

MULTIDISCIPLINARY DISABILITY COMMUNITY ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY AB T2N 3G9



National
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DRAWING LIST - ARCHITECTURAL

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DP1.2 EXISTING SITE PLAN
DP1.3 SITE PLAN
DP1.4 SITE PLAN SERVING
DP1.5 SITE PHOTOGRAPHS
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DPE6.01 ELECTRICAL SITE DETAILS

DRAWING LIST - LANDSCAPE

L1.00 LANDSCAPE PLAN

DRAWING LIST - CIVIL

C-01 PRELIMINARY SERVING PLAN
C-02 PRELIMINARY SITE GRADING PLAN

COVER SHEET

DEVELOPMENT PERMIT APPLICATION

2025-02-28

REF: PE-2024-00996

DIALOG

DIALOG
134 11 AVE SE SUITE 300, CALGARY, AB T2G 0X5
(403) 245-5501



ISL ENGINEERING AND LAND SERVICES
4015 7 ST SE, CALGARY, AB T2G 2Y9
(403) 254-0544

COVER SHEET

MULTIDISCIPLINARY DISABILITY COMMUNITY ARTS HUB (MDCAH)

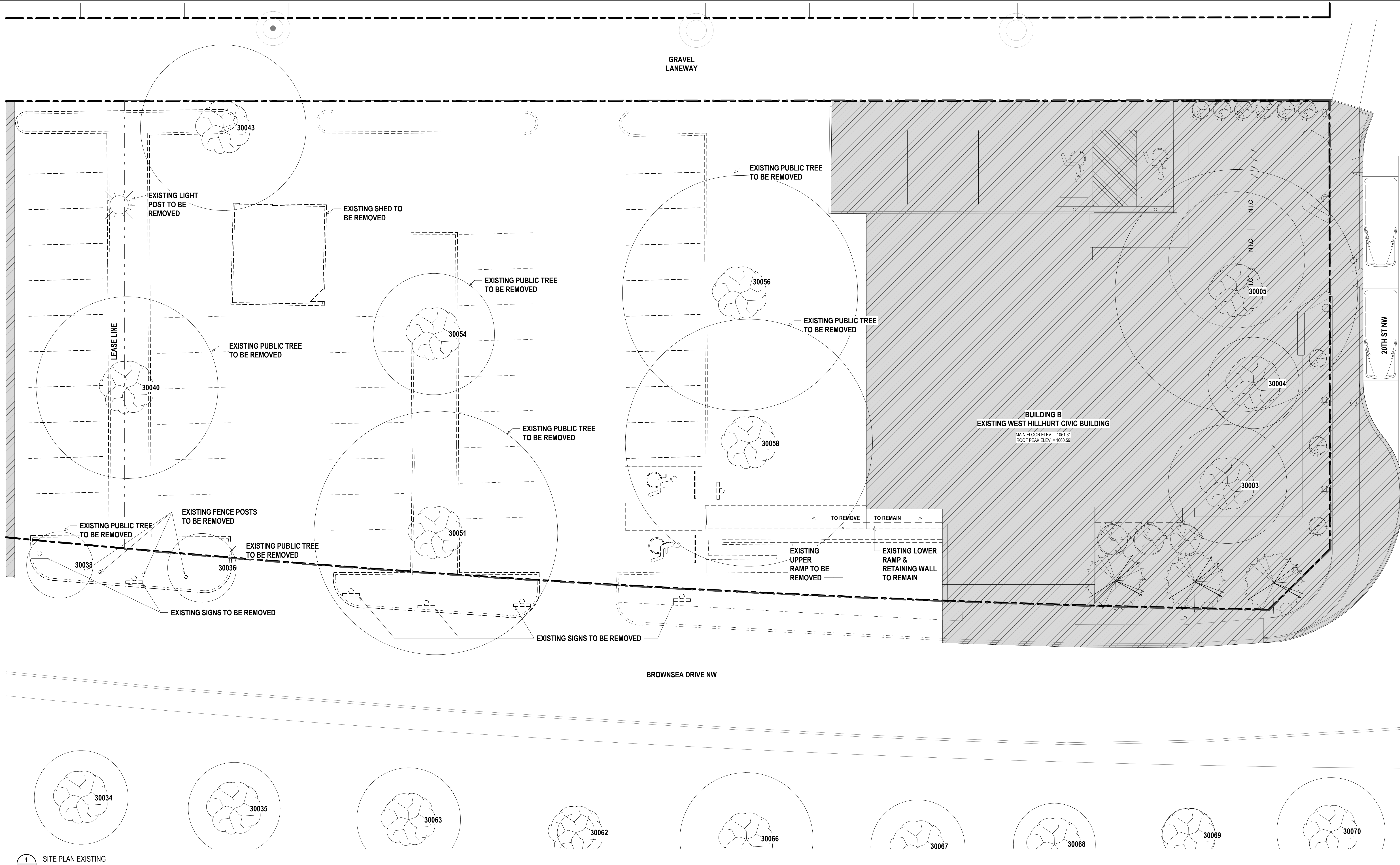
DEVELOPMENT PERMIT APPLICATION
2025-02-28

2140 BROWNSEA DRIVE NW
CALGARY AB T2N 3G9



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NaAC



1 SITE PLAN EXISTING
SCALE: 1:100

TREE LEGEND						
TREE NUMBER	NORTHING	EASTING	TRUNK	DRILINE	HEIGHT	STATUS
30003	5657027.80	-7590.91	0.190	8.700	14.17	OUT OF SCOPE
30004	5657035.2	-7589.01	0.400	6.690	16.33	OUT OF SCOPE
30005	5657041.94	-7590.26	0.700	17.750	18.74	OUT OF SCOPE
30027	5657055.92	-7697.78	0.300	5.5900	3.36	TO REMAIN
30030	5657046.82	-7695.23	0.430	6.890	11.78	TO REMAIN
30031	5657036.22	-7694.87	0.410	5.250	5.08	TO REMAIN
30032	5657027.60	-7701.25	0.720	9.700	6.92	TO REMAIN
30033	5657007.66	-7699.66	0.490	2.930	3.98	TO REMAIN
30034	5657004.87	-7674.76	0.250	6.860	4.78	TO REMAIN
30035	5657004.07	-7663.56	0.510	6.730	6.30	TO REMAIN
30036	5657021.67	-7665.92	0.650	5.030	9.05	TO BE REMOVED
30038	5657021.88	-7676.32	0.580	4.860	7.66	TO BE REMOVED
30040	5657034.86	-7671.40	0.670	13.300	14.54	TO BE REMOVED
30043	5657053.87	-7664.36	0.150	12.120	9.76	TO BE REMOVED
30051	5657024.23	-7648.81	0.620	8.9100	13.40	TO BE REMOVED
30054	5657038.77	-7648.96	0.250	8.880	16.63	TO BE REMOVED
30056	5657041.77	-7626.56	0.250	17.210	19.99	TO BE REMOVED

30058	5657030.82	-7625.92	0.540	9.040	16.05	TO BE REMOVED
30062	5657002.31	-7638.56	0.710	2.740	4.22	TO REMAIN
30063	5657003.25	-7650.80	0.840	7.590	6.48	TO REMAIN
30066	5657001.82	-7626.10	0.510	9.740	7.16	TO REMAIN
30067	5657001.25	-7613.56	0.540	6.890	7.32	TO REMAIN
30068	5657001.45	-7603.57	0.380	6.000	6.34	TO REMAIN
30069	5657002.15	-7593.75	0.410	3.870	4.24	TO REMAIN
30070	5657003.17	-7583.34	0.460	7.920	6.27	TO REMAIN
30071	5657003.17	-7573.56	--	6.830	6.47	TO REMAIN

SITE LEGEND

- INDICATES NOT IN SCOPE
- PROPERTY LINE
- LEASE LINE
- LIMIT OF WORK
- EXISTING WATER HYDRANT
- EXISTING SIGN POST
- MANHOLE
- WATER VALVE
- EXISTING LIGHT POST
- EXISTING POWER POLE
- TO BE REMOVED
- LIGHT BOLLARD

SITE PLAN GENERAL NOTES

- REFER TO LANDSCAPE DRAWINGS FOR NEW SURFACE FINISHES
- FOR ALL LANDSCAPING DETAILS REFER TO LANDSCAPE DRAWINGS
- REFER TO LANDSCAPE DRAWINGS FOR ALL BICYCLE PARKING DETAILS AND ADDITIONAL INFORMATION
- FOR EXISTING AND PROPOSED UTILITIES AND SERVICE CONNECTIONS REFER TO SITE SERVICING PLAN
- FOR PROPOSED GRADES REFER TO CIVIL DRAWINGS
- ALL GRADES SHOWN ARE PROPOSED. CURRENT EXISTING GRADES DO NOT HAVE ANY RELEVANCE TO DEVELOPMENT FINISHED GRADES
- FOR HARD LANDSCAPE AND PEDESTRIAN CIRCULATION DETAILS REFER TO LANDSCAPE PLANS
- ALL ELEMENTS IN PLAN PROPOSED UNLESS OTHERWISE NOTED
- ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH A LOW WATER IRRIGATION SYSTEM

SITE SUMMARY AND LAND USE

LEGAL DESCRIPTION		MUNICIPAL ADDRESS	
PLAN:4118JK / BLOCKS / LOT:		2140 BROWNSEA DRIVE NW CALGARY, AB T2N 3J1	
BYLAW ANALYSIS			
PROJECT DESCRIPTION: THE NAC PROJECT INCLUDES THE CONSTRUCTION OF A NEW BUILDING ON A PARKING LOT OF A PARCEL SHARED WITH TWO (2) OTHER BUILDINGS. IN ADDRESSING ISSUES AROUND SERVICING ANOTHER BUILDING ON A SHARED SITE, WORK INCLUDES SIGNIFICANT SITE UTILITY AND TRANSFORMER UPGRADES.			
GOVERNING BYLAW:	BYLAW_IP2007	LAND USE ZONING:	S-CS
AUTHORITY HAVING JURISDICTION:	CITY OF CALGARY		
APPLICATION NUMBER:	PE2024-00996		
PERMITTED AND DISCRETIONARY USES:	EXISTING USE: COMMUNITY RECREATION FACILITY	PROPOSED USE: COMMUNITY RECREATION FACILITY	BYLAW_IP2007, PART 4, DIV 4, 1034 (B)
	DISCRETIONARY USE: KIOSK	REQUIRED: PROVIDED:	
REQUIRED SETBACKS (m):	BROWNSEA DR NW 3.0m	3.0m	BYLAW_IP2007, PART 9, DIV 4, 1037
	LANEWAY 3.0m	3.0m	
USE AREA:	THE FOLLOWING USES DO NOT HAVE A MAXIMUM USE AREA:		
	COMMUNITY RECREATION FACILITY		

AREA OF LOT:	5,008 m ²		
AREA OF LEASED PARCEL:	3,105 m ²		
EXISTING BUILDING FOOTPRINTS:	BUILDING A: 457m ²	BUILDING B: 658m ²	
GROSS FLOOR AREA:	1563 m ² / 16824 ft ²		
FLOOR AREA RATIO (FAR):	NO FAR REQUIREMENT		
SITE COVERAGE:	NO MAXIMUM COVERAGE		
BUILDING HEIGHT:	10.7 m / NO MAXIMUM BUILDING HEIGHT		
BICYCLE PARKING:	REQUIRED: 0 BICYCLE PARKING - CLASS 1 1.0 BICYCLE PARKING - CLASS 2 PER 250.0 SQM OF GFA (7 STALLS) PROVIDED: EIGHT (8) BICYCLE PARKING - CLASS 2	BYLAW_IP2007, PART 4, DIV 2, 169-4B(202) (6), (6)	
MOTOR VEHICLE PARKING:	REQUIRED: -- PROVIDED: 28 STALLS* (6 WITHIN LEASE LINE)		
BARRIER FREE PARKING:	REQUIRED: 4.0 STALLS PER 100.0 m ² GROSS USABLE FLOOR AREA 2 STALLS* (2 WITHIN LEASE LINE) *REFER TO TRAFFIC IMPACT ASSESSMENT AND PARKING STUDY	BYLAW_IP2007, PART 3, DIV 6, 121.1, TABLE 1.2	
TOTAL PARKING ON SITE:	30 STALLS* (8 WITHIN LEASE LINE)		
LOADING STALL PARKING:	REQUIRED: 1.0 LOADING STALLS PER 8000.0 m ² OF GROSS FLOOR AREA (1 STALL) PROVIDED: 1 LOADING STALL	BYLAW_IP2007, PART 3, DIV 6, 123 (5) 20P2017	

METRIC

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REPORT INCONSISTENCIES AND OMISSIONS TO THE CONSULTANT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK. DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

ARCHITECT & PRIME CONSULTANT

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CIVIL ENGINEER

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LANDSCAPE ARCHITECT

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Tel: 403.245.5501

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Tel: 403.245.5501

MECHANICAL ENGINEER

DIALOG
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ELECTRICAL ENGINEER

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CALGARY, AB T2G 0X5
Tel: 403.245.5501

SEAL

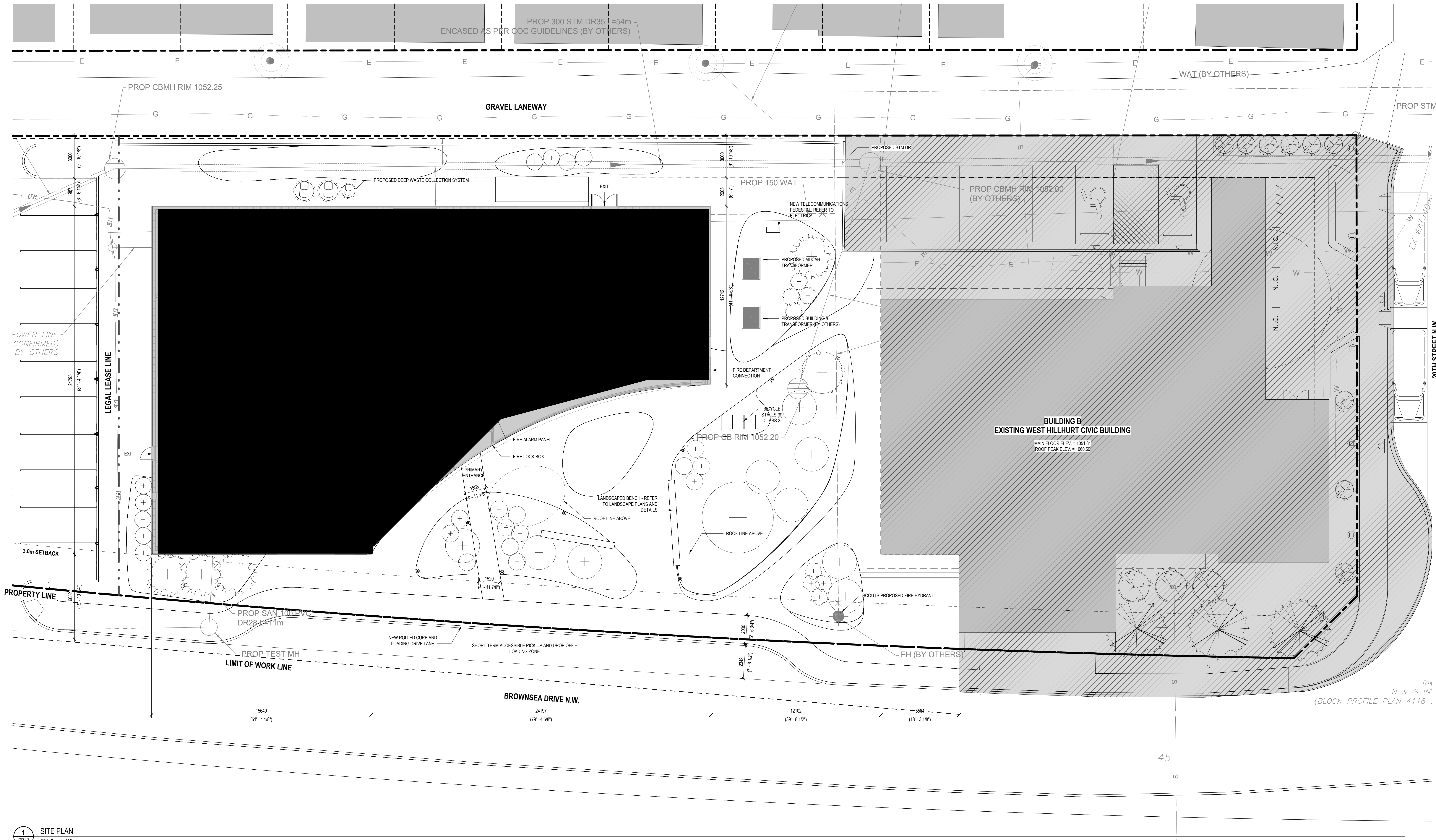
MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXISTING SITE PLAN

DRAWN: JJ / AE / JS
PLOT DATE: 2/28/2025 2:12:40 PM
CHECKED: RC

DP1.2



1 SITE PLAN
SCALE: 1:100

SITE LEGEND	
	INDICATES NOT IN SCOPE
	PROPERTY LINE
	LEASE LINE
	LIMIT OF WORK
	EXISTING WATER HYDRANT
	EXISTING SIGN POST
	MANHOLE
	WATER VALVE
	EXISTING LIGHT POST
	EXISTING POWER POLE
	TO BE REMOVED
	LIGHT BOLLARD

SITE PLAN GENERAL NOTES	
REFER TO LANDSCAPE DRAWINGS FOR NEW SURFACE FINISHES	
FOR ALL LANDSCAPING DETAILS REFER TO LANDSCAPE DRAWINGS	
REFER TO LANDSCAPE DRAWINGS FOR ALL BICYCLE PARKING DETAILS AND ADDITIONAL INFORMATION	
FOR EXISTING AND PROPOSED UTILITIES AND SERVICE CONNECTIONS REFER TO SITE SERVING PLAN	
FOR PROPOSED GRADES REFER TO CIVIL DRAWINGS	
ALL GRADES SHOWN ARE PROPOSED, CURRENT EXISTING GRADES DO NOT HAVE ANY RELEVANCE TO DEVELOPMENT INFORMATION	
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ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH A LOW WATER IRRIGATION SYSTEM	

SITE SUMMARY AND LAND USE			
LEGAL DESCRIPTION		MUNICIPAL ADDRESS	
PLAN 4118 JK / BLOCK 5 / LOT:		2140 BROWNSEA DRIVE NW CALGARY, AB T2N 3J1	
BYLAW ANALYSIS			
PROJECT DESCRIPTION: THE NAC PROJECT INCLUDES THE CONSTRUCTION OF A NEW BUILDING ON A PARKING LOT OF A PARCEL SHARED WITH TWO (2) OTHER BUILDINGS. IN ADDRESSING ISSUES AROUND SERVICING ANOTHER BUILDING ON A SHARED SITE, WORK INCLUDES SIGNIFICANT SITE UTILITY AND TRANSFORMER UPGRADES.			
GOVERNING BYLAW:	BYLAW JP2007	LAND USE ZONING:	S-C5
AUTHORITY HAVING JURISDICTION:	CITY OF CALGARY		
APPLICATION NUMBER:	PE2024-00996		
PERMITTED AND DISCRETIONARY USES:	EXISTING USE: COMMUNITY RECREATION FACILITY	PROPOSED USE: COMMUNITY RECREATION FACILITY	BYLAW JP2007, PART 9, DIV 4, 1034 (B)
	DISCRETIONARY USE: KIOSK	REQUIRED: PROVIDED:	
REQUIRED SETBACKS (m):	BROWNSEA DR NW 3.0m LANEWAY 3.0m	3.0m 3.0m	BYLAW JP2007, PART 9, DIV 4, 1037
USE AREA:	THE FOLLOWING USES DO NOT HAVE A MAXIMUM USE AREA: COMMUNITY RECREATION FACILITY		

AREA OF LOT:	5,008 m²
AREA OF LEASED PARCEL:	3,105 m²
EXISTING BUILDING FOOTPRINTS:	BUILDING A: 457m² BUILDING B: 658m²
GROSS FLOOR AREA:	1563 m² / 16824 ft²
FLOOR AREA RATIO (FAR):	NO FAR REQUIREMENT
SITE COVERAGE:	NO MAXIMUM COVERAGE
BUILDING HEIGHT:	10.7 m / NO MAXIMUM BUILDING HEIGHT
BICYCLE PARKING:	REQUIRED: 0 BICYCLE PARKING - CLASS 1 1.0 BICYCLE PARKING - CLASS 2 PER 250.0 SQM OF GFA (7 STALLS) PROVIDED: EIGHT (8) BICYCLE PARKING - CLASS 2
MOTOR VEHICLE PARKING:	REQUIRED: -- PROVIDED: 28 STALLS (8 WITHIN LEASE LINE)
BARRIER FREE PARKING:	REQUIRED: 4.0 STALLS PER 100.0 m² GROSS USABLE FLOOR AREA 2 STALLS (2 WITHIN LEASE LINE) PROVIDED: 2 STALLS (2 WITHIN LEASE LINE) TOTAL PARKING ON SITE: 30 STALLS (8 WITHIN LEASE LINE)
LOADING STALL PARKING:	REQUIRED: 1.0 LOADING STALLS PER 9300.0 m² OF GROSS FLOOR AREA (1 STALL) PROVIDED: 1 LOADING STALL

ISSUED FOR

1 02/28/2025 ISSUED FOR DEVELOPMENT PERMIT

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SEAL

**MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)**

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

SITE PLAN

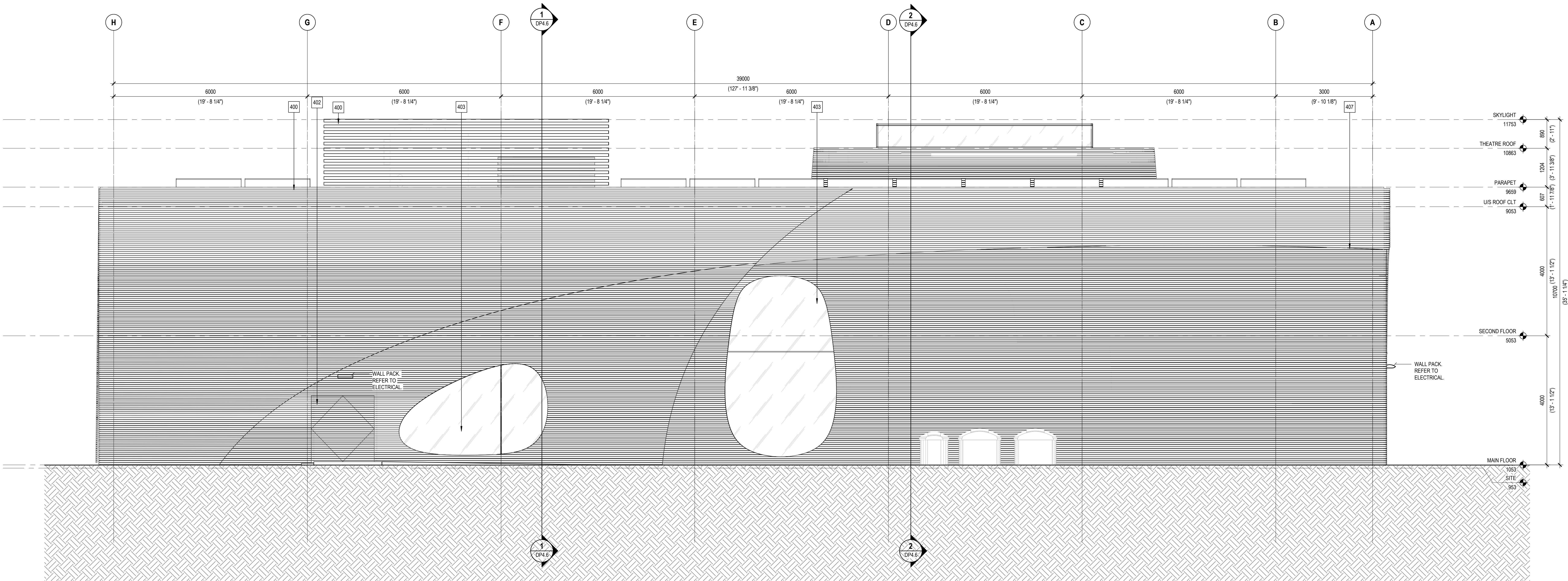
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CHECKED: RC

DP1.3

EXTERIOR FINSH LEGEND	
Key Value	Keynote Text
400	TREATED WOOD CLADDING; 2" X 1" PROFILE
402	STAINLESS STEEL METAL DOOR PANEL AND FRAME
403	TRIPLE GLAZED WINDOW UNIT
407	SOFFIT STAINLESS STEEL

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1 DP4.1 EXTERIOR ELEVATION - NORTH
SCALE: 1:50

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ARCHITECT & PRIME CONSULTANT

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LANDSCAPE ARCHITECT

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STRUCTURAL ENGINEER

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CALGARY, AB T2N 3G9

EXTERIOR ELEVATION
- NORTH

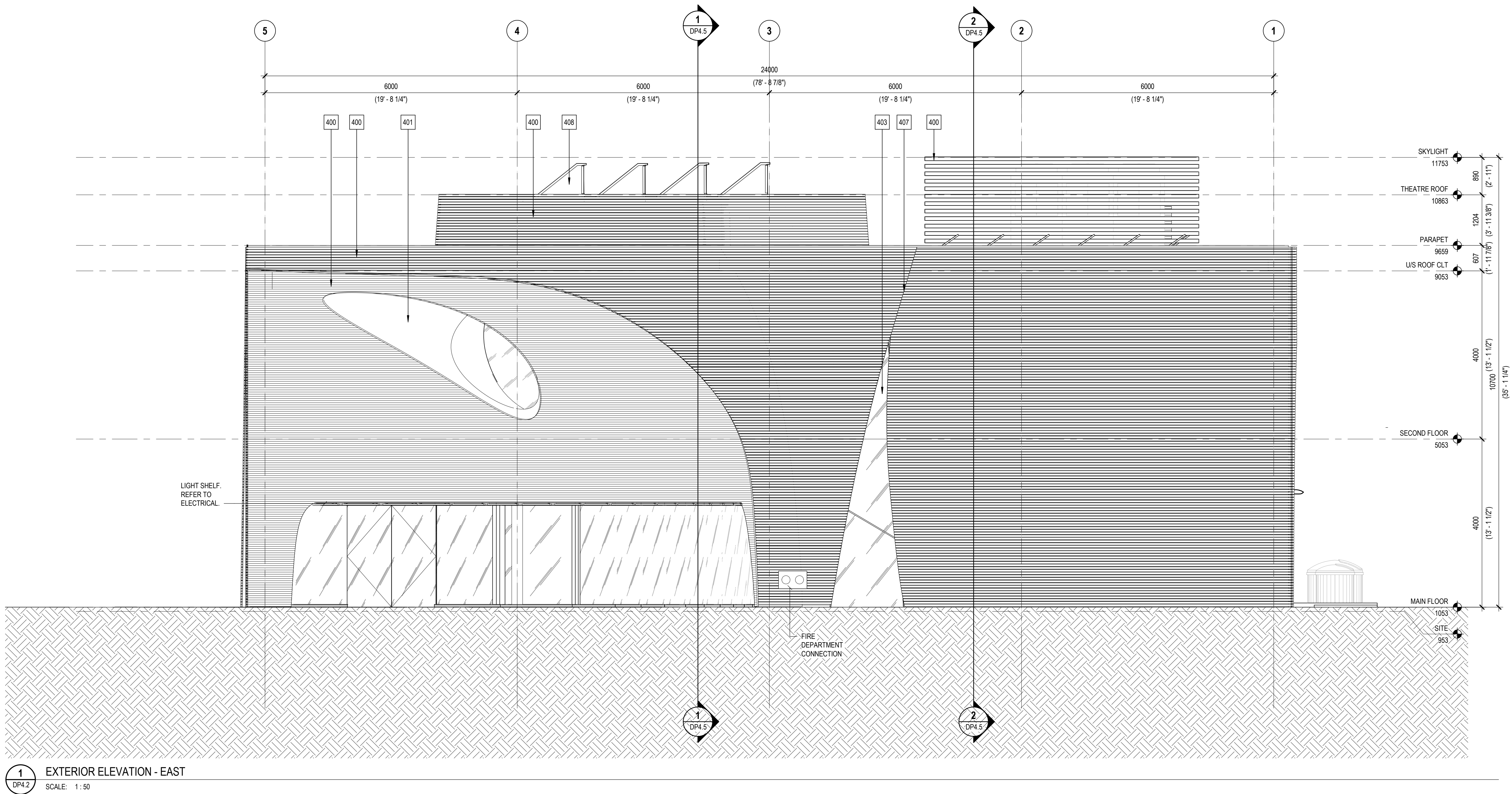
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DP4.1

EXTERIOR FINSH LEGEND	
Key Value	Keynote Text
400	TREATED WOOD CLADDING; 2" X 1" PROFILE
401	STAINLESS STEEL PANEL
403	TRIPLE GLAZED WINDOW UNIT
407	SOFFIT STAINLESS STEEL
408	PREFINISHED WHITE METAL

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LANDSCAPE ARCHITECT

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SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

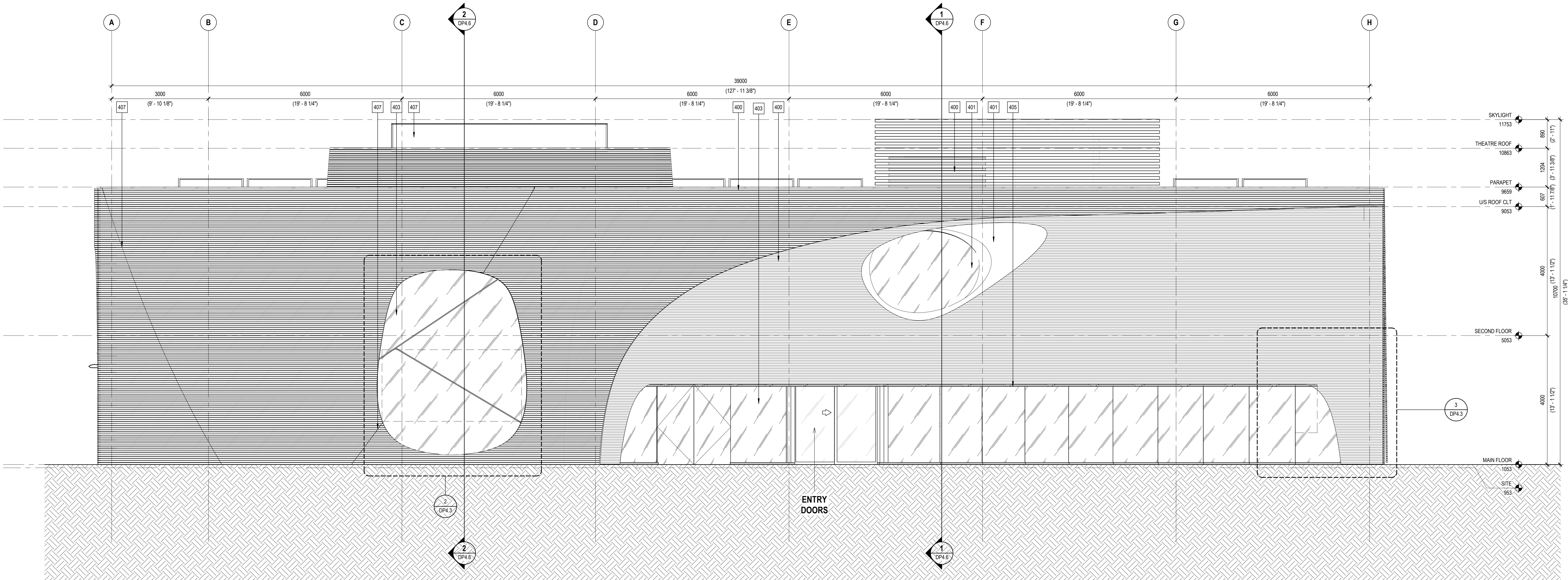
2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR ELEVATION
- EAST

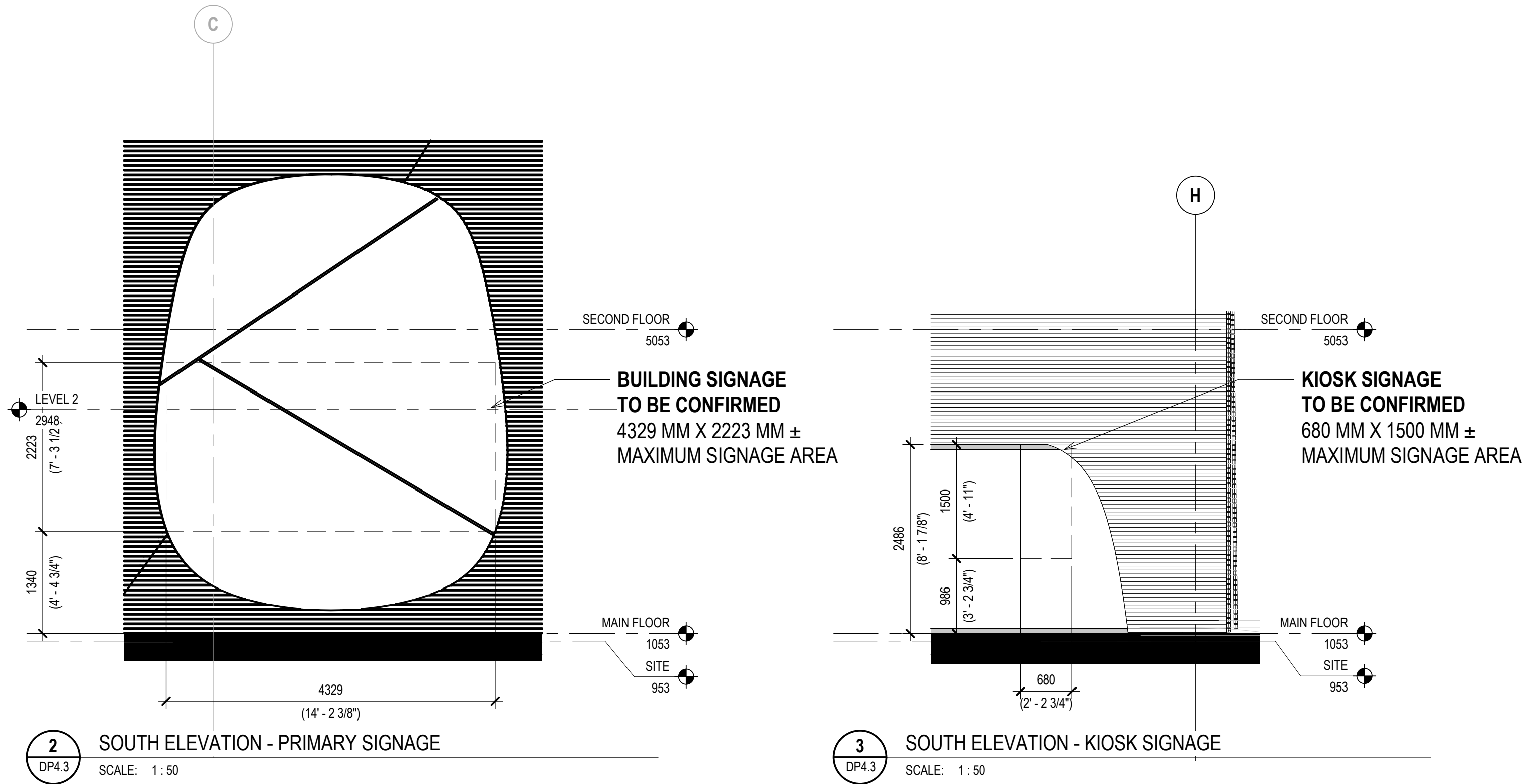
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DP4.2

EXTERIOR FINSH LEGEND	
Key Value	Keynote Text
400	TREATED WOOD CLADDING; 2" X 1" PROFILE
401	STAINLESS STEEL PANEL
403	TRIPLE GLAZED WINDOW UNIT
405	STAINLESS STEEL LIGHT SHELF
407	SOFFIT STAINLESS STEEL



1 DP4.3 EXTERIOR ELEVATION - SOUTH
SCALE: 1:50



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SEAL

**MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)**

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

**EXTERIOR ELEVATION
- SOUTH**

DRAWN: JJ / AE / JS
PLOT DATE: 2/26/2025 2:15:24 PM

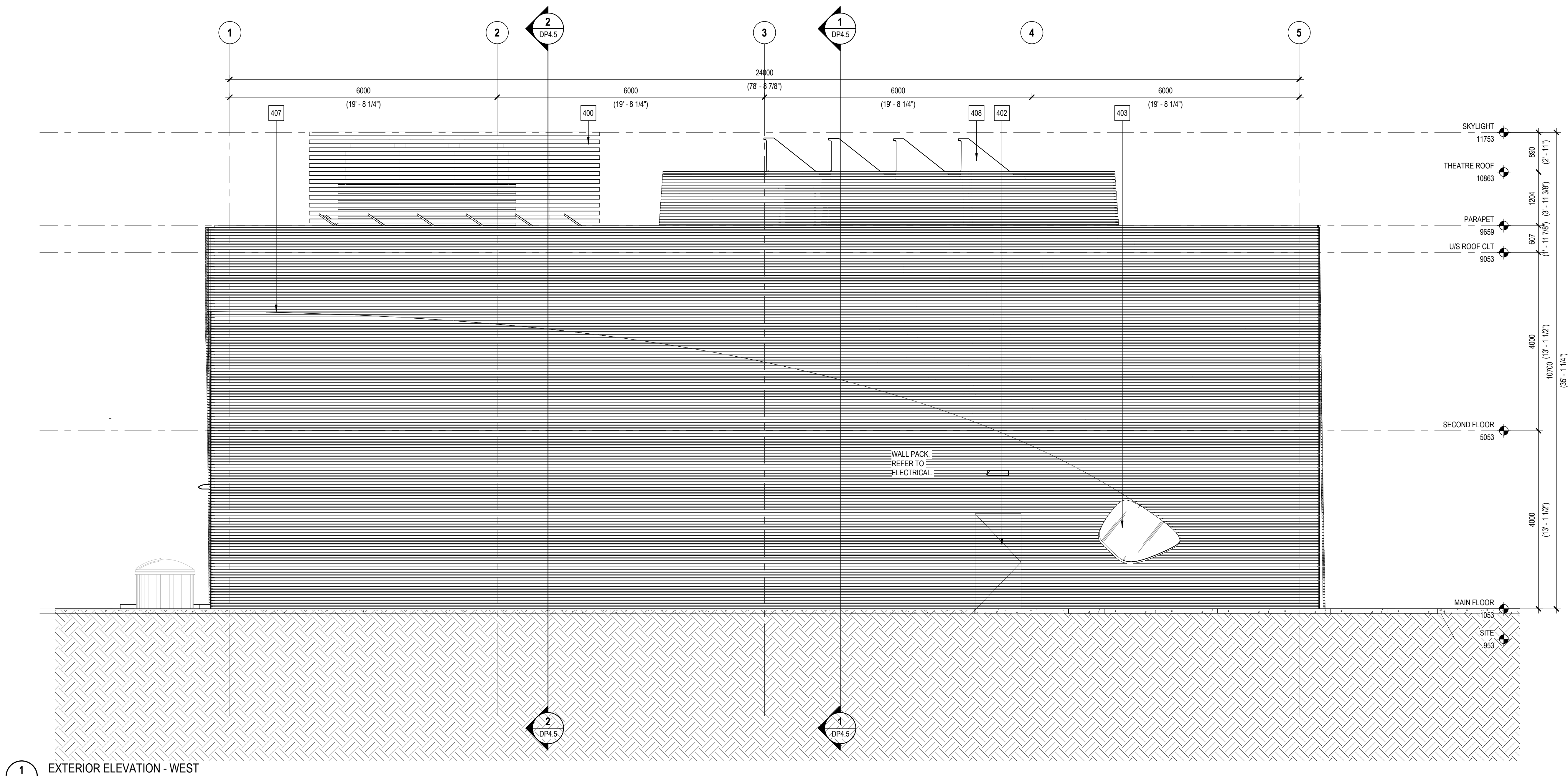
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DP4.3

EXTERIOR FINSH LEGEND	
Key Value	Keynote Text
400	TREATED WOOD CLADDING; 2" X 1" PROFILE
402	STAINLESS STEEL METAL DOOR PANEL AND FRAME
403	TRIPLE GLAZED WINDOW UNIT
407	SOFFIT STAINLESS STEEL
408	PREFINISHED WHITE METAL

ISSUED FOR

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LANDSCAPE ARCHITECT

DIALOG
134-11 AVENUE SE, SUITE 300
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STRUCTURAL ENGINEER

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MECHANICAL ENGINEER

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ELECTRICAL ENGINEER

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SEAL

MULTIDISCIPLINARY
DISABILITY COMMUNITY
ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY, AB T2N 3G9

EXTERIOR ELEVATION
- WEST

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1 SOUTH ELEVATION RENDER
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CIVIL ENGINEER

IBL ENGINEERING AND LAND SERVICES LTD.
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CALGARY, AB T2G 2Y9
Tel: 403.254.0544

LANDSCAPE ARCHITECT

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SEAL

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EXTERIOR VIEWS

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EXTERIOR VIEWS

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1 EXTERIOR CANOPY RENDER
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LANDSCAPE ARCHITECT

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EXTERIOR VIEWS

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1 EXTERIOR VIEW FROM PEDESTRIAN OVERPASS
DP4.9 SCALE: N.T.S.

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DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE CONSULTANT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.

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CALGARY, ALBERTA, T2G0X5
Tel: 403.245.5501

ELECTRICAL ENGINEER
DIALOG
300, 134-11 AVE SE
CALGARY, ALBERTA, T2G0X5
Tel: 403.245.5501

KEYPLAN

SEAL

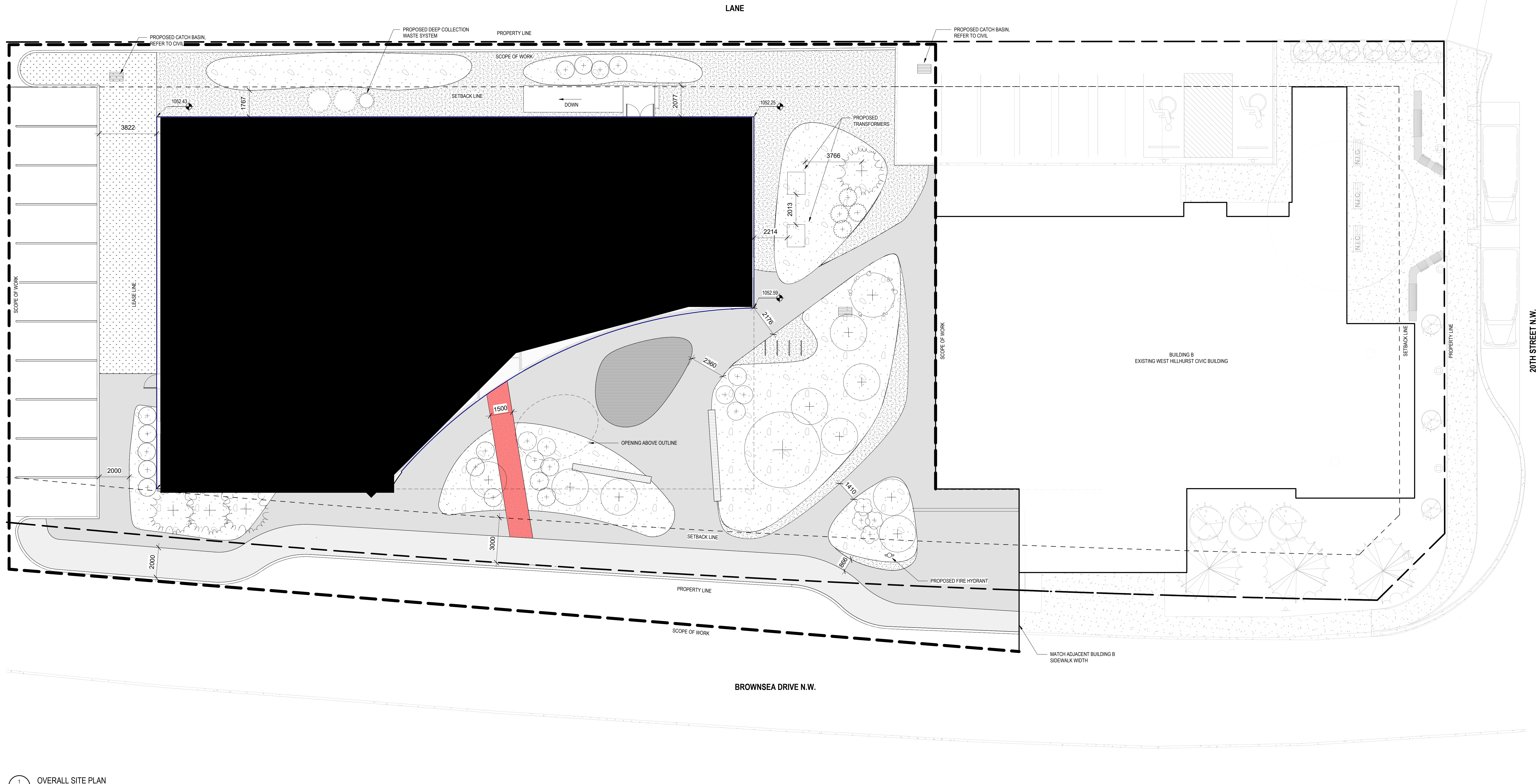
MULTIDISCIPLINARY DISABILITY COMMUNITY ARTS HUB (MDCAH)

2140 BROWNSEA DRIVE NW
CALGARY AB T2N 3G9

LANDSCAPE PLAN

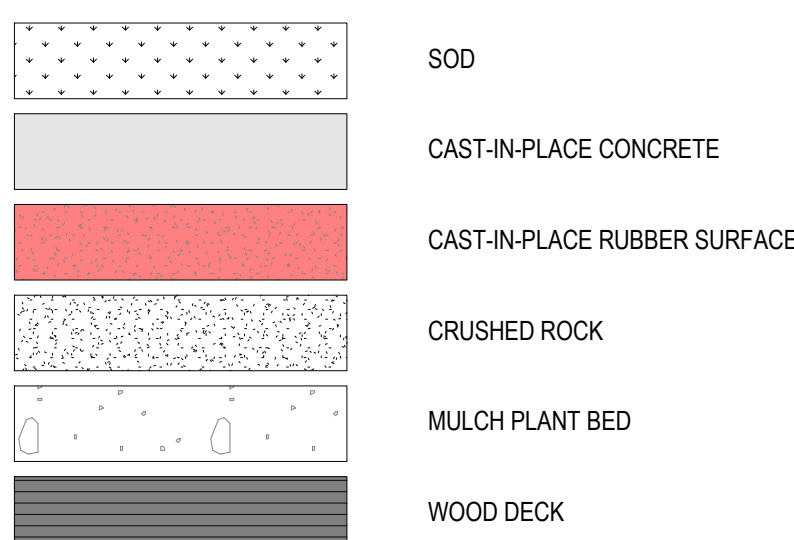
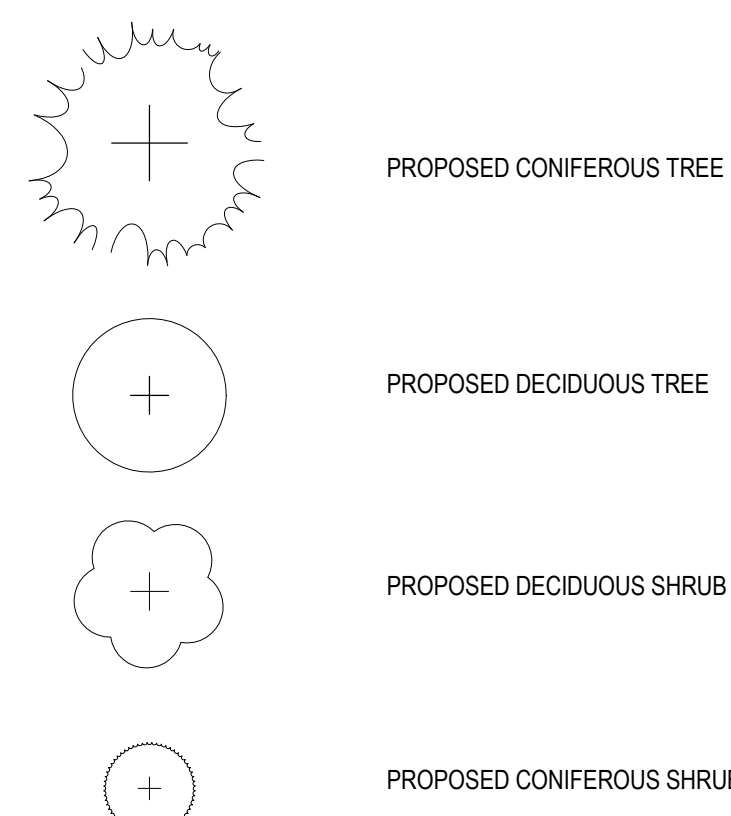
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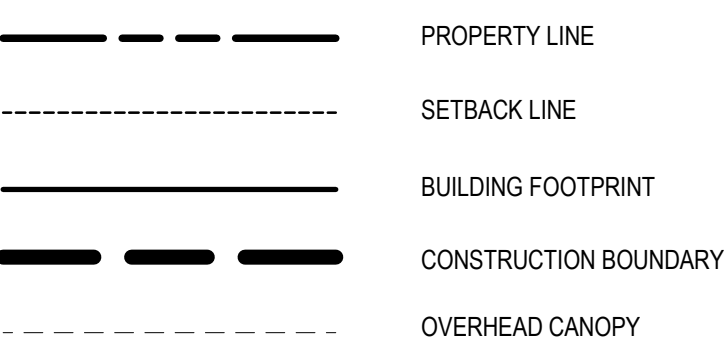


1 OVERALL SITE PLAN
SCALE: 1 : 100

SITE LANDSCAPE LEGEND



SITE SYMBOL LEGEND



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- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. VERIFY DIMENSIONS. DO NOT SCALE DRAWINGS.
- REVIEW SITE CONDITIONS. VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES, AND CONFIRM UTILITY SETBACK REQUIREMENTS. REPORT INCONSISTENCIES, OMISSIONS, AND CONFLICTS TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF WORK.
- IF EXCAVATIONS ARE REQUIRED CLOSER THAN 1.0m TO UNDERGROUND UTILITIES, HAND DIGGING UNDER THE SUPERVISION OF AFFECTED UTILITIES IS REQUIRED. NOTIFY THE APPROPRIATE UTILITY TO APPROVE, REVIEW, AND/OR DEFINE SAFE PROCEDURES FOR THESE EXCAVATIONS.
- WORK SHALL BE MAINTAINED WITHIN THE PROPERTY LINE AND/OR SCOPE OF WORK. THE CONTRACTOR IS RESPONSIBLE TO CORRECT ANY INTRUSION OR DAMAGE TO ADJACENT PROPERTY - INCLUDING BUILDINGS, PAVEMENTS, BENCHMARKS, AND ALL OTHER SITE APPURTENANCES. CORRECTION SHALL BE AT THE CONTRACTOR'S EXPENSE.
- DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT ARE SUBJECT TO CORRECTION AT THE CONTRACTOR'S EXPENSE.
- REFER TO CIVIL DRAWINGS FOR EXISTING AND PROPOSED TOPOGRAPHY.
- REFER TO CIVIL FOR ALL BELOW GRADE UTILITY LOCATIONS.
- REFER TO ELECTRICAL FOR ALL SITE LIGHTING AND SITE ELECTRICAL RELATED EQUIPMENT.
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK.
- CONTRACTOR TO COORDINATE AND ATTEND ALL INSPECTIONS.
- CONTRACTOR TO COORDINATE WORK WITH ALL OTHER CONTRACTORS ON SITE.
- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AT TIME OF CONSTRUCTION.
- CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES PRIOR TO ANY WORK DURING CONSTRUCTION.
- ANY SUBSTITUTIONS OF PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE SUBSTITUTION BEING MADE.
- CONTRACTOR SHOULD OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK. ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATED WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.

GENERAL PLANTING NOTES

ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR NURSERY STOCK.
CONTRACTOR TO COORDINATE WORK WITH ALL OTHER CONTRACTORS ON SITE.
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AT TIME OF CONSTRUCTION.
CONTRACTOR TO VERIFY ALL UNDERGROUND SERVICES PRIOR TO ANY WORK DURING CONSTRUCTION.
ANY SUBSTITUTIONS OF PLANT MATERIAL TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE SUBSTITUTION BEING MADE.

CONTRACTOR SHOULD OBTAIN, AT THE CONTRACTOR'S SOLE EXPENSE, ALL UTILITY LOCATES PRIOR TO COMMENCING WORK. ALL DAMAGES TO UTILITIES, REGARDLESS OF WHETHER LOCATED WERE COMPLETED, SHALL BE REHABILITATED, RESTORED AND/OR MADE GOOD BY THE CONTRACTOR, TO THE OWNERS AND/OR THE CITY OR TOWN AUTHORITY'S REQUIREMENTS.

PLANTING NOTES

ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION IS TO BE REMOVED, DISPOSED OF, AND REPLACED BY THE CONTRACTOR. ANY REPLACEMENT PLANT MATERIAL MUST BE THE SAME SPECIES OF THE REMOVED ITEM.

ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM. SPECIMENT GRADE SINGLE STEM STOCK - UNLESS NOTED OTHERWISE. PLANTS WILL BE REJECTED IF SOIL BALLS HAVE BEEN CRACKED OR BROKEN BEFORE OR DURING PLANTING OR WHEN BULB/RIFES REQUIRED IN CONNECTION WITH THEIR TRANSPLANTING HAVE BEEN REMOVED. DO NOT USE PLANTS DAMAGED DURING CONTACT WITH EQUIPMENT, OR PLANTS THAT ARE WILTED, WIND BURNED OR STRESSED. CONTRACTOR TO REPLACE DAMAGED OR REJECTED PLANTS AT NO ADDITIONAL COST TO OWNER.

STAKE OUT LOCATIONS OF TREES, SHRUBS, AND PLANTING BEDS. LOCATIONS OF ALL PLANTS SHALL BE REVIEWED AND APPROVED BY OWNERS REPRESENTATIVE ON SITE BEFORE PLANTING. PLANTS INSTALLED WITHOUT REVIEW AND APPROVAL MAY REQUIRE TRANSPLANTING OR RELOCATION AS DIRECTED BY OWNERS REPRESENTATIVE AT NO ADDITIONAL COST.

PART OF MATERIAL INSTALLATION SHALL INCLUDE SUFFICIENT PROTECTION TO PREVENT BARK AND TREE DAMAGE DUE TO FORAGING ANIMALS AND ANCHORING SYSTEM TO PREVENT ROOT BREAKAGE DUE TO STRONG WINDS. LANDSCAPE ARCHITECT NOT RESPONSIBLE FOR ANY DAMAGE THAT INCUR DUE TO IMPROPER INSTALLATION.

ALL CONIFEROUS TREES TO HAVE A HEIGHT OF 3m.

ALL SHRUBS TO HAVE MIN HEIGHT OR SPREAD OF 3m.

ALL SOFT LANDSCAPING AREAS TO BE IRRIGATED WITH A LOW WATER IRRIGATION SYSTEM.

LANDSCAPE BY-LAW REQUIREMENTS

	REQUIREMENTS (Entire parcel)	TOTAL REQUIRED	TOTAL PROVIDED
(LEASABLE AREA)			
TREES	1.0/45.0 sq.m. SETBACK AREA (607 sq.m.)	14	15
SHRUBS	2.0/45.0 sq.m. SETBACK AREA (607 sq.m.)	27	30

PLANTING SCHEDULE (LIMIT OF WORK)				
QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CONIFEROUS SHRUB				
9	Juniperus sabina	Calgary Carpet Juniper	#5 Gallon	#5 Gallon
CONIFEROUS TREE				
4	Pinus contorta	Lodgepole Pine	3.0m	3.0m
DECIDUOUS SHRUB				
7	Amelanchier alnifolia	Saskatoon Berry	#5 Gallon	#5 Gallon
4	Corylus cornuta	Spaced Hazelnut	#5 Gallon	#5 Gallon
4	Elaeagnus commutata	Wolf Willow	#5 Gallon	#5 Gallon
6	Symphoricarpos	Snowberry	#5 Gallon	#5 Gallon
DECIDUOUS TREE				
1	Aesculus glabra	Ohio Buckeye	80mm Caliper	80mm Caliper
7	Betula papyrifera	White Birch	75mm Caliper	50mm Caliper
2	Fraxinus pennsylvanica	Green Ash	75mm Caliper	75mm Caliper
1	Malus 'Thunderchild'	Thunderchild Flowering Crabapple	50mm Caliper	50mm Caliper

