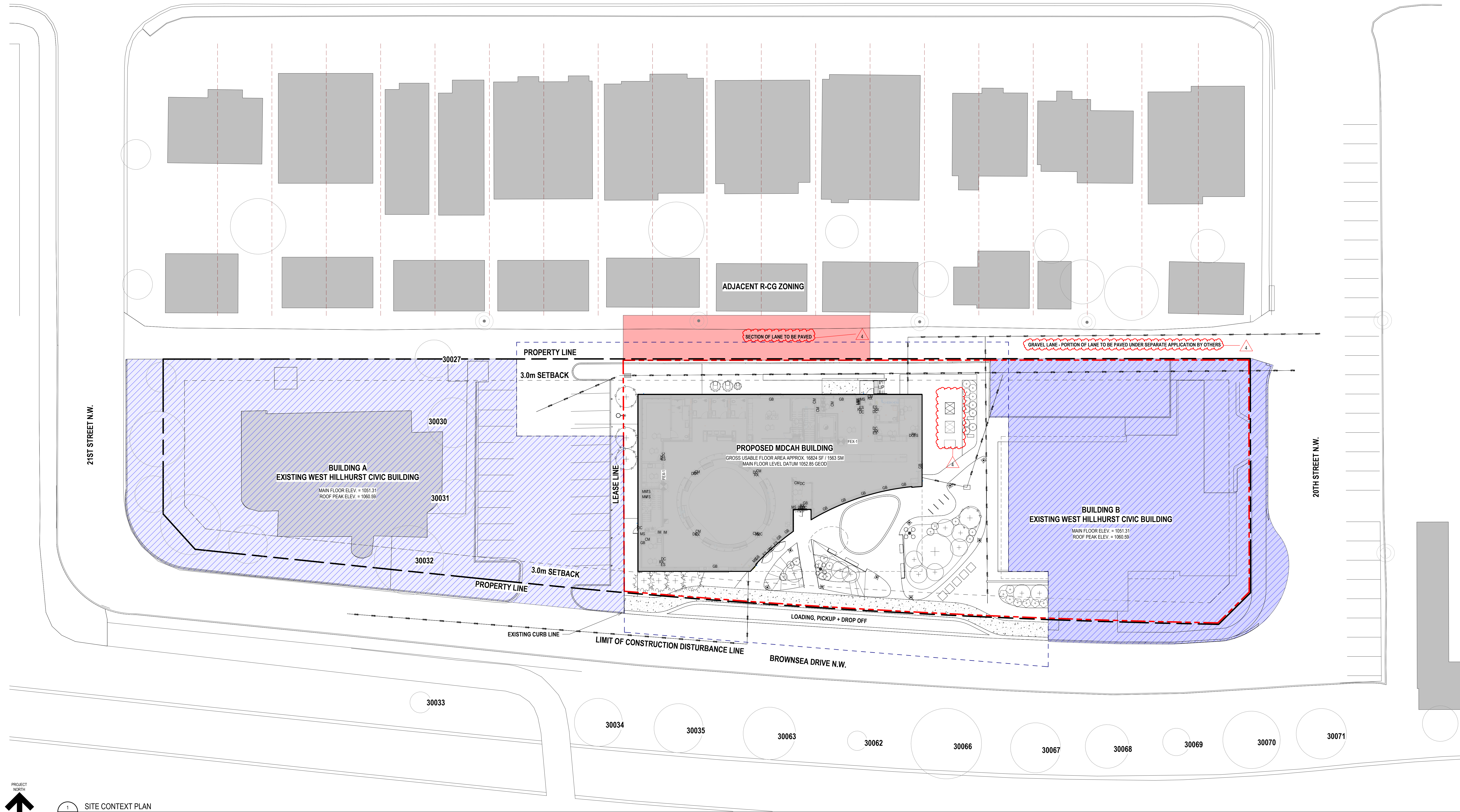
DRAWN: JJ / AE / JS
PLOT DATE: 5/22/2026 2:30:59 PM

CHECKED: RC

DP1.1

AB003739 - 2008687

Autodesk Docs/AB003739 NaAC National access/Arts
Control/2008687_AR_NaAC.rvt



TREE LEGEND							
TREE #	SPECIES	NORTHING	EASTING	TRUNK	DRILINE	HEIGHT	STATUS
30036	PICEA PLUNGENS	5657021.67	-7665.92	0.650	5.030	9.05	TO BE REMOVED
30038	PICEA PLUNGENS	5657021.88	-7676.32	0.580	4.860	7.86	TO REMAIN
30040	POPULUS	5657034.86	-7671.40	0.670	13.300	14.54	TO BE REMOVED
30043	SALIX PENTANDRA	5657053.87	-7664.36	0.150	12.120	9.76	TO BE REMOVED
30051	POPULUS	5657024.23	-7548.81	0.620	8.9100	13.40	TO BE REMOVED
30054	POPULUS	5657038.77	-7648.96	0.250	8.880	16.63	TO BE REMOVED
30056	POPULUS	5657041.77	-7626.56	0.250	17.210	19.99	TO BE REMOVED
30058	POPULUS	5657030.82	-7625.92	0.540	9.040	16.05	TO BE REMOVED
T-311389	POPULUS	N/A	N/A	0.400	10.00	N/A	TO BE REMOVED

SITE LEGEND	
	INDICATES AREA NOT IN SCOPE
	PROPERTY LINE
	LEASE LINE
	LIMIT OF CONSTRUCTION DISTURBANCE
	EXISTING WATER HYDRANT
	EXISTING SIGN POST
	MANHOLE
	LIGHT BOLLARD
	FIRE HYDRANT BY OTHERS
	WATER VALVE
	EXISTING LIGHT POST
	EXISTING POWER POLE

- SITE PLAN GENERAL NOTES**
- REFER TO LANDSCAPE DRAWINGS FOR NEW SURFACE FINISHES
 - FOR ALL LANDSCAPING DETAILS REFER TO LANDSCAPE DRAWINGS
 - REFER TO LANDSCAPE DRAWINGS FOR ALL BICYCLE PARKING DETAILS AND ADDITIONAL INFORMATION
 - FOR EXISTING AND PROPOSED UTILITIES AND SERVICE CONNECTIONS REFER TO SITE SERVING PLAN
 - FOR PROPOSED GRADES REFER TO CIVIL DRAWINGS
 - ALL GRADES SHOWN ARE PROPOSED, CURRENT EXISTING GRADES DO NOT HAVE ANY RELEVANCE TO DEVELOPMENT FINISHED GRADES
 - FOR HARD LANDSCAPE AND PEDESTRIAN CIRCULATION DETAILS REFER TO LANDSCAPE PLANS
 - ALL ELEMENTS IN PLAN PROPOSED UNLESS OTHERWISE NOTED
 - ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH A LOW WATER IRRIGATION SYSTEM
 - REFER TO SITE DEMOLITION PLAN LEVEL 1 FOR DEMO SCOPE

SITE SUMMARY AND LAND USE					
LEGAL DESCRIPTION		MUNICIPAL ADDRESS			
PLAN 4118JK / BLOCK 5 / LOT:		2140 BROWNSEA DRIVE NW CALGARY, AB T2N 3G9			
BYLAW ANALYSIS					
PROJECT DESCRIPTION: THE MULTIDISCIPLINARY DISABILITY COMMUNITY ARTS HUB (MDCAH) PROJECT INCLUDES THE CONSTRUCTION OF A NEW BUILDING ON A PARKING LOT OF A PARCEL SHARED WITH TWO (2) OTHER BUILDINGS. IN ADDRESSING ISSUES AROUND SERVING ANOTHER BUILDING ON A SHARED SITE, WORK INCLUDES SIGNIFICANT SITE UTILITY, TRANSFORMER UPGRADES AND OFFSITE ENHANCEMENTS.					
GOVERNING BYLAW:	BYLAW JP2007	LAND USE ZONING:	S-CS		
AUTHORITY HAVING JURISDICTION:	CITY OF CALGARY				
APPLICATION NUMBER:	PE2024-00996				
PERMITTED AND DISCRETIONARY USES:	EXISTING USE:	COMMUNITY RECREATION FACILITY	BYLAW JP2007, PART 9, DIV 4, 1034 (B)		
	PROPOSED USE:	COMMUNITY RECREATION FACILITY			
	DISCRETIONARY USE:	KIOSK			
REQUIRED SETBACKS (m):	BROWNSEA DR NW	3.0m	BYLAW JP2007, PART 9, DIV 4, 1037		
	LANEWAY	3.0m			
USE AREA:	THE FOLLOWING USES DO NOT HAVE A MAXIMUM USE AREA: COMMUNITY RECREATION FACILITY				

AREA OF LOT:	5,008 m ²
AREA OF LEASED PARCEL:	3,105 m ²
EXISTING BUILDING FOOTPRINTS:	BUILDING A: 457m ² BUILDING B: 658m ²
GROSS FLOOR AREA:	1563 m ² / 16824 ft ²
FLOOR AREA RATIO (FAR):	NO FAR REQUIREMENT
SITE COVERAGE:	NO MAXIMUM COVERAGE
BUILDING HEIGHT:	10.7 m / NO MAXIMUM BUILDING HEIGHT
BICYCLE PARKING:	REQUIRED: 0 BICYCLE PARKING - CLASS 1 1.0 BICYCLE PARKING - CLASS 2 PER 250.0 SQM OF GFA (7 STALLS) PROVIDED: EIGHT (8) BICYCLE PARKING - CLASS 2
MOTOR VEHICLE PARKING:	REQUIRED: 6 STALLS WITHIN LEASE LINE PROVIDED: 6 STALLS WITHIN LEASE LINE
BARRIER FREE PARKING:	REQUIRED: 0 STALLS PER 100.0 GROSS USABLE FLOOR AREA PROVIDED: 2 STALLS WITHIN LEASE LINE
TOTAL PARKING ON SITE:	REQUIRED: 30 STALLS PROVIDED: 30 STALLS
LOADING STALL PARKING:	REQUIRED: 1.0 LOADING STALLS PER 9300.0 m ² OF GROSS FLOOR AREA (1 STALL) PROVIDED: 1 LOADING STALL WITHIN PICK-UP/DROP-OFF ZONE

ISSUED FOR

- 1 02/28/2025 ISSUED FOR DEVELOPMENT PERMIT
2 07/09/2025 DETAILED REVIEW 1 RESPONSE
3 01/14/2026 DETAILED REVIEW 2 RESPONSE
4 05/22/2026 DETAILED REVIEW 3 RESPONSE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-01193 2026 MAY 22
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

METRIC

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED,
REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION.
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE
NOTED.
VERIFY DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT
FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT
WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO
CORRECTION AT THE CONTRACTORS EXPENSE.

ARCHITECT & PRIME CONSULTANT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

CIVIL ENGINEER
JSL ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

SITE PLAN

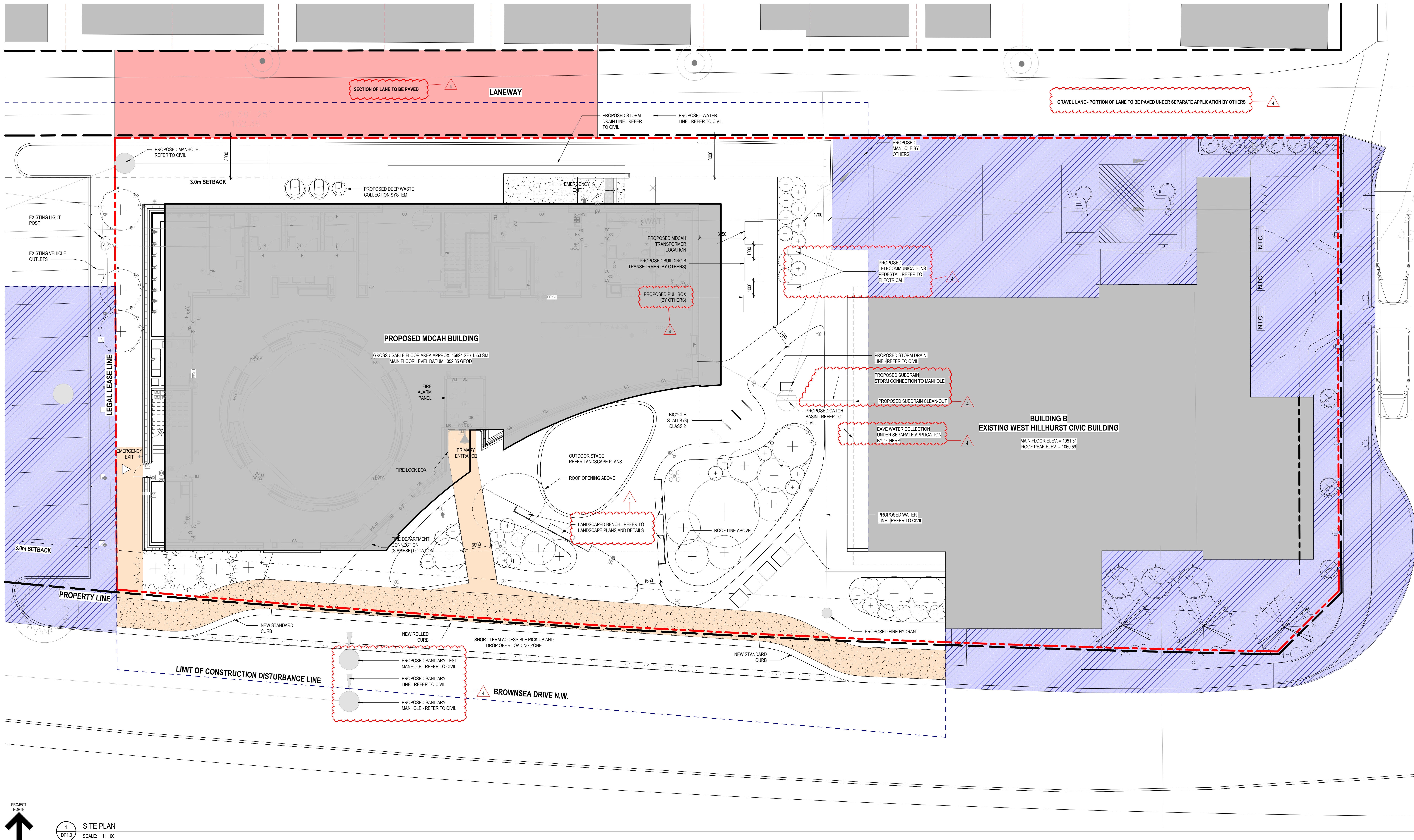
DRAWN: JJ / AE / JS
PLOT DATE: 5/22/2026 2:31:03 PM

CHECKED: RC

DP1.3

AB003739 - 2008687

Author: Docs\AB003739 NaAC National access\Arts
Control: DIALOG_2008687_AR_NaAC.rvt



SITE LEGEND

- INDICATES AREA NOT IN SCOPE
- PROPERTY LINE
- LEASE LINE
- LIMIT OF CONSTRUCTION DISTURBANCE
- EXISTING WATER HYDRANT
- EXISTING SIGN POST
- MANHOLE
- LIGHT BOLLARD
- FIRE HYDRANT BY OTHERS
- WATER VALVE
- EXISTING LIGHT POST
- EXISTING POWER POLE

SITE PLAN GENERAL NOTES

- REFER TO LANDSCAPE DRAWINGS FOR NEW SURFACE FINISHES
- FOR ALL LANDSCAPING DETAILS REFER TO LANDSCAPE DRAWINGS
- REFER TO LANDSCAPE DRAWINGS FOR ALL BICYCLE PARKING DETAILS AND ADDITIONAL INFORMATION
- FOR EXISTING AND PROPOSED UTILITIES AND SERVICE CONNECTIONS REFER TO SITE SERVICING PLAN
- FOR PROPOSED GRADES REFER TO CIVIL DRAWINGS
- ALL GRADES SHOWN ARE PROPOSED, CURRENT EXISTING GRADES DO NOT HAVE ANY RELEVANCE TO DEVELOPMENT FINISHED GRADES
- FOR HARD LANDSCAPE AND PEDESTRIAN CIRCULATION DETAILS REFER TO LANDSCAPE PLANS
- ALL ELEMENTS IN PLAN PROPOSED UNLESS OTHERWISE NOTED
- ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH A LOW WATER IRRIGATION SYSTEM
- REFER TO SITE DEMOLITION PLAN LEVEL 1 FOR DEMO SCOPE

SITE SUMMARY AND LAND USE

LEGAL DESCRIPTION		MUNICIPAL ADDRESS	
PLAN 4118.B / BLOCK 5 / LOT:		2140 BROWNSEA DRIVE NW CALGARY, AB T2N 3G9	
BYLAW ANALYSIS			
PROJECT DESCRIPTION:		THE MULTIDISCIPLINARY DISABILITY COMMUNITY ARTS HUB (MDCAH) PROJECT INCLUDES THE CONSTRUCTION OF A NEW BUILDING ON A PARKING LOT OF A PARCEL SHARED WITH TWO (2) OTHER BUILDINGS. IN ADDRESSING ISSUES AROUND SERVICING ANOTHER BUILDING ON A SHARED SITE, WORK INCLUDES SIGNIFICANT SITE UTILITY, TRANSFORMER UPGRADES AND OFF-SITE ENHANCEMENTS.	
GOVERNING BYLAW:	BYLAW_IP2007	LAND USE ZONING:	S-CS
AUTHORITY HAVING JURISDICTION:	CITY OF CALGARY		
APPLICATION NUMBER:	PE2024-00996		
PERMITTED AND DISCRETIONARY USES:	EXISTING USE: COMMUNITY RECREATION FACILITY PROPOSED USE: COMMUNITY RECREATION FACILITY DISCRETIONARY USE: KIOSK	BYLAW_IP2007, PART 9, DIV 4, 1034 (B) BYLAW_IP2007, PART 9, DIV 4, 1037	
REQUIRED SETBACKS (m):	BROWNSEA DR NW: 3.0m LANEWAY: 3.0m	REQUIRED: 3.0m PROVIDED: 3.0m	BYLAW_IP2007, PART 9, DIV 4, 1037
USE AREA:	THE FOLLOWING USES DO NOT HAVE A MAXIMUM USE AREA: COMMUNITY RECREATION FACILITY		

AREA OF LOT:	5,008 m ²
AREA OF LEASED PARCEL:	3,105 m ²
EXISTING BUILDING FOOTPRINTS:	BUILDING A: 457m ² BUILDING B: 658m ²
GROSS FLOOR AREA:	1563 m ² / 16824 R ²
FLOOR AREA RATIO (FAR):	NO FAR REQUIREMENT
SITE COVERAGE:	NO MAXIMUM COVERAGE
BUILDING HEIGHT:	10.7 m / NO MAXIMUM BUILDING HEIGHT
BICYCLE PARKING:	REQUIRED: 0 BICYCLE PARKING - CLASS 1 1.0 BICYCLE PARKING - CLASS 2 PER 250.0 SQM OF GFA (7 STALLS) PROVIDED: EIGHT (8) BICYCLE PARKING - CLASS 2
MOTOR VEHICLE PARKING:	REQUIRED: -- PROVIDED: 6 STALLS* WITHIN LEASE LINE NORTH OF BUILDING B)
BARRIER FREE PARKING:	REQUIRED: 4.0 STALLS PER 100.0 m ² GROSS USABLE FLOOR AREA 2 STALLS* WITHIN LEASE LINE NORTH OF BUILDING B) PROVIDED: 2 STALLS* WITHIN LEASE LINE NORTH OF BUILDING B) *REFER TO TRAFFIC IMPACT ASSESSMENT AND PARKING STUDY
TOTAL PARKING ON SITE:	30 STALLS
LOADING STALL PARKING:	REQUIRED: 1.0 LOADING STALLS PER 9300.0 m ² OF GROSS FLOOR AREA (1 STALL) PROVIDED: 1 LOADING STALL, WITHIN PICK-UP/DROP-OFF ZONE

EXTERIOR FINISH LEGEND	
KEYNOTE	DESCRIPTION
400	TREATED WOOD CLADDING, 2" X 1" RHOMBUS PROFILE
401	STAINLESS STEEL METAL CLADDING
402	STAINLESS STEEL METAL DOOR PANEL AND FRAME
403	TRIPLE GLAZED WINDOW UNIT
405	METAL CLADDING - YELLOW
406	PRE-CAST CONCRETE PANEL

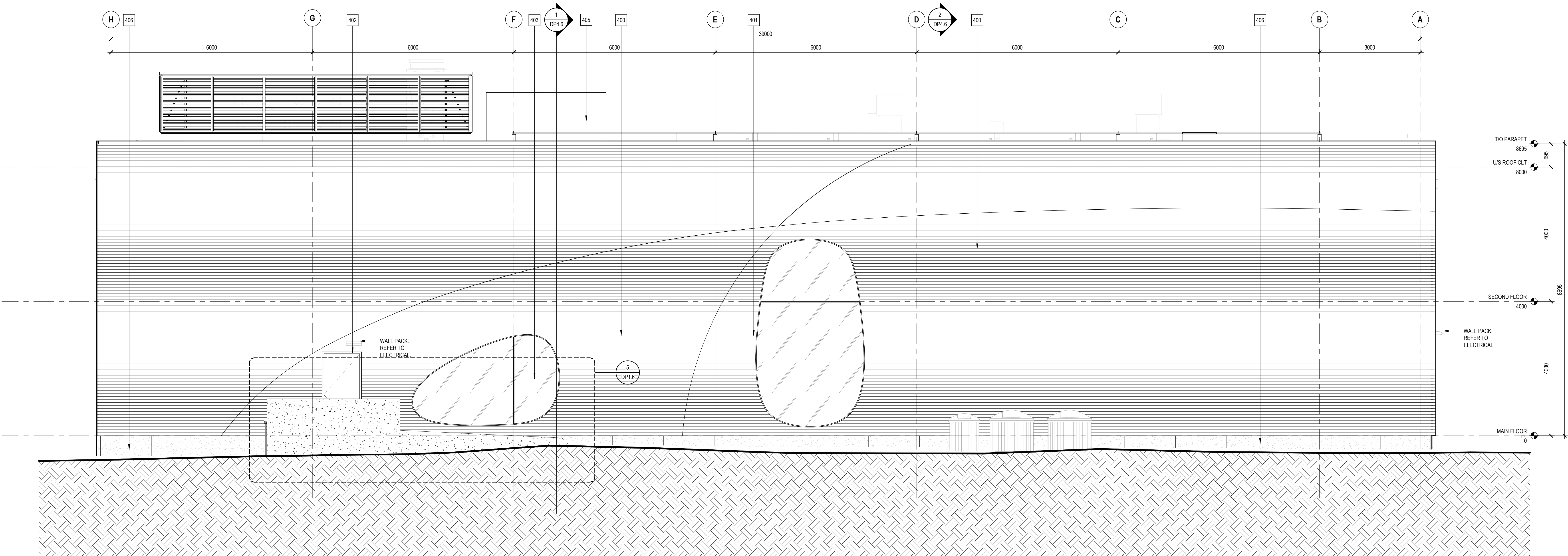
DIALOG®

ISSUED FOR

- | | | |
|---|------------|-------------------------------|
| 1 | 02/28/2025 | ISSUED FOR DEVELOPMENT PERMIT |
| 2 | 07/09/2025 | DETAILED REVIEW 1 RESPONSE |
| 3 | 01/14/2026 | DETAILED REVIEW 2 RESPONSE |
| 4 | 05/22/2026 | DETAILED REVIEW 3 RESPONSE |

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No DP2025-01193 Date Received 2025 MAY 22
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



1
DP4.1
EXTERIOR ELEVATION - NORTH
SCALE: 1:50

METRIC
THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. VERIFY DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.

ARCHITECT & PRIME CONSULTANT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

CIVIL ENGINEER
I&L ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR ELEVATION
- NORTH

DRAWN: JJ / AE / JS
PLOT DATE: 5/22/2025 2:31:21 PM

CHECKED: RC

DP4.1

AB003739 - 2008687

Autodesk Docs\AB003739_NaAC_National_accessArts
Content\DLG_2008687_AR_NaAC.rvt

EXTERIOR FINISH LEGEND	
KEYNOTE	DESCRIPTION
400	TREATED WOOD CLADDING, 2" X 1" RHOMBUS PROFILE
401	STAINLESS STEEL METAL CLADDING
403	TRIPLE GLAZED WINDOW UNIT
406	PRE-CAST CONCRETE PANEL

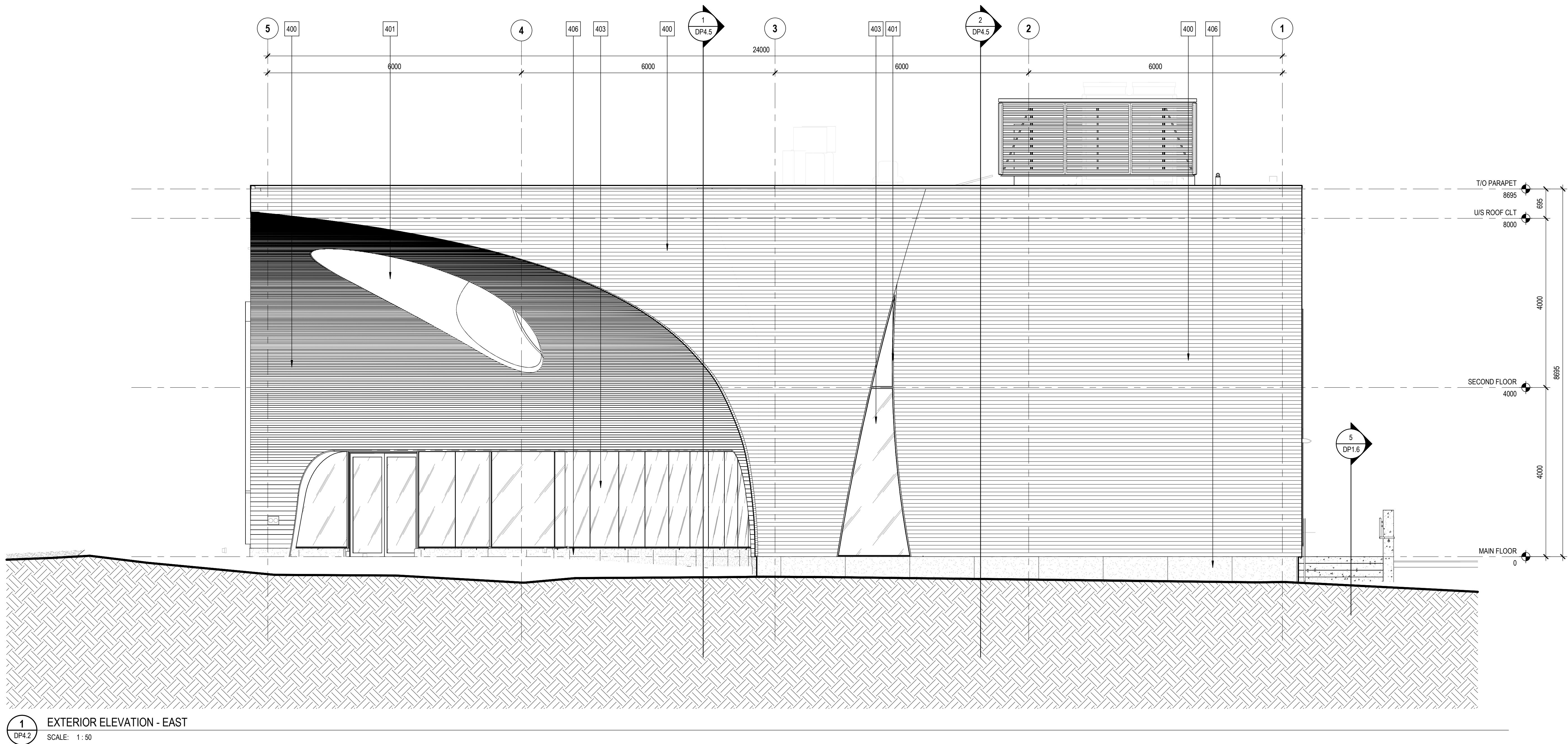
DIALOG®

ISSUED FOR

1	02/28/2025	ISSUED FOR DEVELOPMENT PERMIT
2	07/09/2025	DETAILED REVIEW 1 RESPONSE
3	01/14/2026	DETAILED REVIEW 2 RESPONSE
4	05/22/2026	DETAILED REVIEW 3 RESPONSE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-01193 2026 MAY 22
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



1 EXTERIOR ELEVATION - EAST
SCALE: 1:50

METRIC
THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED,
REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION.
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE
NOTED.
VERIFY DIMENSIONS.
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT
FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT
WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO
CORRECTION AT THE CONTRACTORS EXPENSE.

ARCHITECT & PRIME CONSULTANT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

CIVIL ENGINEER
JSL ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR ELEVATION
- EAST

DRAWN: JJ / AE / JS CHECKED: RC
PLOT DATE: 5/22/2025 2:31:27 PM

DP4.2

AB003739 - 2008687

Autodesk Docs:\AB003739_NaAC_National_access\Arts
Content\DLG_2008687_AR_NaAC.rvt

EXTERIOR FINISH LEGEND	
KEYNOTE	DESCRIPTION
400	TREATED WOOD CLADDING, 2" X 1" RHOMBUS PROFILE
401	STAINLESS STEEL METAL CLADDING
403	TRIPLE GLAZED WINDOW UNIT
405	METAL CLADDING - YELLOW
406	PRE-CAST CONCRETE PANEL

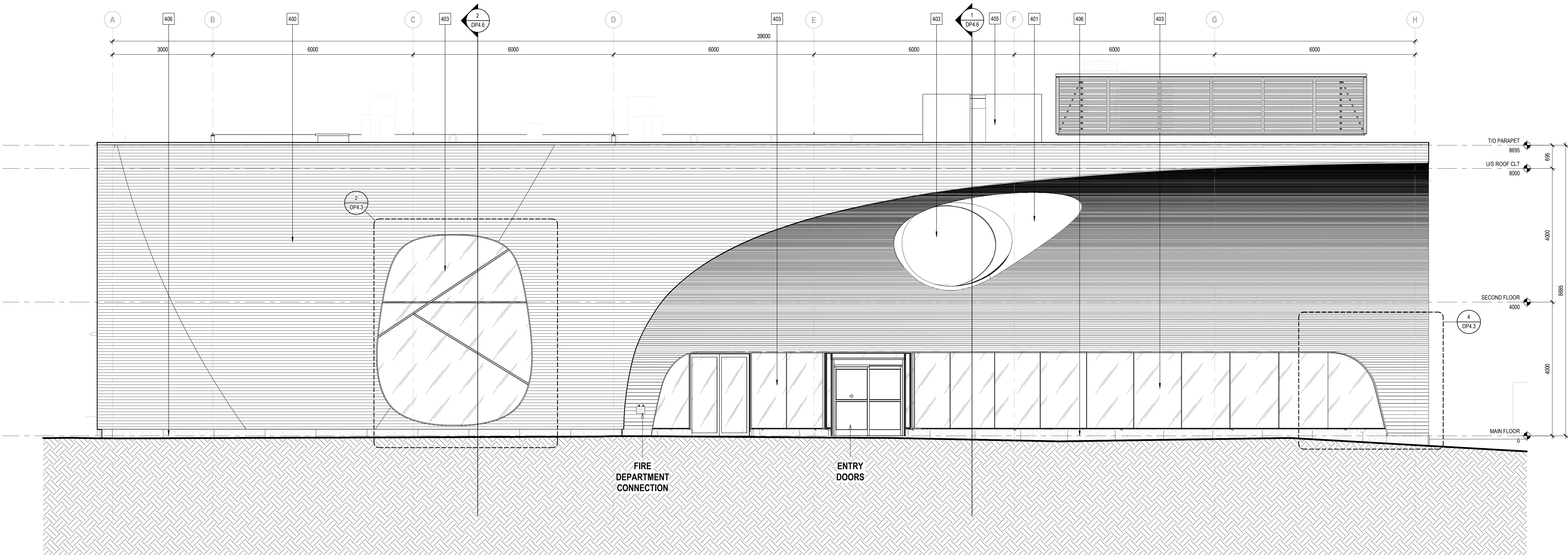
DIALOG®

ISSUED FOR

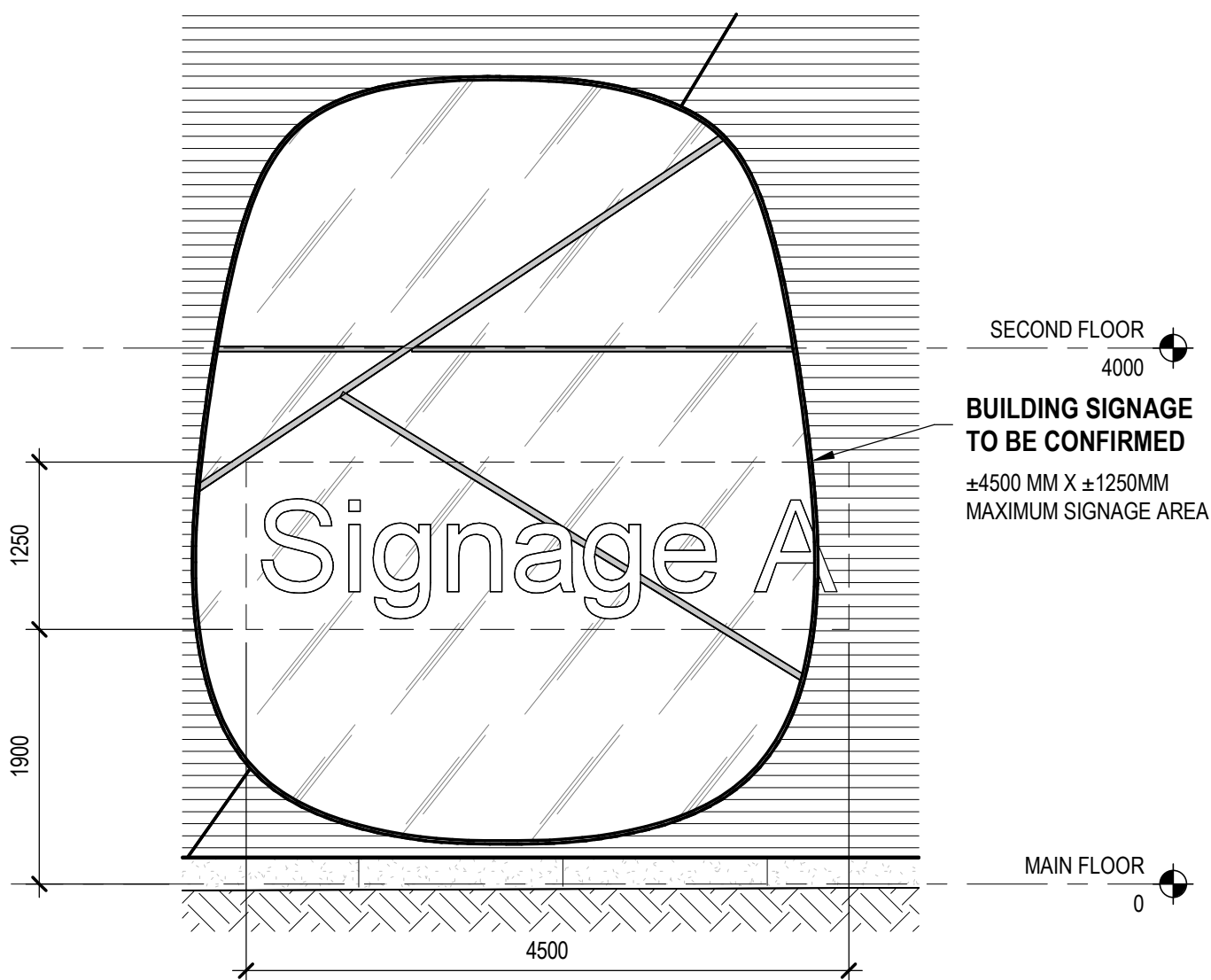
- | | | |
|---|------------|-------------------------------|
| 1 | 02/28/2025 | ISSUED FOR DEVELOPMENT PERMIT |
| 2 | 07/09/2025 | DETAILED REVIEW 1 RESPONSE |
| 3 | 01/14/2026 | DETAILED REVIEW 2 RESPONSE |
| 4 | 05/22/2026 | DETAILED REVIEW 3 RESPONSE |

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

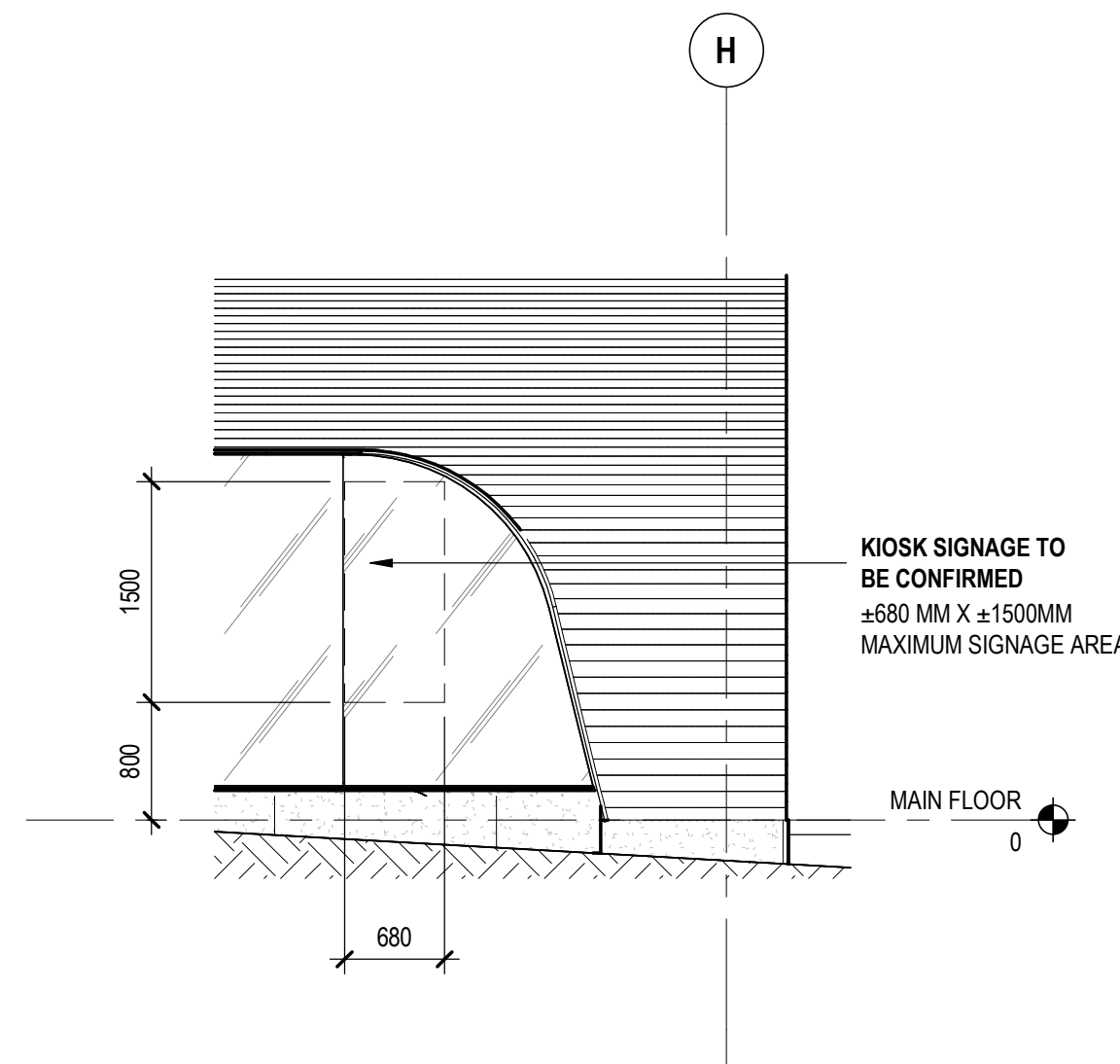
AMENDED DRAWINGS
DP No: DP2025-01193 Date Received: 2026 MAY 22
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



1 DP4.3 EXTERIOR ELEVATION - SOUTH
SCALE: 1:50



2 DP4.3 SOUTH ELEVATION - PRIMARY SIGNAGE OPTION A
SCALE: 1:50



4 DP4.3 SOUTH ELEVATION - KIOSK SIGNAGE
SCALE: 1:50

METRIC

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. VERIFY DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.

ARCHITECT & PRIME CONSULTANT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

CIVIL ENGINEER

ISL ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR ELEVATION
- SOUTH

DRAWN: JJ / AE / JS CHECKED: RC
PLOT DATE: 5/25/2026 2:31:37 PM

DP4.3

AB003739 - 2008687

Autodesk Docs\AB003739 NaAC National access\Arts
Control\DLG_2008687_AR_NaAC.rvt

EXTERIOR FINISH LEGEND	
KEYNOTE	DESCRIPTION
400	TREATED WOOD CLADDING, 2" X 1" RHOMBUS PROFILE
402	STAINLESS STEEL METAL DOOR PANEL AND FRAME
403	TRIPLE GLAZED WINDOW UNIT
405	METAL CLADDING - YELLOW
406	PRE-CAST CONCRETE PANEL

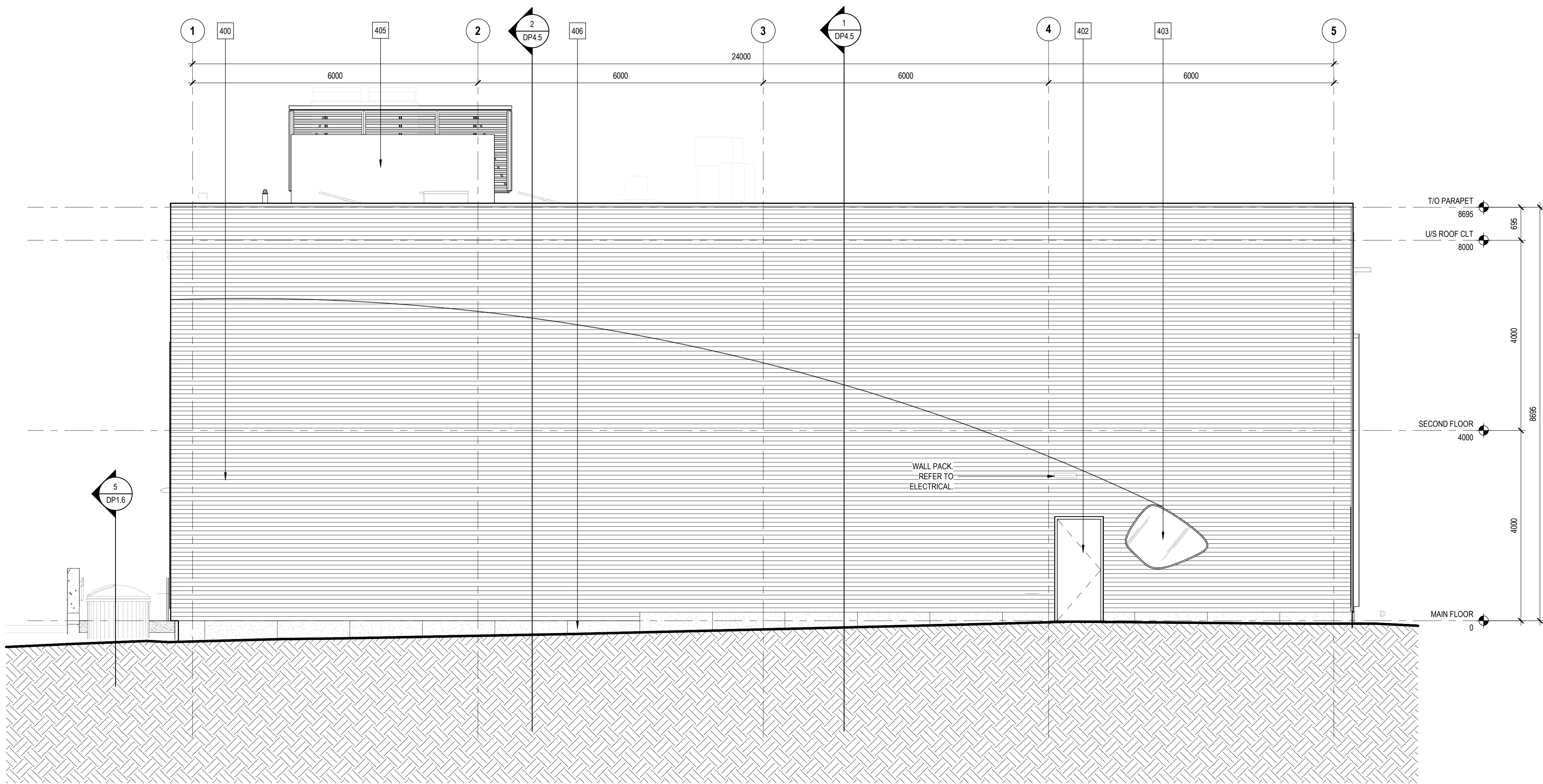
DIALOG®

ISSUED FOR

1	02/28/2025	ISSUED FOR DEVELOPMENT PERMIT
2	07/09/2025	DETAILED REVIEW 1 RESPONSE
3	01/14/2026	DETAILED REVIEW 2 RESPONSE
4	05/22/2026	DETAILED REVIEW 3 RESPONSE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No. Date Received
DP2025-01193 2025 MAY 22
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



1 DP4.4 EXTERIOR ELEVATION - WEST
SCALE: 1:50

METRIC

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. VERIFY DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.

ARCHITECT & PRIME CONSULTANT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

CIVIL ENGINEER

ISL ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER

DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR ELEVATION
- WEST

DRAWN: JJ / AE / JS CHECKED: RC
PLOT DATE: 5/22/2025 2:31:41 PM

DP4.4

AB003739 - 2008687

Autodesk Docs:AB003739_NaAC_National_accessArts
ContentDLG_2008687_AR_NaAC.rvt

ISSUED FOR		
1	02/28/2025	ISSUED FOR DEVELOPMENT PERMIT
2	07/09/2025	DETAILED REVIEW 1 RESPONSE
3	01/14/2026	DETAILED REVIEW 2 RESPONSE
4	05/22/2026	DETAILED REVIEW 3 RESPONSE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS
DP No Date Received
DP2025-01193 2026 MAY 22
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

METRIC
THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED,
REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION.
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE
NOTED.
VERIFY DIMENSIONS.
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT
FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT
WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO
CORRECTION AT THE CONTRACTORS EXPENSE.

ARCHITECT & PRIME CONSULTANT
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501
CIVIL ENGINEER
I&L ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR VIEWS

DRAWN: JJ / AE / JS CHECKED: RC
PLOT DATE: 5/22/2025 2:31:53 PM

DP4.7



1 SOUTH ELEVATION RENDER
DP4.7 SCALE: N.T.S



ISSUED FOR		
1	02/28/2025	ISSUED FOR DEVELOPMENT PERMIT
2	07/09/2025	DETAILED REVIEW 1 RESPONSE
3	01/14/2026	DETAILED REVIEW 2 RESPONSE
4	05/22/2026	DETAILED REVIEW 3 RESPONSE

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN

AMENDED DRAWINGS	
DP No	Date Received
DP2025-01193	2025 MAY 22
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.	

METRIC
THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. VERIFY DIMENSIONS. DO NOT SCALE THIS DRAWING. REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ARCHITECT & PRIME CONSULTANT
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

CIVIL ENGINEER
JSL ENGINEERING AND LAND SERVICES LTD.
4015 7 STREET SE
CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

STRUCTURAL ENGINEER
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

MECHANICAL ENGINEER
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER
DIALOG
134 - 11 AVENUE SE, SUITE 300
CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

**MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)**

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR VIEWS

DRAWN: JJ / AE / JS
PLOT DATE: 5/22/2025 2:31:54 PM

CHECKED: RC

DP4.8