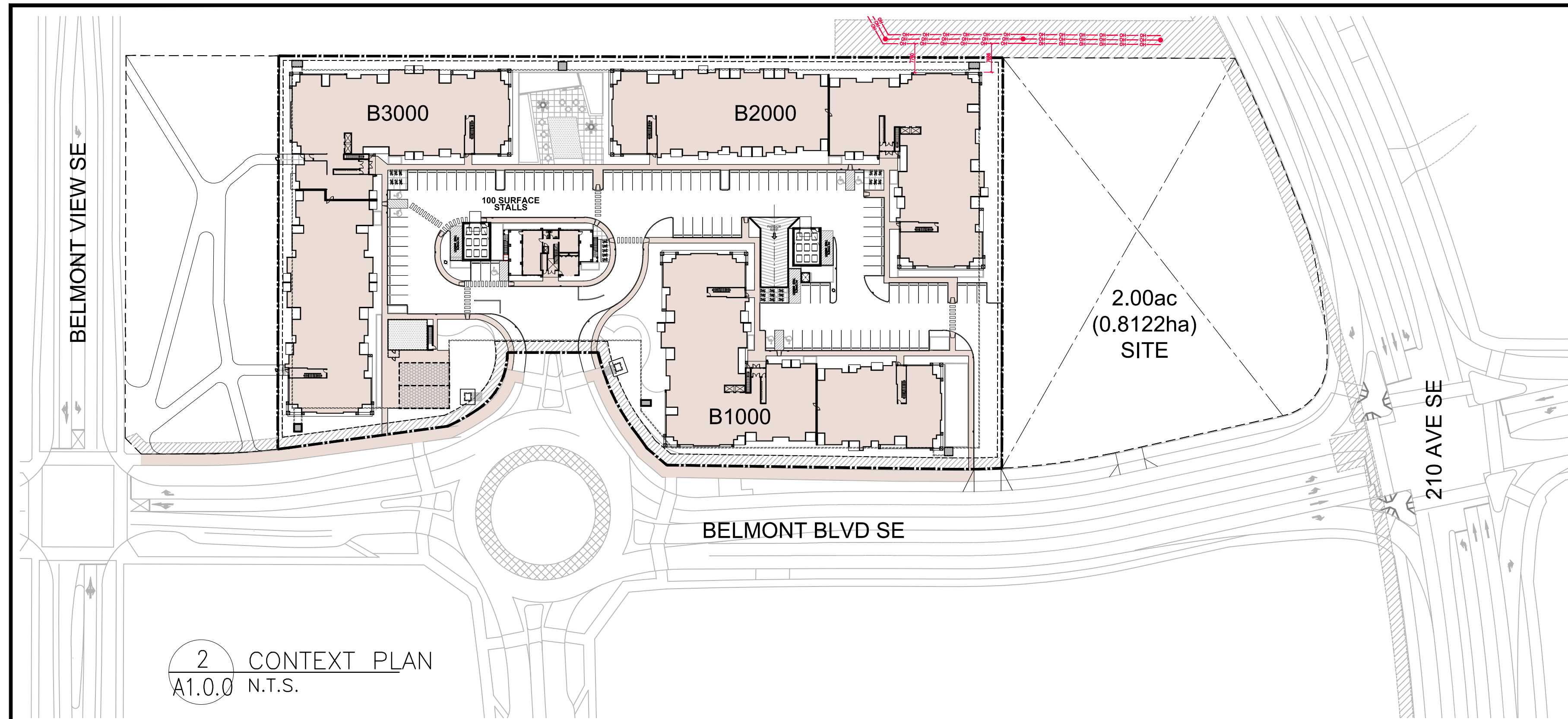




2 CONTEXT PLAN
A1.0.0 N.T.S.

NOTES

1. THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY: TROVENS GEOMATICS INC. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
2. UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
3. TEST MANHOLE LOCATION TO BE DETERMINED.
4. ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
5. REFER TO SURVEY DRAWING FOR EXISTING GRADES.
6. REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.

FLOOR AREA RATIO ALLOWED: FAR 3.0

FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:
BUILDING 1000 (MF 2,068.5 m² + UF 2,065.6 m² x5) 12,396.5 m² (133,434 ft²)
BUILDING 2000 (MF 2,590.2 m² + UF 2,587.2 m² x5) 15,526.2 m² (167,122 ft²)
BUILDING 3000 (MF 2,581.5 m² + UF 2,578.6 m² x5) 15,474.5 m² (166,566 ft²)
TOTAL FLOOR AREA: 43,397.2 m² (467,123 ft²)

43,397.2 m² / 19,661.0 m² = 2.21 FAR

LANDSCAPE AREAS:

7,586 m² = 38%
ALSO REFER TO LANDSCAPE DRAWINGS PREPARED BY

BUILDING HEIGHT ALLOWED: 16m

BUILDING HEIGHT PROVIDED: ±18m

PARKING CALCULATIONS

PARKING STALLS REQUIRED (AS PER LUB 1P2007, PART 6, DIVISION 1, 558 (1) (a)):
DWELLING UNITS : 0.625 (STALLS/UNIT) 513 x 0.625 = 321 STALLS
TOTAL STALLS REQUIRED 321 STALLS

PARKING STALLS PROVIDED:

SURFACE STALLS (INCL. 7 H/C STALLS) 100 STALLS
PARKADE 550 STALLS
TOTAL STALLS PROVIDED 650 STALLS

BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (559)):

CLASS 1: 513 x 1.0 (STALLS/UNIT) 513 STALLS
CLASS 2: 513 x 0.1 (STALLS/UNIT) 52 STALLS
TOTAL NUMBER OF STALLS 565 STALLS

BICYCLE PARKING PROVIDED:

CLASS 1: (280 HORIZONTAL + 234 VERTICAL RACKS) 514 STALLS
CLASS 2: 52 STALLS
TOTAL NUMBER OF STALLS 566 STALLS

PARKING RATIO: 1.27 STALLS/UNIT

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT ?, BLOCK A, PLAN 901 1040

MUNICIPAL ADDRESS: ??? BELMONT ??? SW, CALGARY, AB

ZONING: MEDIUM PROFILE (M-2)

SITE AREA TOTAL: ±1.9661 ha (±4.85 ac)

PROPOSED GFA:
BUILDING 1000 12,396.5 m² (133,434 ft²)
BUILDING 2000 15,526.2 m² (167,122 ft²)
BUILDING 3000 15,474.5 m² (166,566 ft²)
TOTAL GFA 43,397.2 m² (467,123 ft²)

PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)

BUILDING/UNITS	1BDR	2BDR	3BDR	TOTAL
BUILDING 1000	11	114	18	143
BUILDING 2000	41	120	30	191
BUILDING 3000	6	143	30	179
TOTAL	58	377	78	513

MAXIMUM DENSITY ALLOWED: NO MAXIMUM

MINIMUM DENSITY ALLOWED: 60 UNITS/ha

DENSITY PROVIDED: 513 UNITS/ 1.9661 ha = 261 UNITS/ha

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

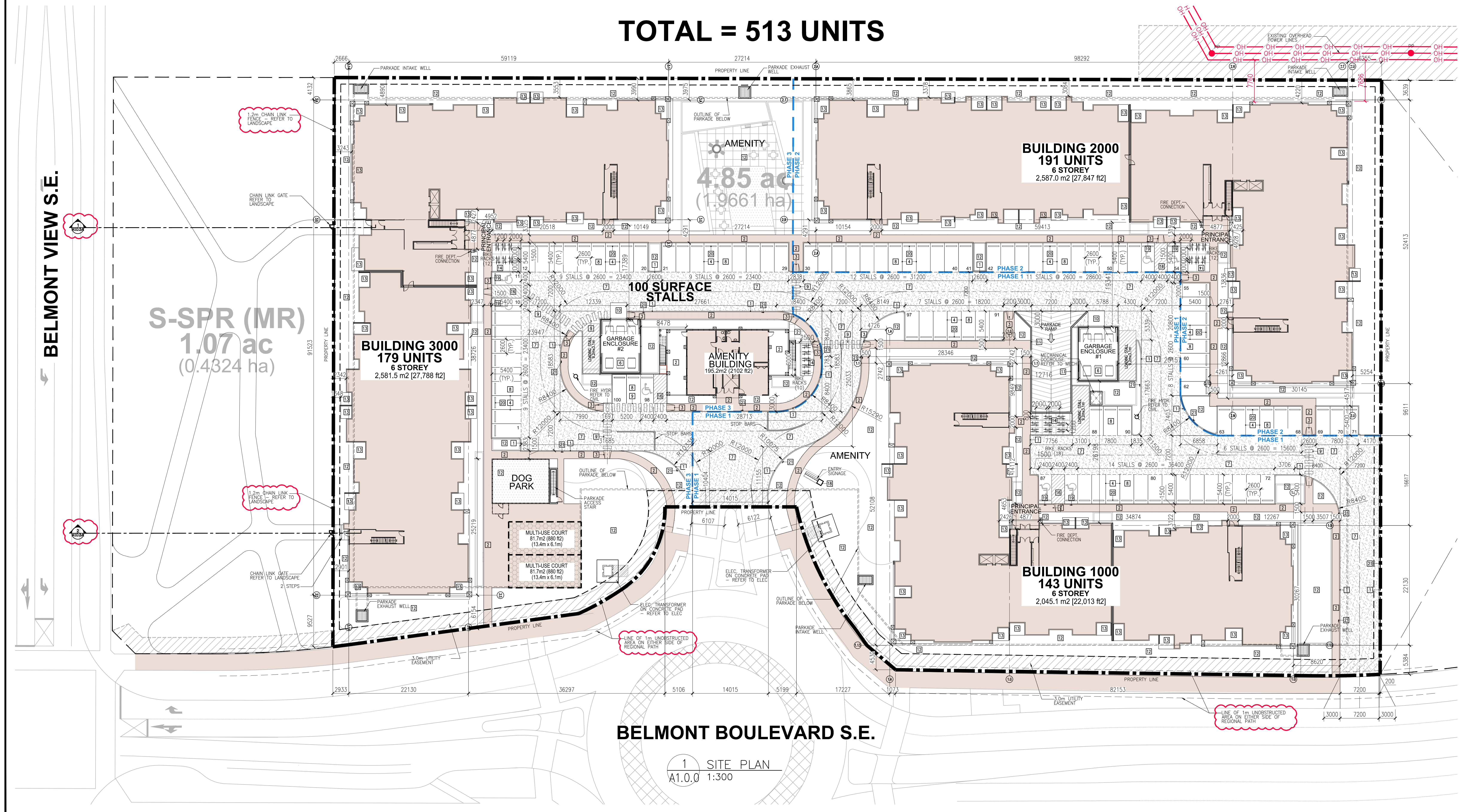
MATERIAL LEGEND

- 1 CONCRETE CURB
- 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
- 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
- 2 CONCRETE SIDEWALK
- 3 HANDICAP RAMP TO CITY STANDARDS
- 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
- 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
- 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
- 7 HEAVY-DUTY ASPHALT PAVING
-MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE
-FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
- 8 ASPHALT PAVING
- 9 PAINTED PEDESTRIAN CROSSING
- 10 CONCRETE ASPHON
-MIN. OF 25,000 KG WEIGHT CAPACITY
- 11 PARKADE RAMP CONCRETE RETAINING WALL
- 12 LANDSCAPING
- 13 CONCRETE PATIO
- 14 BIKE RACK
- 15 RESERVED
- 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
- 17 RESERVED
- 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
- 19 "HANDICAP PARKING" SIGN
- 20 WHEEL STOPS
- 21 "NO PARKING" SIGN

LEGEND

- HEAVY DUTY ASPHALT
- RIGHT-OF-WAY
- V 'V' INDICATES VISITOR STALLS

TOTAL = 513 UNITS



1 SITE PLAN
A1.0.0 1:300

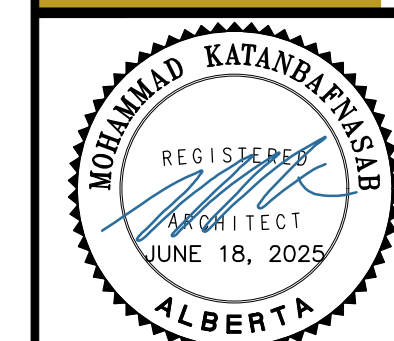
June 18, 2025

ISSUED FOR DTR1 COMMENTS

2	18/06/25	ISSUED FOR DTR1 COMMENTS
1	03/02/25	ISSUED FOR DEVELOPMENT PERMIT

NO. DATE/REV. REVISION

KN ARCHITECTURE
1417 Kensington Road N.W.
Calgary, Alberta T2N 3R1
Ph: (403) 265-3100
info@kn-architecture.com



SCALE: AS NOTED

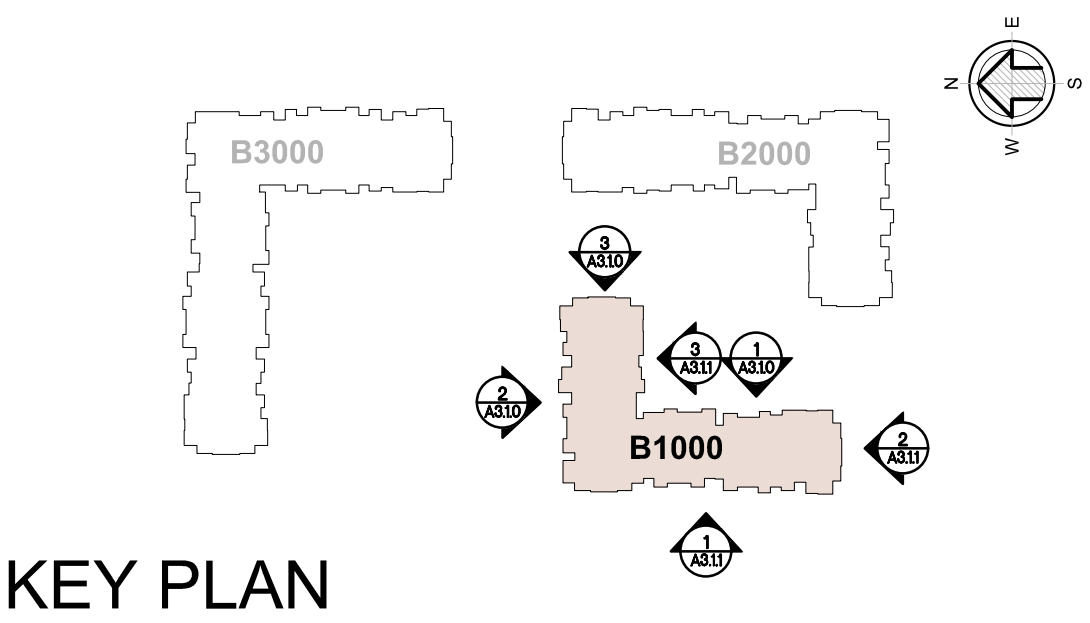
CITY VIBE DEVELOPMENTS INC.

PROJECT: **BELMONT APARTMENTS**
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE: START DATE: JANUARY 2024

DRAWING: SITE PLAN

DESIGNED: TN/SF	CHECKED: TN
DRAWN: RR/RL	JOB No. 2402
	DWG No. A1.0.0



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

- MATERIAL LEGEND**
- 1 HARDIE BOARD PANEL (TIMBER BARK)
 - 2 HARDIE BOARD PANEL (COBBLESTONE)
 - 3 FIBER CEMENT PANEL (SEPIA)
 - 4 HARDIE BOARD PANEL (RICH ESPRESSO)
 - 5 STONE CLADDING
 - 6 RESERVE
 - 7 GLASS SLIDING DOOR
 - 8 BLACK VINYL WINDOW
 - 9 ALUMINUM STORE FRONT GLAZING
 - 10 ALUMINUM GLASS RAILING (BLACK)
 - 11 EXTERIOR GLASS DOOR (BLACK)
 - 12 DRAINAGE SLOT
 - 13 RESERVE
 - 14 RESERVE
 - 15 RESERVE
 - 16 FIBER CEMENT LAP SIDING (SEPIA)
 - 17 VTAC LOUVER (COLOUR TO MATCH WALL)
 - 18 HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)

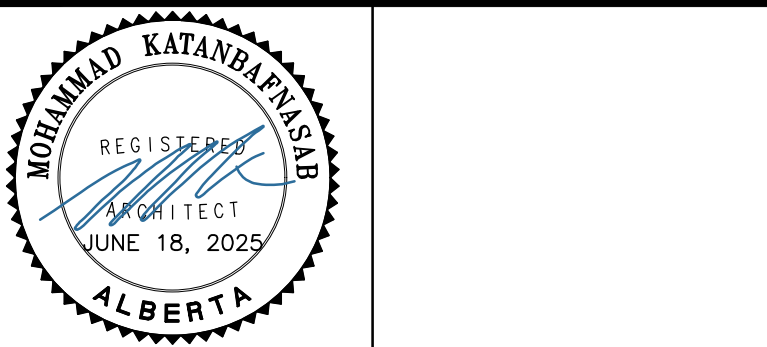
June 18, 2025
ISSUED FOR DTR1 COMMENTS

2	18/06/25	ISSUED FOR DTR1 COMMENTS
1	03/02/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DD/MM/YY	REVISION

K|N ARCHITECTURE

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Calgary, Alberta T2N 3R1

Ph: (403) 265-3100
info@kn-architecture.com



SCALE AS NOTED



PROJECT

BELMONT APARTMENTS

250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

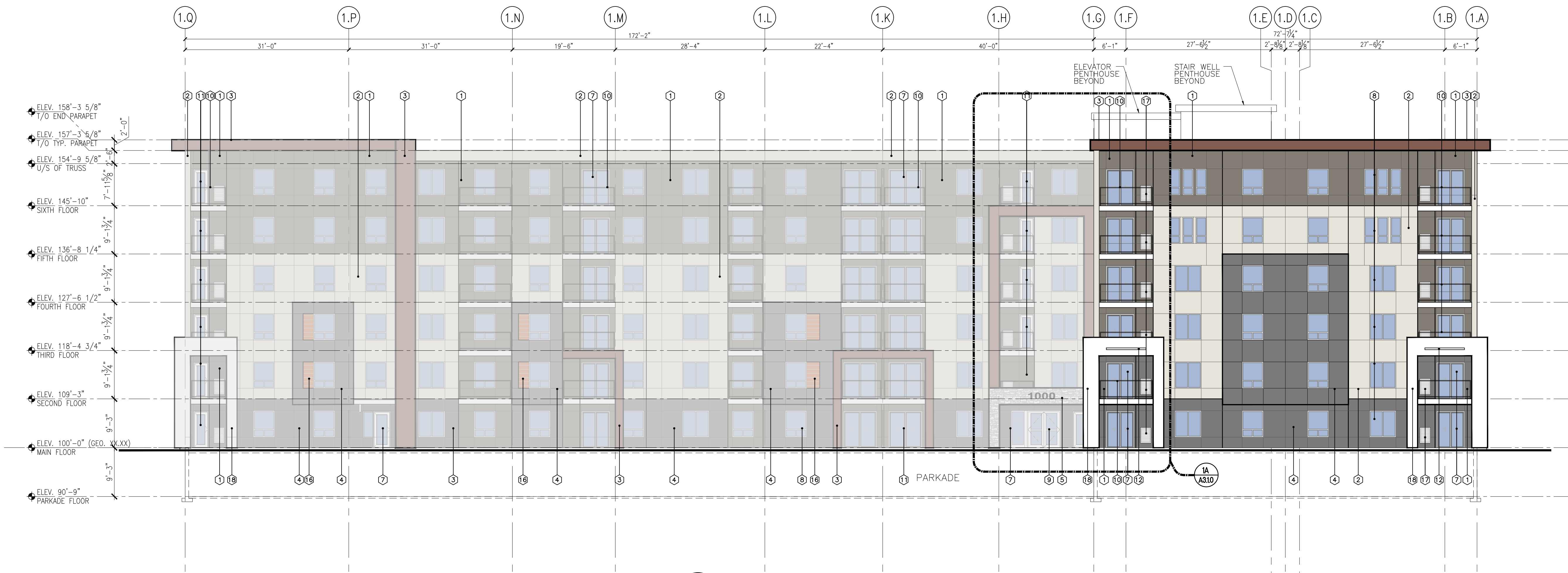
TRADE START DATE JANUARY 2024

DRAWING

BUILDING 1000 ELEVATIONS

DESIGNED	TN/SF	CHECKED	TN
DRAWN	RR/RL	JOB No.	2402
		DWG No.	

A3.1.0



1 EAST ELEVATION
A3.1.0 3/32" = 1'-0"

1A EAST ELEV. (Hidden portion)
A3.1.0 3/32" = 1'-0"



2 NORTH ELEVATION
A3.1.0 3/32" = 1'-0"

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MATERIAL LEGEND

- 1 HARDIE BOARD PANEL (TIMBER BARK)
- 2 HARDIE BOARD PANEL (COBBLESTONE)
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- 18 HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)

KEY PLAN



1 WEST ELEVATION
A3.1.1 3/32" = 1'-0"



2 SOUTH ELEVATION
A3.1.1 3/32" = 1'-0"



2A SOUTH ELEV. (Hidden portion)
A3.1.1 3/32" = 1'-0"

June 18, 2025

ISSUED FOR DTR1 COMMENTS

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NO	DD/MM/YY	REVISION
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SCALE AS NOTED

CITY VIBE
DEVELOPMENTS INC.

PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE
START DATE JANUARY 2024

DRAWING
**BUILDING 1000
ELEVATIONS**

DESIGNED TN/SF	CHECKED TN
DRAWN RR/RL	JOB No. 2402
	DWG No.

A3.1.1

KEY PLAN

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

- MATERIAL LEGEND**
- ① HARDIE BOARD PANEL (TIMBER BARK)
 - ② HARDIE BOARD PANEL (COBBLESTONE)
 - ③ FIBER CEMENT PANEL (SEPIA)
 - ④ HARDIE BOARD PANEL (RICH ESPRESSO)
 - ⑤ STONE CLADDING
 - ⑥ RESERVE
 - ⑦ GLASS SLIDING DOOR
 - ⑧ BLACK VINYL WINDOW
 - ⑨ ALUMINUM STORE FRONT GLAZING
 - ⑩ ALUMINUM GLASS RAILING (BLACK)
 - ⑪ EXTERIOR GLASS DOOR (BLACK)
 - ⑫ DRAINAGE SLOT
 - ⑬ RESERVE
 - ⑭ RESERVE
 - ⑮ RESERVE
 - ⑯ FIBER CEMENT LAP SIDING (SEPIA)
 - ⑰ VTAC LOUVER (COLOUR TO MATCH WALL)
 - ⑱ HARDIE BOARD PANEL (ARCTIC WHITE)

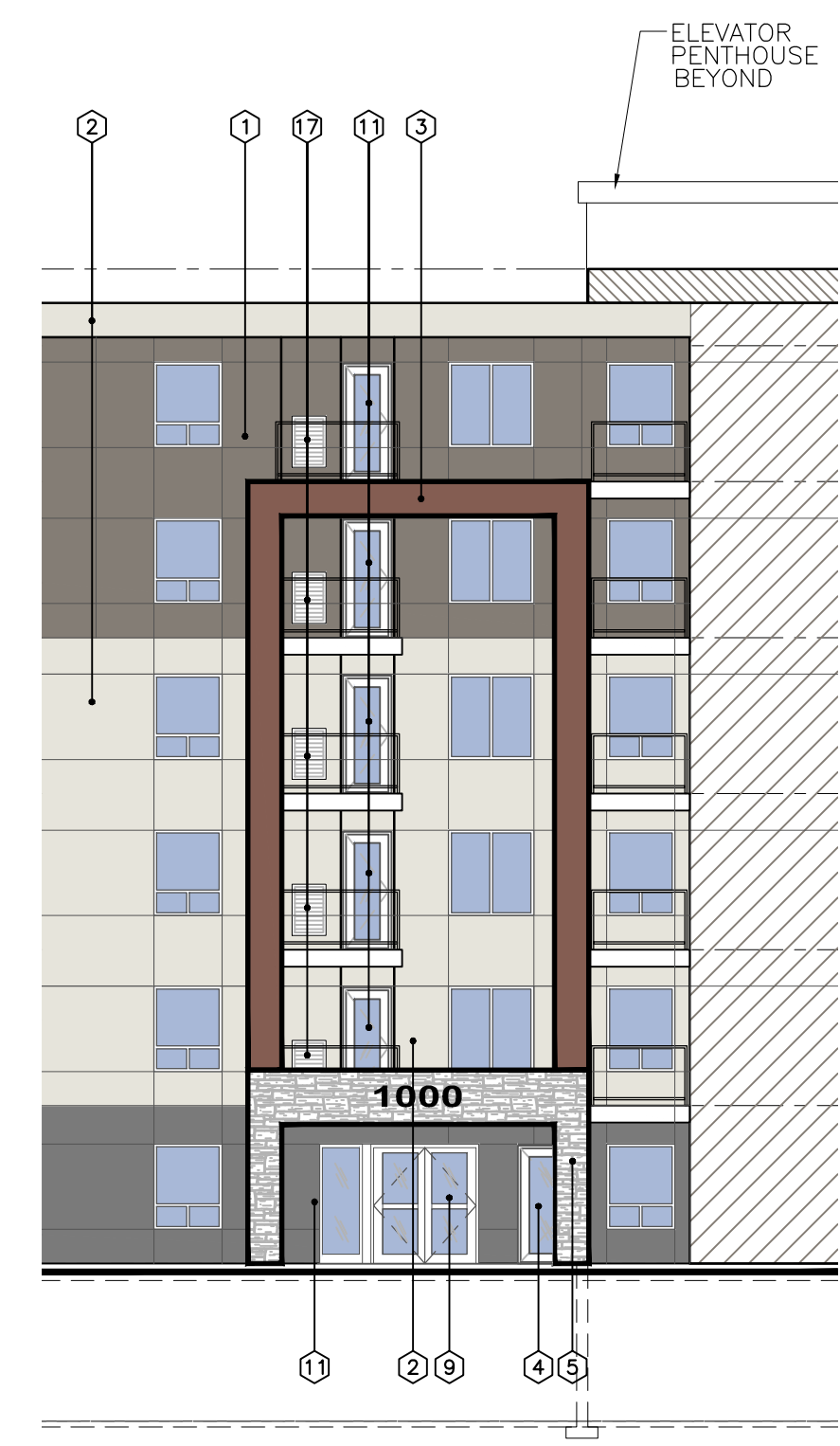
NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



1 WEST ELEVATION
A3.2.0 3/32" = 1'-0"



2 SOUTH ELEVATION
A3.2.0 3/32" = 1'-0"



1A WEST ELEV. (Hidden portion)
A3.2.0 3/32" = 1'-0"

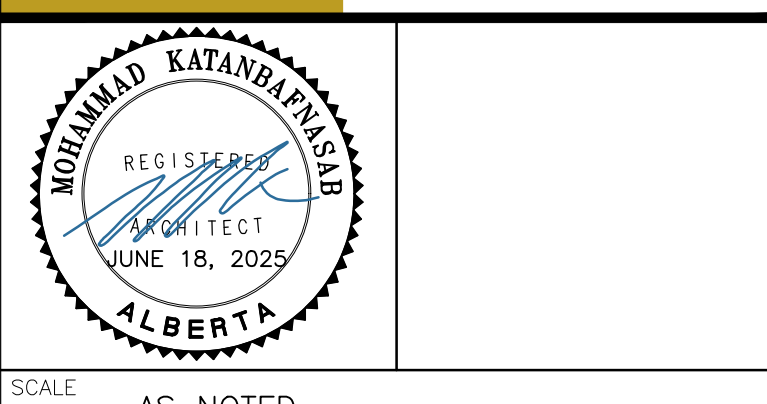
June 18, 2025
ISSUED FOR DTR1 COMMENTS

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1	03/02/25	ISSUED FOR DEVELOPMENT PERMIT
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SCALE AS NOTED



PROJECT

BELMONT APARTMENTS

250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

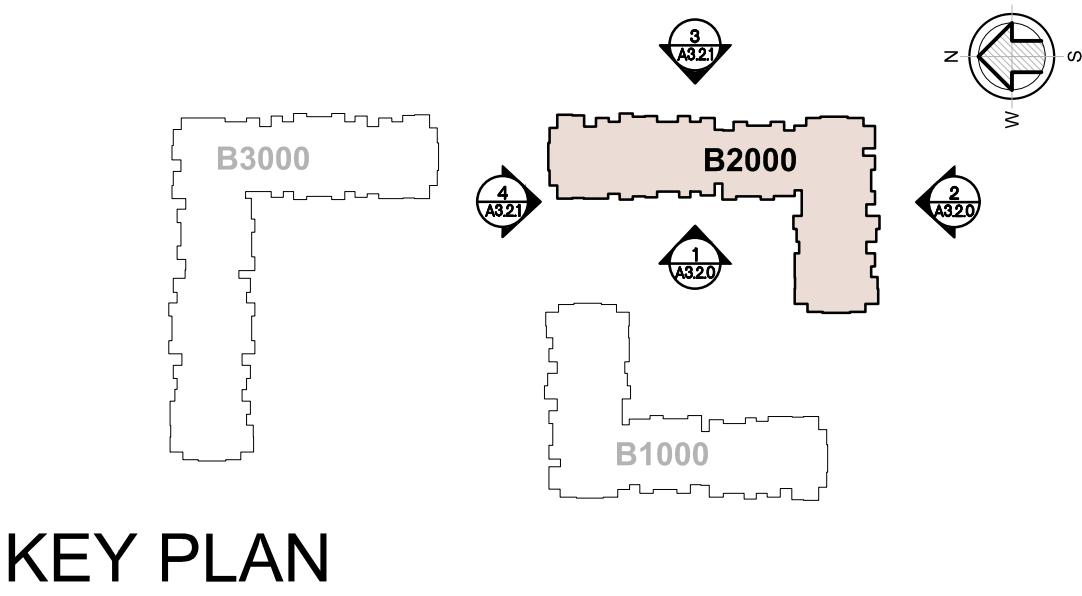
TRADE START DATE JANUARY 2024

DRAWING

**BUILDING 2000
ELEVATIONS**

DESIGNED TN/SF	CHECKED TN
DRAWN RR/RL	JOB No. 2402
	DWG No.

A3.2.0



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MATERIAL LEGEND

- ① HARDIE BOARD PANEL (TIMBER BARK)
- ② HARDIE BOARD PANEL (COBBLESTONE)
- ③ FIBER CEMENT PANEL (SEPIA)
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- ⑦ GLASS SLIDING DOOR
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- ⑪ EXTERIOR GLASS DOOR (BLACK)
- ⑫ DRAINAGE SLOT
- ⑬ RESERVE
- ⑭ RESERVE
- ⑮ RESERVE
- ⑯ FIBER CEMENT LAP SIDING (SEPIA)
- ⑰ VTAC LOUVER (COLOUR TO MATCH WALL)
- ⑱ HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



3 EAST ELEVATION
A3.2.1 3/32" = 1'-0"



4 NORTH ELEVATION
A3.2.1 3/32" = 1'-0"



4A NORTH ELEV. (Hidden portion)
A3.2.1 3/32" = 1'-0"

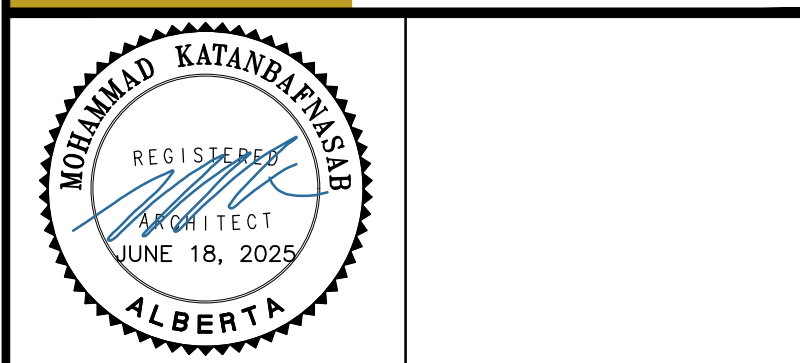
June 18, 2025

ISSUED FOR DTR1 COMMENTS

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NO	DD/MM/YY	REVISION

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SCALE AS NOTED



PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE
START DATE JANUARY 2024

DRAWING
**BUILDING 2000
ELEVATIONS**

DESIGNED	TN/SF	CHECKED	TN
DRAWN	RR/RL	JOB No.	2402
		DWG No.	

A3.2.1

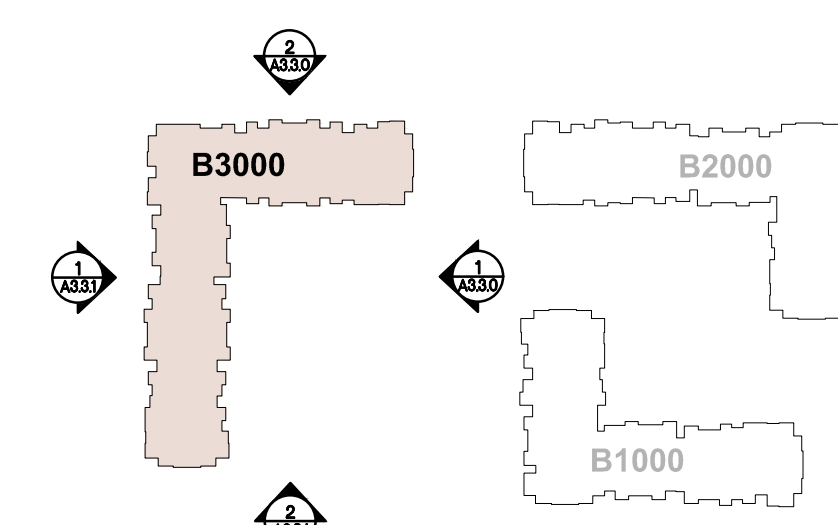
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MATERIAL LEGEND

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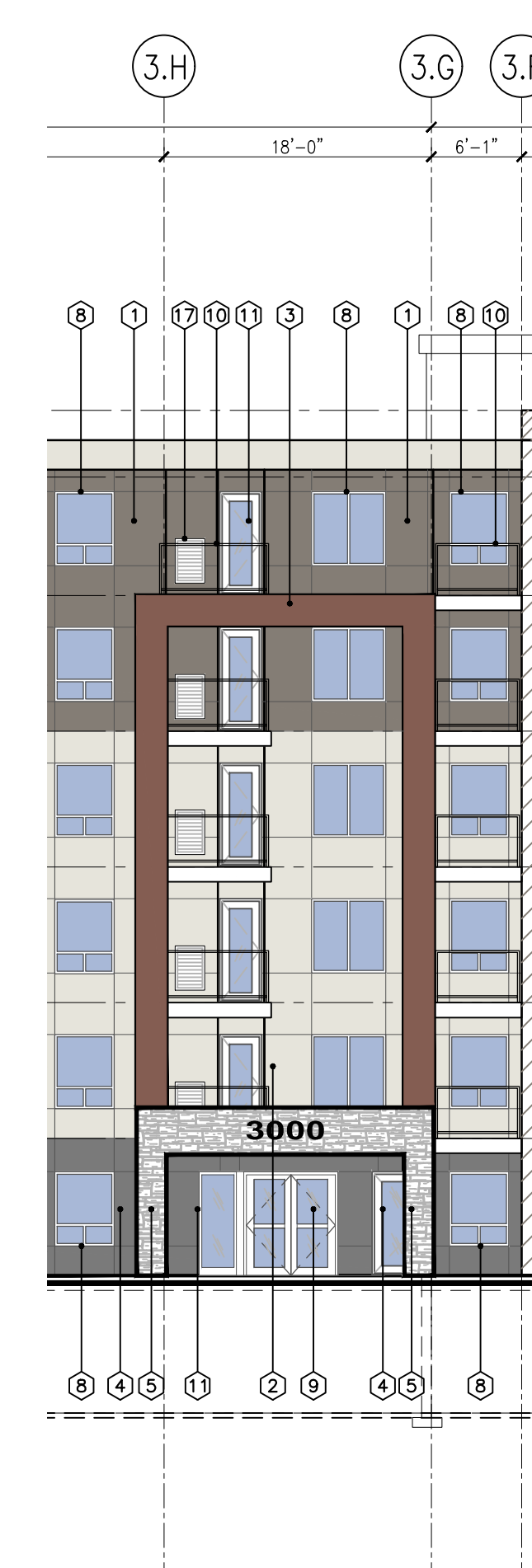
KEY PLAN



1 SOUTH ELEVATION
A3.3.0 3/32" = 1'-0"



2 EAST ELEVATION
A3.3.0 3/32" = 1'-0"



1A SOUTH ELEV. (Hidden portion)
A3.3.0 3/32" = 1'-0"

June 18, 2025

ISSUED FOR DTR1 COMMENTS

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1	03/02/25	ISSUED FOR DEVELOPMENT PERMIT
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ARCHITECTURE

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DEVELOPMENTS INC.

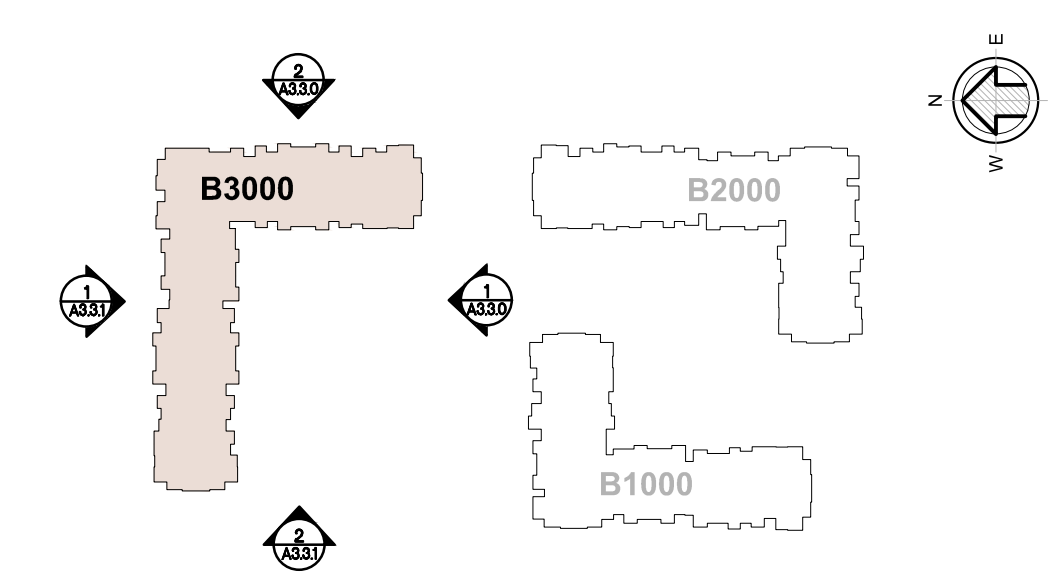
PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING
**BUILDING 3000
ELEVATIONS**

DESIGNED TN/SF	CHECKED TN
DRAWN RR/RL	JOB No. 2402
DWG No.	

A3.3.0



KEY PLAN

- MATERIAL LEGEND**
- 1 HARDIE BOARD PANEL (TIMBER BARK)
 - 2 HARDIE BOARD PANEL (COBBLESTONE)
 - 3 FIBER CEMENT PANEL (SEPIA)
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NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



1 NORTH ELEVATION
A3.3.1 3/32" = 1'-0"



2 WEST ELEVATION
A3.3.1 3/32" = 1'-0"



2A WEST ELEV. (Hidden portion)
A3.3.1 3/32" = 1'-0"

June 18, 2025
ISSUED FOR DTR1 COMMENTS

2 18/06/25 ISSUED FOR DTR1 COMMENTS
1 03/02/25 ISSUED FOR DEVELOPMENT PERMIT
NO. 00/00/00 REVISION

K|N ARCHITECTURE
1417 Kensington Road N.W.
Calgary, Alberta T2N 3R1
Ph: (403) 265-3100
info@kn-architecture.com

ALBERTA ARCHITECT
JUN 18, 2025
SCALE AS NOTED

CITY VIBE DEVELOPMENTS INC.

PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING
BUILDING 3000 ELEVATIONS

DESIGNED TN/SF CHECKED TN
DRAWN RR/RL JOB No. 2402
DWG No. **A3.3.1**