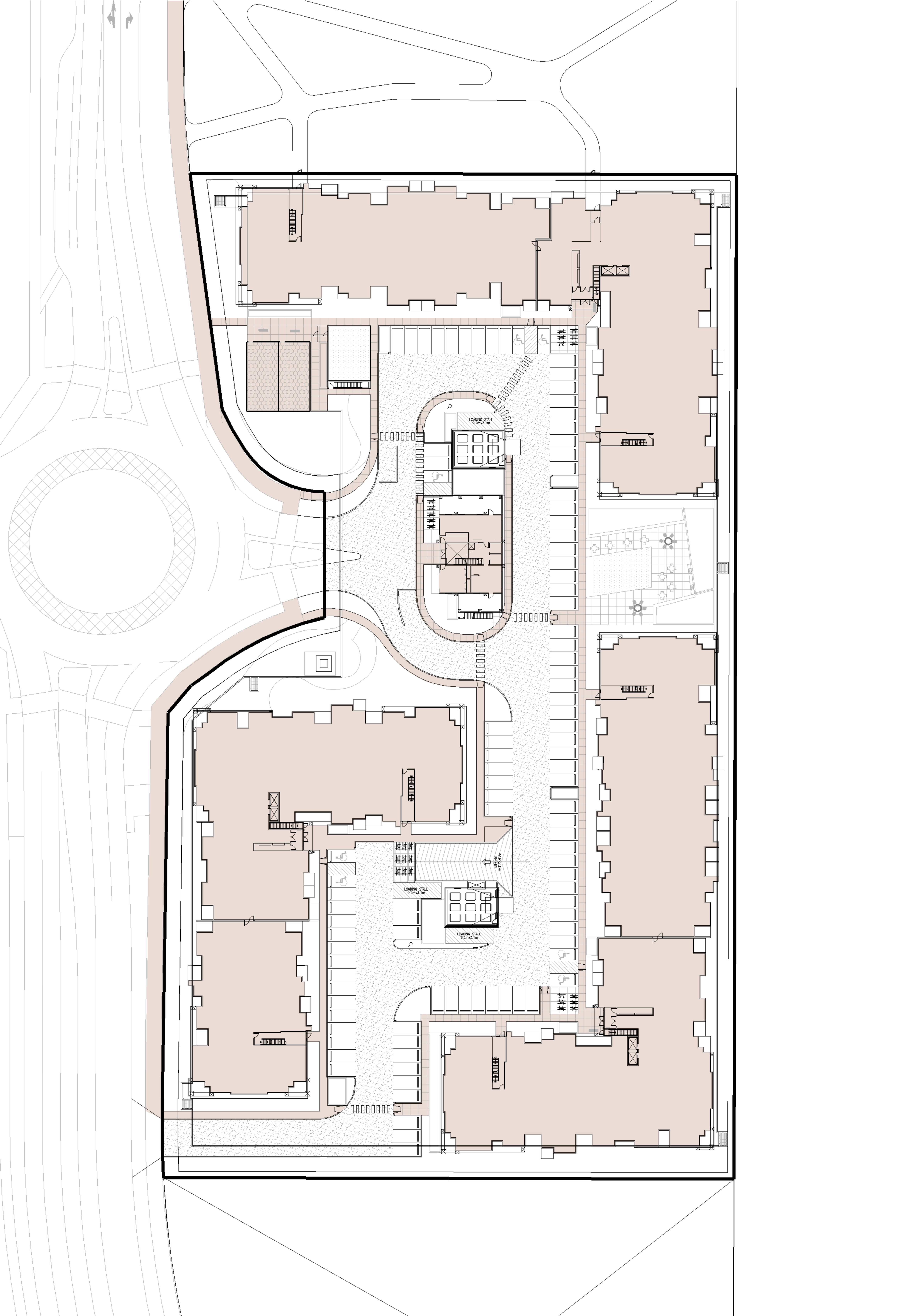
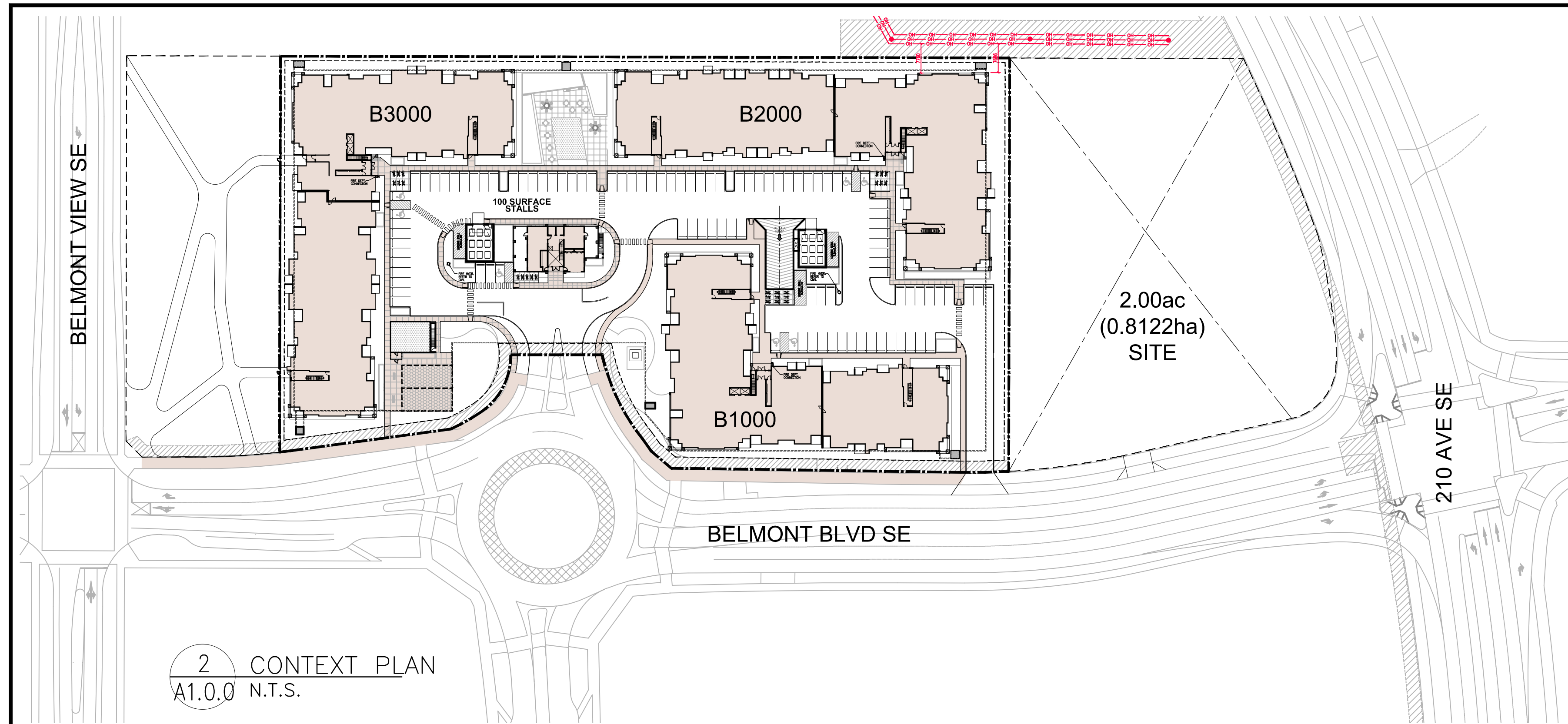






2 CONTEXT PLAN
A1.0.0 N.T.S.

NOTES

1. THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY: TROVENS GEOMATICS INC. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
2. UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
3. MIN. 12m RADIUS FOR FIRE TRUCK AND GARBAGE TRUCK ACCESS.
4. TEST MANHOLE LOCATION TO BE DETERMINED.
5. ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
6. REFER TO SURVEY DRAWING FOR EXISTING GRADES.
7. REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.
8. FIRE TRUCK ACCESS ROUTE OVER UNDERGROUND PARKADE CAPABLE OF SUPPORTING A LOAD OF 38,556 KG (85,000 lbs).
9. ACCESS IS DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa (75 psi) OVER A 24" x 24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE.
10. MIN OVERHEAD CLEARANCE 5.0m OVER FIRE TRUCK ACCESS ROUTES

FLOOR AREA RATIO ALLOWED: FAR 3.0

FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:
BUILDING 1000 (MF 2,068.5 m² + UF 2,065.6 m² x5) 12,396.5 m² (133,434 ft²)
BUILDING 2000 (MF 2,590.2 m² + UF 2,587.2 m² x5) 15,526.2 m² (167,122 ft²)
BUILDING 3000 (MF 2,581.5 m² + UF 2,578.6 m² x5) 15,474.5 m² (166,566 ft²)
TOTAL FLOOR AREA: 43,397.2 m² (467,123 ft²)

43,397.2 m² / 19,661.0 m² = 2.21 FAR

LANDSCAPE AREAS:

7,586 m² = 38%
ALSO REFER TO LANDSCAPE DRAWINGS PREPARED BY

BUILDING HEIGHT ALLOWED: 16m

BUILDING HEIGHT PROVIDED: ±18m

PARKING CALCULATIONS

PARKING STALLS REQUIRED (AS PER LUB 1P2007, PART 6, DIVISION 1, 558 (1) (a)):
DWELLING UNITS : 0.625 (STALLS/UNIT) 513 x 0.625 = 321 STALLS
TOTAL STALLS REQUIRED 321 STALLS

PARKING STALLS PROVIDED:

SURFACE STALLS (INCL. 7 H/C STALLS) 100 STALLS
PARKADE 552 STALLS
TOTAL STALLS PROVIDED 652 STALLS

BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (559)):

CLASS 1: 513 x 1.0 (STALLS/UNIT) 513 STALLS
CLASS 2: 513 x 0.1 (STALLS/UNIT) 52 STALLS
TOTAL NUMBER OF STALLS 565 STALLS

BICYCLE PARKING PROVIDED:

CLASS 1: (310 HORIZONTAL + 204 VERTICAL RACKS) 514 STALLS
CLASS 2: 52 STALLS
TOTAL NUMBER OF STALLS 566 STALLS

PARKING RATIO: 1.27 STALLS/UNIT

PROJECT INFORMATION

LEGAL DESCRIPTION: LOT ?, BLOCK A, PLAN 901 1040

MUNICIPAL ADDRESS: ??? BELMONT ??? SW, CALGARY, AB

ZONING: MEDIUM PROFILE (M-2)

SITE AREA TOTAL: ±1.9661 ha (±4.85 ac)

PROPOSED GFA:
BUILDING 1000 12,396.5 m² (133,434 ft²)
BUILDING 2000 15,526.2 m² (167,122 ft²)
BUILDING 3000 15,474.5 m² (166,566 ft²)
TOTAL GFA 43,397.2 m² (467,123 ft²)

PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)

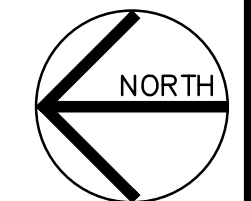
BUILDING/UNITS	1BDR	2BDR	3BDR	TOTAL
BUILDING 1000	11	114	18	143
BUILDING 2000	41	120	30	191
BUILDING 3000	6	143	30	179
TOTAL	58	377	78	513

MAXIMUM DENSITY ALLOWED: NO MAXIMUM

MINIMUM DENSITY ALLOWED: 60 UNITS/ha

DENSITY PROVIDED: 513 UNITS/ 1.9661 ha = 261 UNITS/ha

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



MATERIAL LEGEND

- 1 CONCRETE CURB
- 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
- 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
- 2 CONCRETE SIDEWALK
- 3 HANDICAP RAMP TO CITY STANDARDS
- 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
- 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
- 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
- 7 HEAVY-DUTY ASPHALT PAVING
-MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE
-FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
- 8 ASPHALT PAVING
- 9 PAINTED PEDESTRIAN CROSSING
- 10 CONCRETE APRON
-MIN. OF 25,000 KG WEIGHT CAPACITY
- 11 PARKADE RAMP CONCRETE RETAINING WALL
- 12 LANDSCAPING
- 13 CONCRETE PATIO
- 14 BIKE RACK
- 15 RESERVED
- 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
- 17 RESERVED
- 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
- 19 "HANDICAP PARKING" SIGN
- 20 WHEEL STOPS
- 21 "NO PARKING" SIGN

LEGEND

- HEAVY DUTY ASPHALT
- RIGHT-OF-WAY
- V 'V' INDICATES VISITOR STALLS

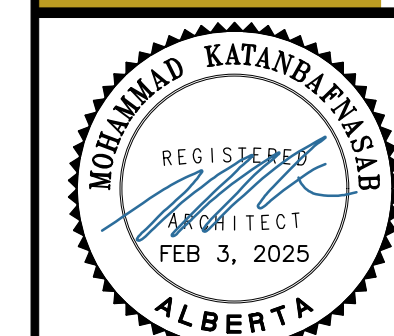
February 3, 2025

ISSUED FOR DEVELOPMENT PERMIT

1 03/02/25 ISSUED FOR DEVELOPMENT PERMIT

NO. 03/02/25 REVISION

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1417 Kensington Road N.W.
Calgary, Alberta T2N 3R1
Ph: (403) 265-3100
info@kn-architecture.com



SCALE: AS NOTED

CITY VIBE DEVELOPMENTS INC.

PROJECT: BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE: START DATE: JANUARY 2024

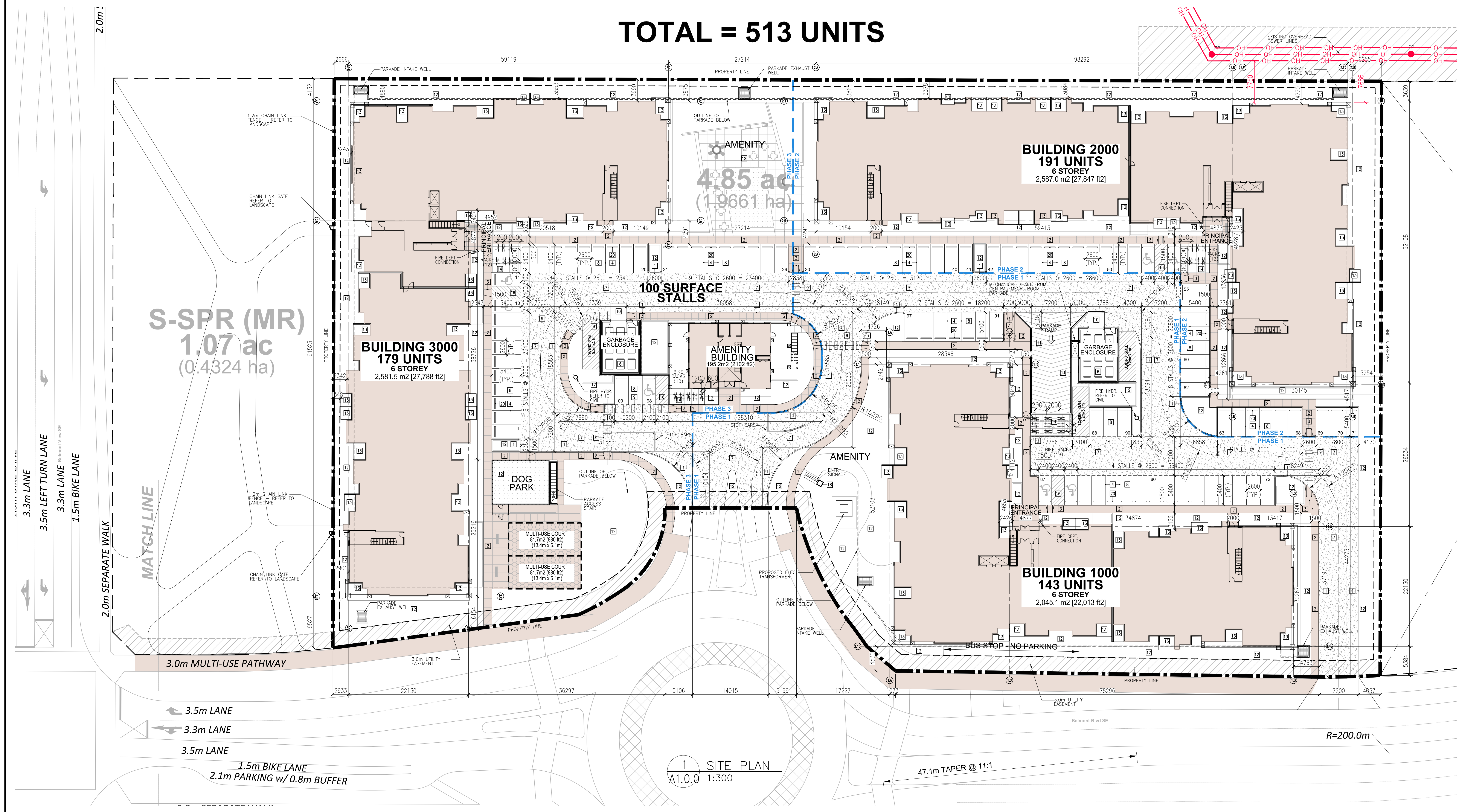
DRAWING: SITE PLAN

DESIGNED: TN/SF CHECKED: TN

DRAWN: RR/RL JOB No. 2402

DWG No. A1.0.0

TOTAL = 513 UNITS



1 SITE PLAN
A1.0.0 1:300

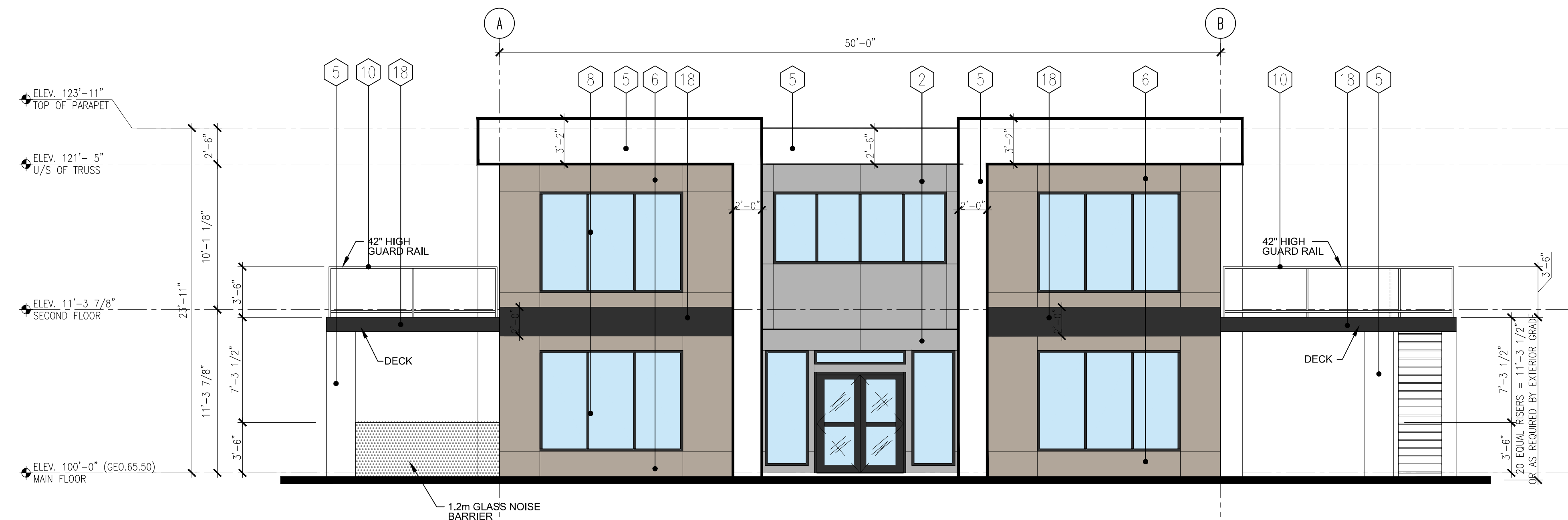
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MATERIAL LEGEND

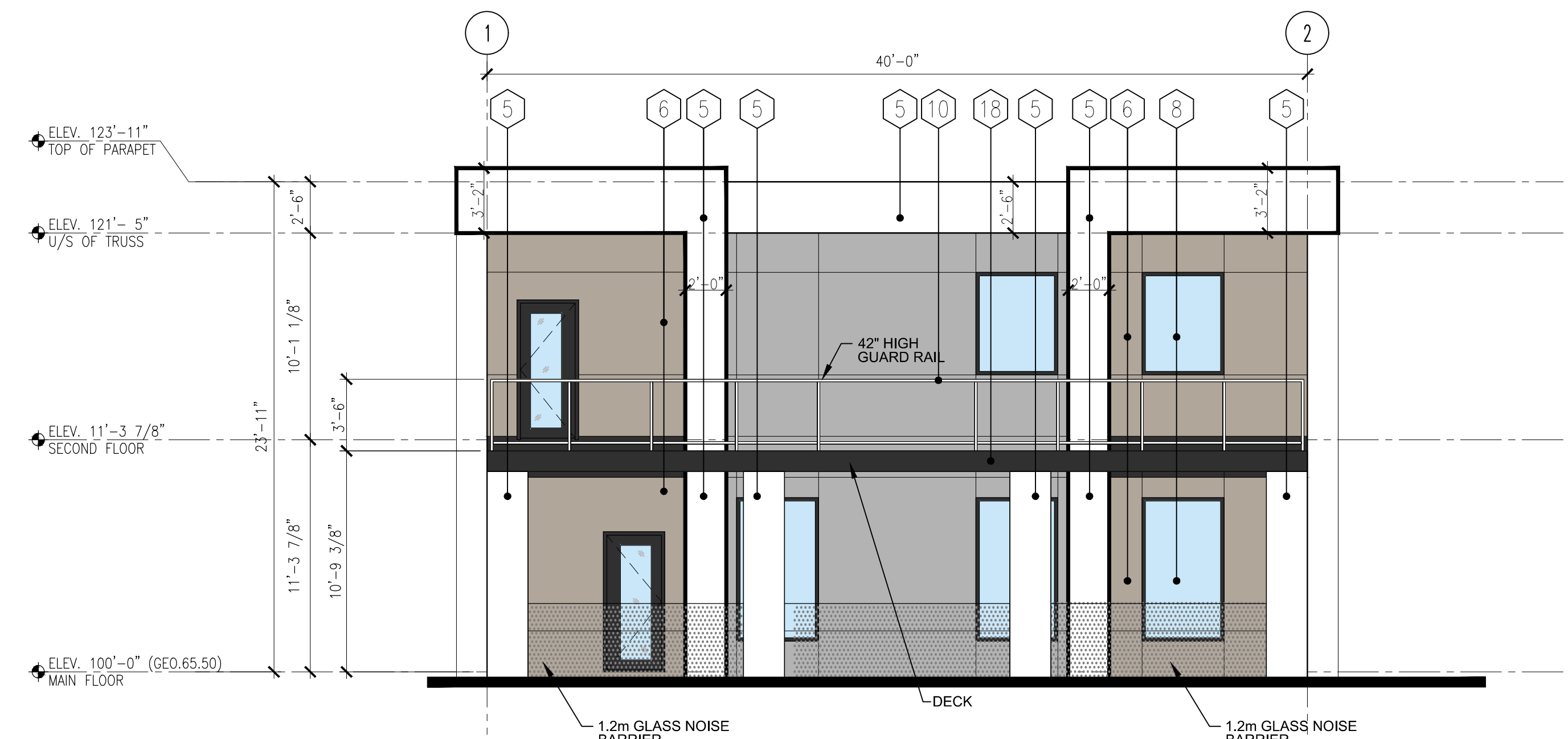
- 1 HARDIE BOARD PANEL (COBBLESTONE)
- 2 HARDIE BOARD PANEL (RICH ESPRESSO)
- 3 FIBER CEMENT SIDING (SEPIA)
- 4 RESERVED
- 5 HARDIE BOARD PANEL (ARCTIC WHITE)
- 6 HARDIE BOARD PANEL (TIMBER BARK)
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 BLACK ALUMINUM GLASS RAILING
- 11 EXTERIOR GLASS DOOR
- 12 GLASS SPANDREL
- 13 RESERVED
- 14 CONCRETE
- 15 RESERVED
- 16 RESERVED
- 17 LIGHT FIXTURE
- 18 HARDIE TRIM (BLACK)
- 19 HARDIE LAP SIDING (TIMBER BARK)
- 20 HARDIE LAP SIDING (COBBLESTONE)

NOTES

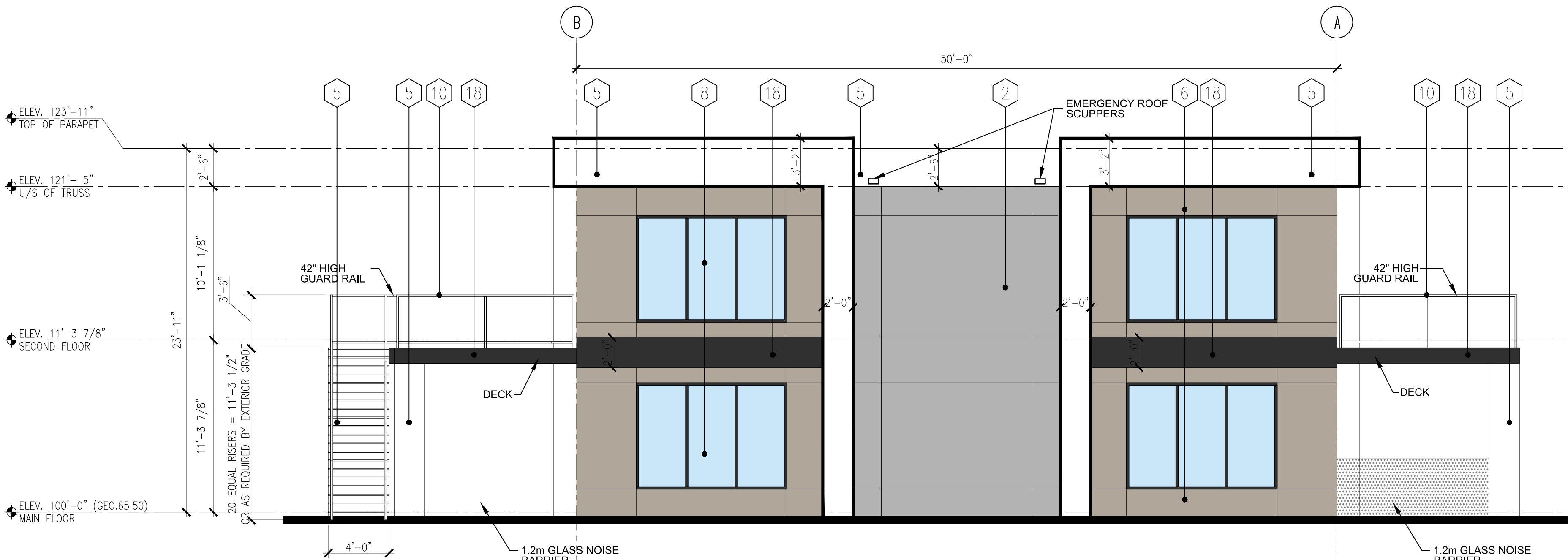
- 1) SOFFIT & DECK FASCIA TO BE BLACK
- 2) TPO ROOF MEMBRANE



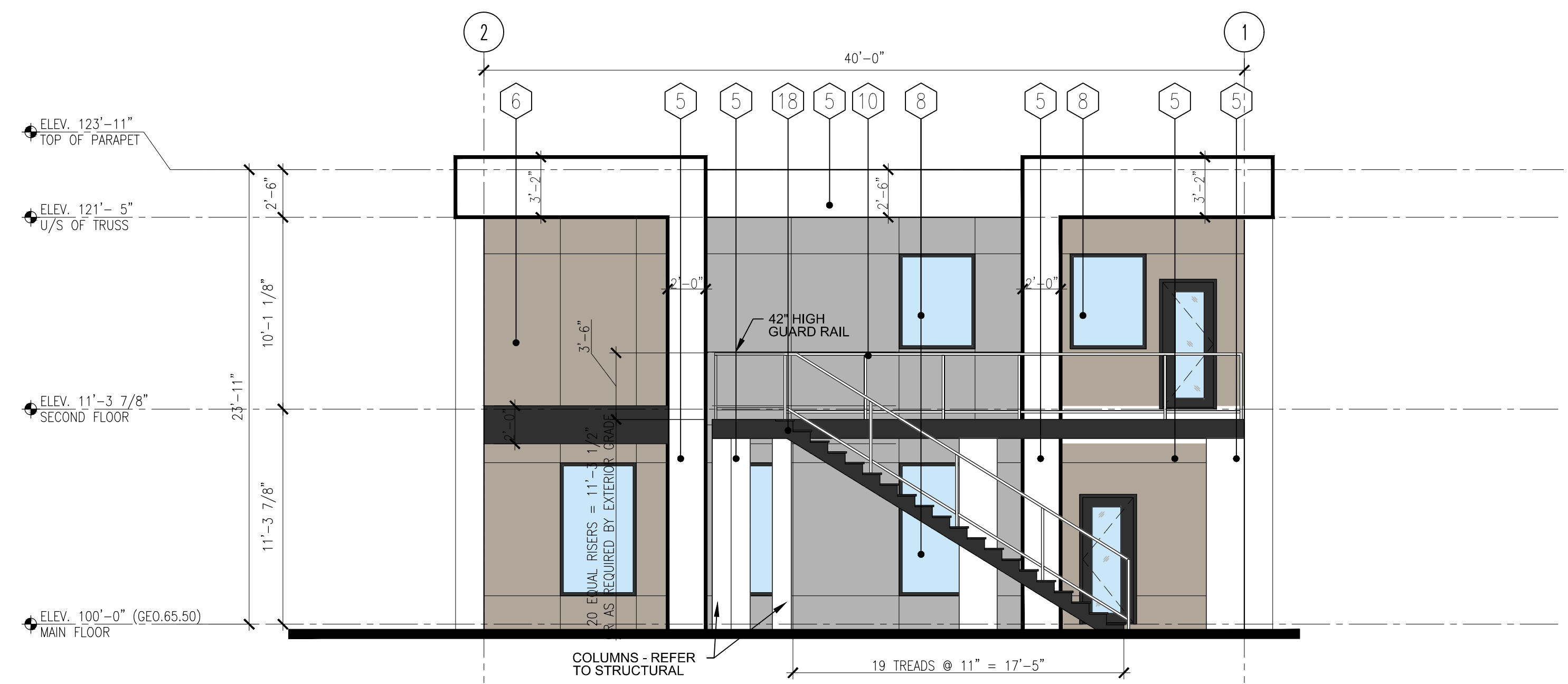
1 AMENITY BUILDING SOUTH-WEST ELEVATION
A1.0.5 3/16" = 1'-0"



2 AMENITY BUILDING NORTH-WEST ELEVATION
A1.0.5 3/16" = 1'-0"



3 AMENITY BUILDING NORTH-EAST ELEVATION
A1.0.5 3/16" = 1'-0"



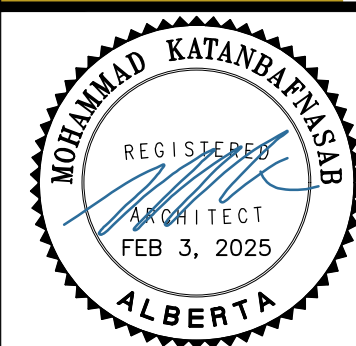
4 AMENITY BUILDING SOUTH-EAST ELEVATION
A1.0.5 3/16" = 1'-0"

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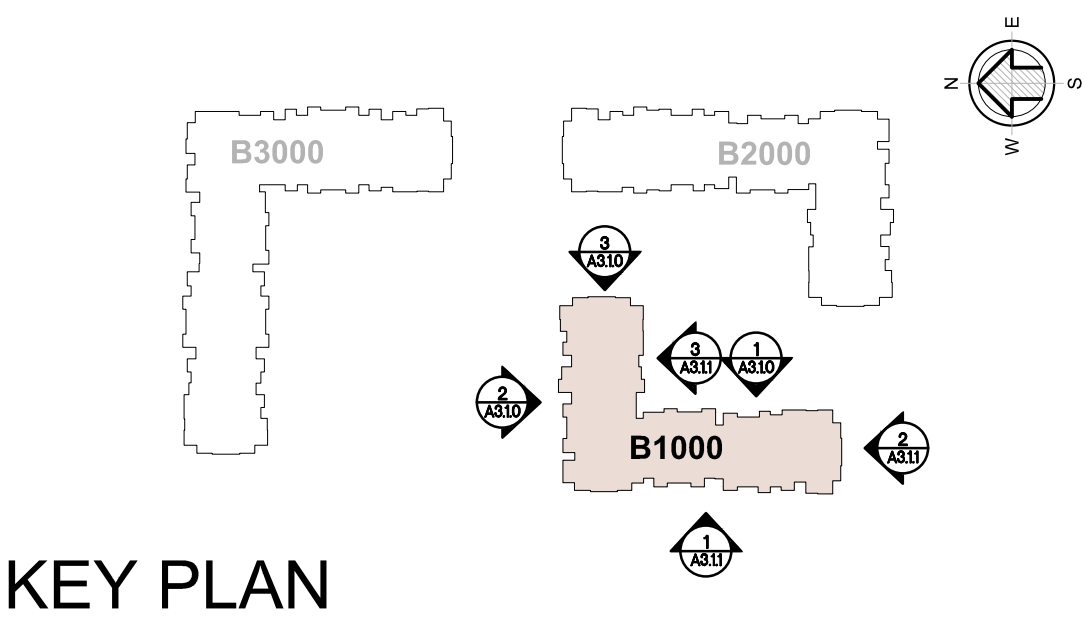
PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING
**AMENITY BUILDING
ELEVATIONS/SECTIONS**

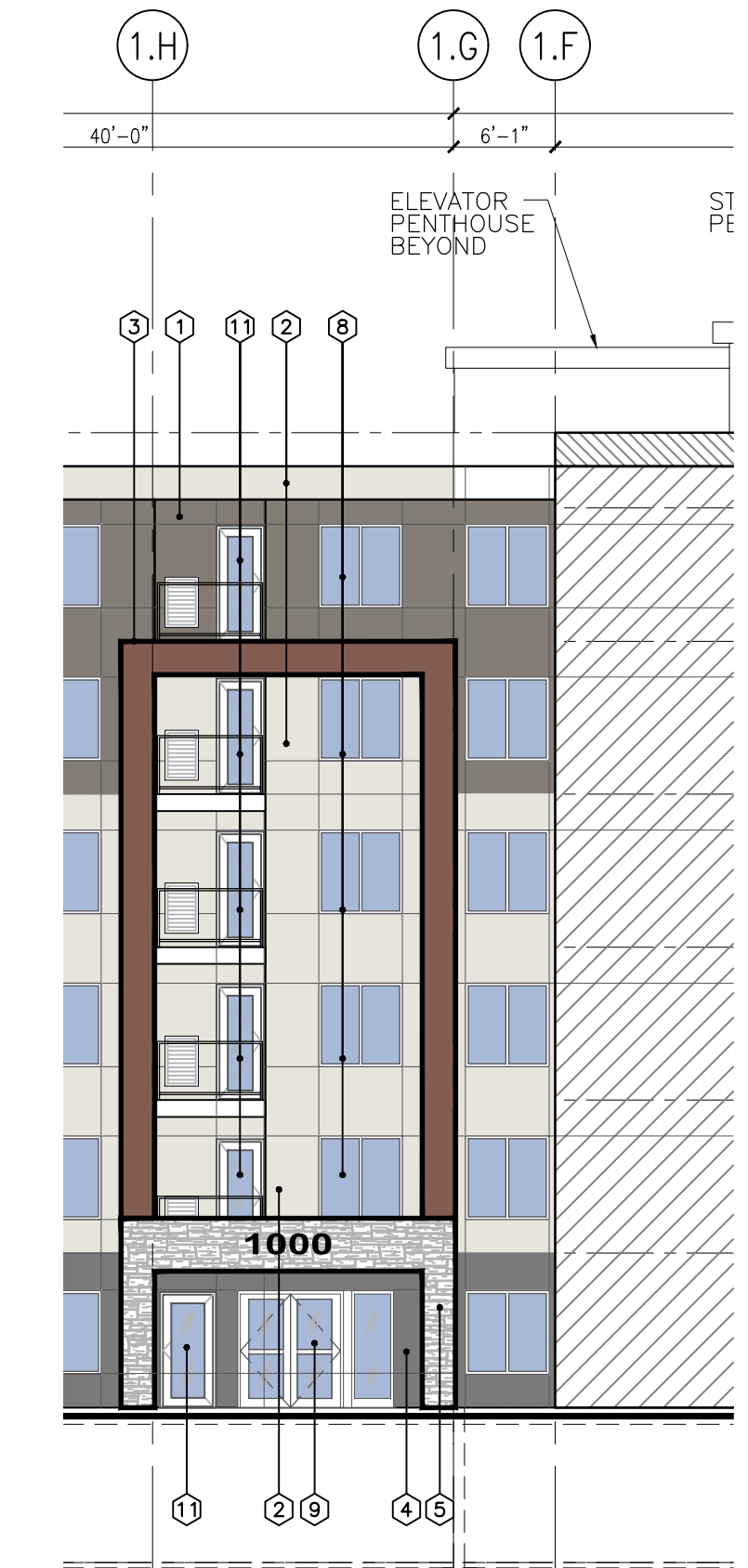
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DRAWN RR/RL JOB No. 2402
DWG No.

A1.0.5

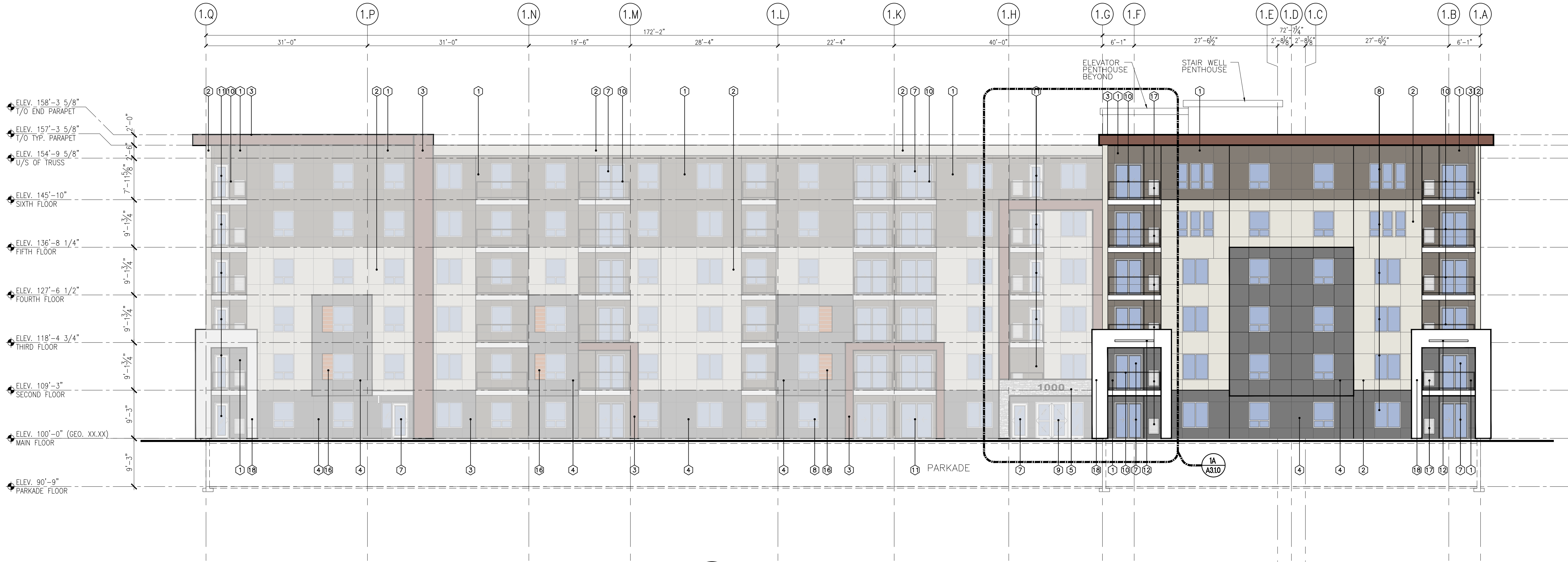


- MATERIAL LEGEND**
- 1 HARDIE BOARD PANEL (TIMBER BARK)
 - 2 HARDIE BOARD PANEL (COBBLESTONE)
 - 3 FIBER CEMENT PANEL (SEPIA)
 - 4 HARDIE BOARD PANEL (RICH ESPRESSO)
 - 5 STONE CLADDING
 - 6 RESERVE
 - 7 GLASS SLIDING DOOR
 - 8 BLACK VINYL WINDOW
 - 9 ALUMINUM STORE FRONT GLAZING
 - 10 ALUMINUM GLASS RAILING (BLACK)
 - 11 EXTERIOR GLASS DOOR (BLACK)
 - 12 DRAINAGE SLOT
 - 13 RESERVE
 - 14 RESERVE
 - 15 RESERVE
 - 16 FIBER CEMENT LAP SIDING (SEPIA)
 - 17 VTAC LOUVER (COLOUR TO MATCH WALL)
 - 18 HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



1A EAST ELEV. (Hidden portion)
A3.1.0 3/32" = 1'-0"



1 EAST ELEVATION
A3.1.0 3/32" = 1'-0"

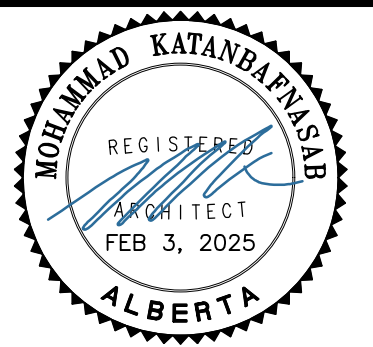


2 NORTH ELEVATION
A3.1.0 3/32" = 1'-0"

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CITY VIBE
DEVELOPMENTS INC.

PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING
**BUILDING 1000
ELEVATIONS**

DESIGNED TN/SF	CHECKED TN
DRAWN RR/RL	JOB No. 2402
DWG No. A3.1.0	

KEY PLAN

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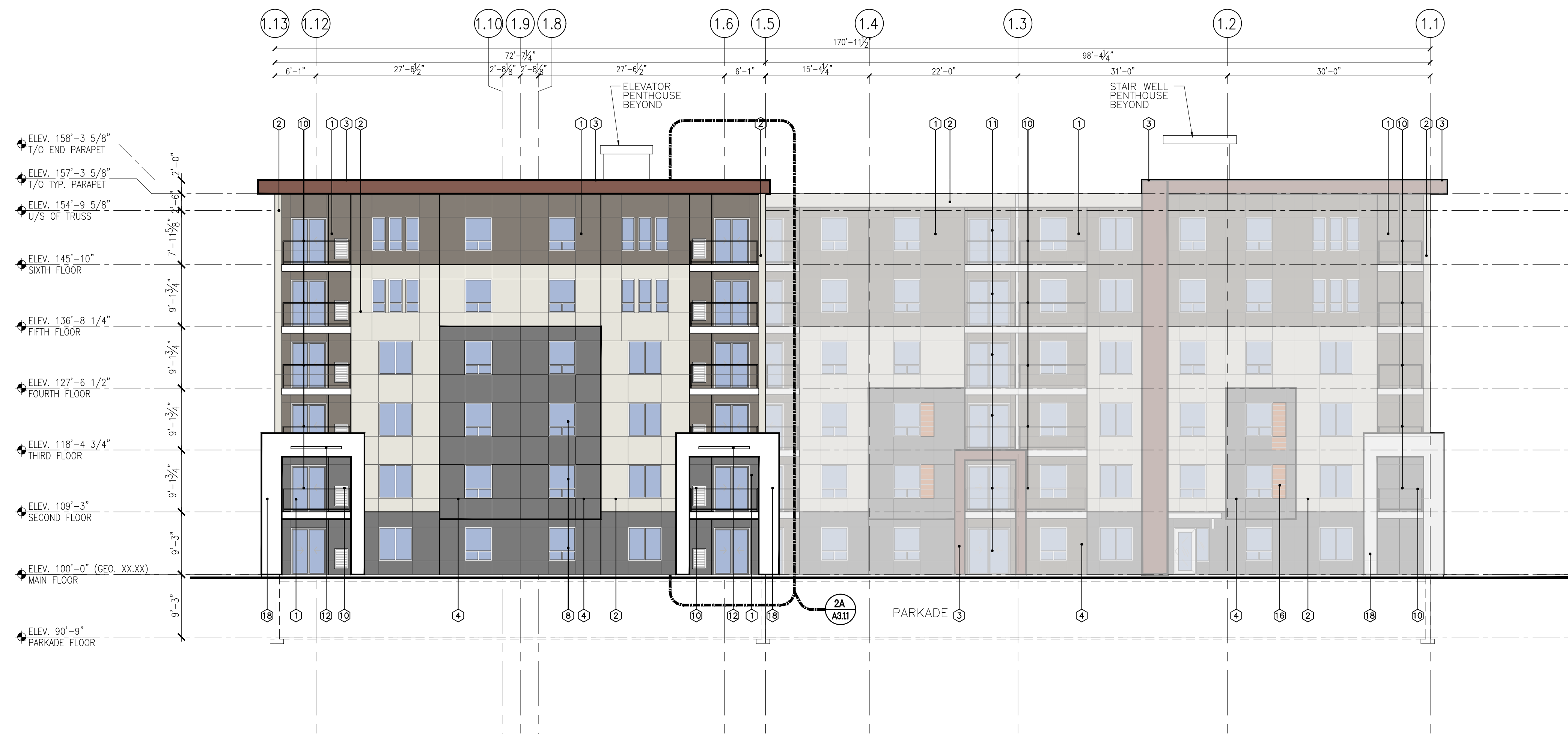
MATERIAL LEGEND

- HARDIE BOARD PANEL (TIMBER BARK)
- HARDIE BOARD PANEL (COBBLESTONE)
- FIBER CEMENT PANEL (SEPIA)
- HARDIE BOARD PANEL (RICH ESPRESSO)
- STONE CLADDING
- RESERVE
- GLASS SLIDING DOOR
- BLACK VINYL WINDOW
- ALUMINUM STORE FRONT GLAZING
- ALUMINUM GLASS RAILING (BLACK)
- EXTERIOR GLASS DOOR (BLACK)
- DRAINAGE SLOT
- RESERVE
- RESERVE
- RESERVE
- FIBER CEMENT LAP SIDING (SEPIA)
- VTAC LOUVER (COLOUR TO MATCH WALL)
- HARDIE BOARD PANEL (ARCTIC WHITE)

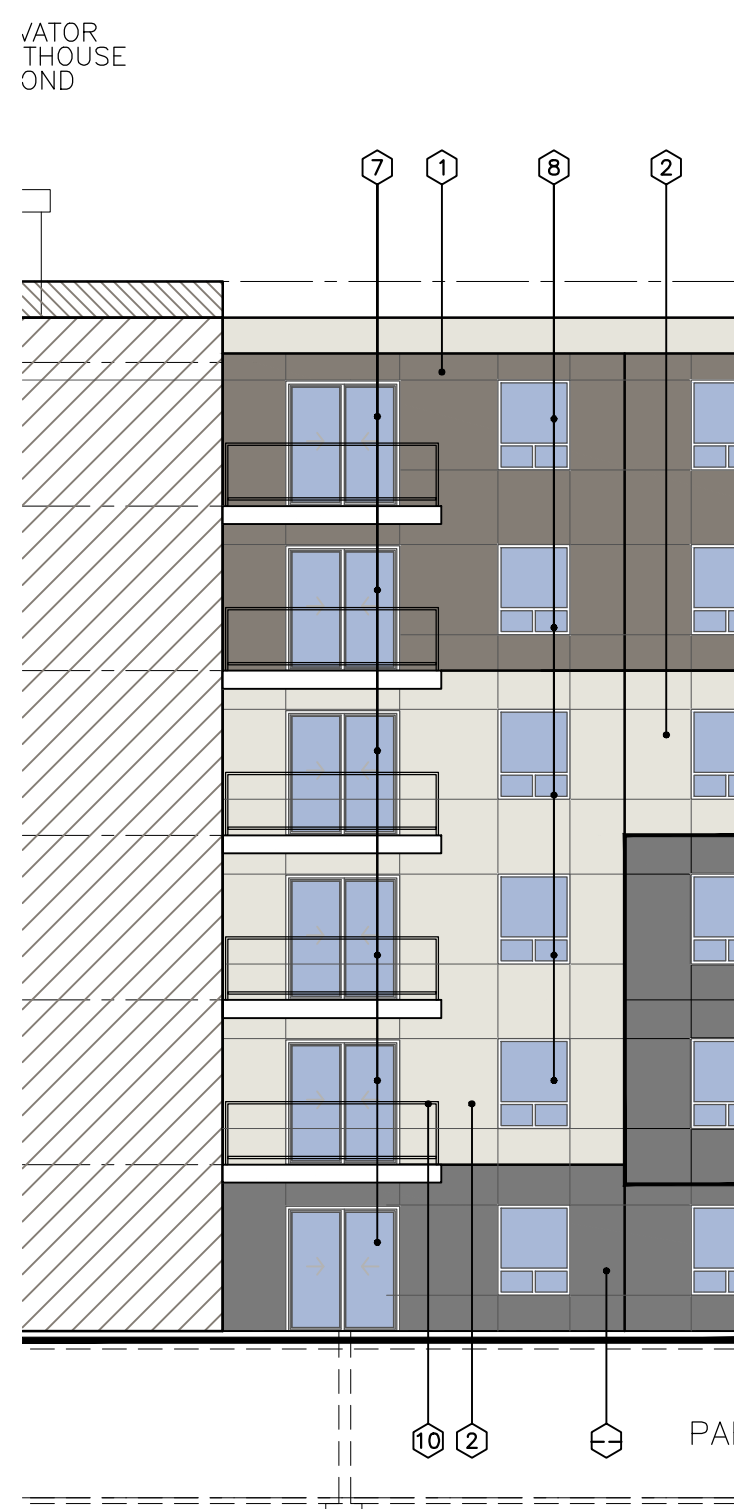
NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



1 WEST ELEVATION
A3.1.1 3/32" = 1'-0"



2 SOUTH ELEVATION
A3.1.1 3/32" = 1'-0"



2A SOUTH ELEV. (Hidden portion)
A3.1.1 3/32" = 1'-0"

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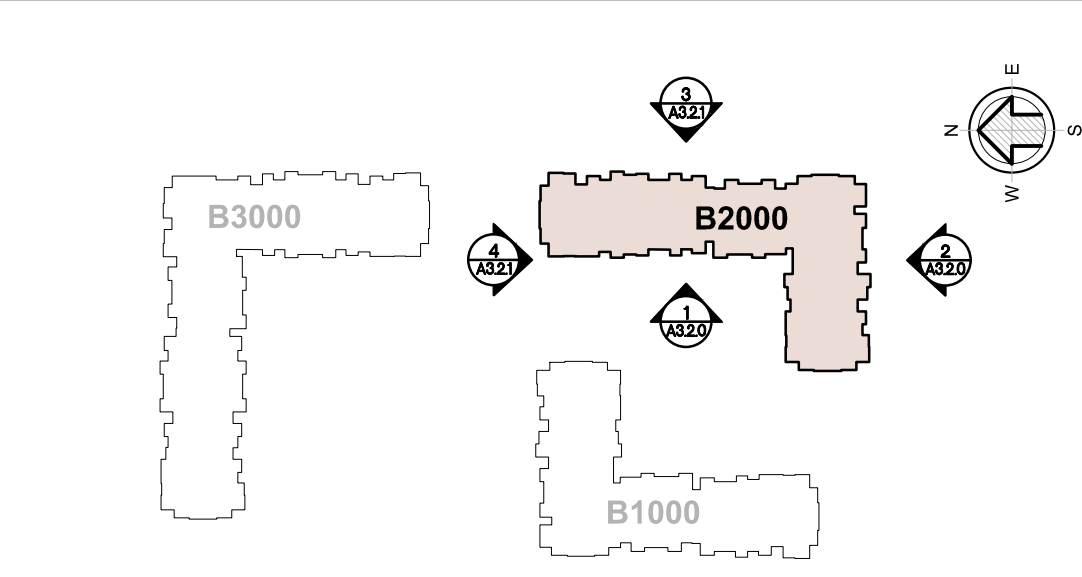
PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING
**BUILDING 1000
ELEVATIONS**

DESIGNED TN/SF CHECKED TN
DRAWN RR/RL JOB No. 2402
DWG No.

A3.1.1



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- MATERIAL LEGEND**
- ① HARDIE BOARD PANEL (TIMBER BARK)
 - ② HARDIE BOARD PANEL (COBBLESTONE)
 - ③ FIBER CEMENT PANEL (SEPIA)
 - ④ HARDIE BOARD PANEL (RICH ESPRESSO)
 - ⑤ STONE CLADDING
 - ⑥ RESERVE
 - ⑦ GLASS SLIDING DOOR
 - ⑧ BLACK VINYL WINDOW
 - ⑨ ALUMINUM STORE FRONT GLAZING
 - ⑩ ALUMINUM GLASS RAILING (BLACK)
 - ⑪ EXTERIOR GLASS DOOR (BLACK)
 - ⑫ DRAINAGE SLOT
 - ⑬ RESERVE
 - ⑭ RESERVE
 - ⑮ RESERVE
 - ⑯ FIBER CEMENT LAP SIDING (SEPIA)
 - ⑰ VTAC LOUVER (COLOUR TO MATCH WALL)
 - ⑱ HARDIE BOARD PANEL (ARCTIC WHITE)

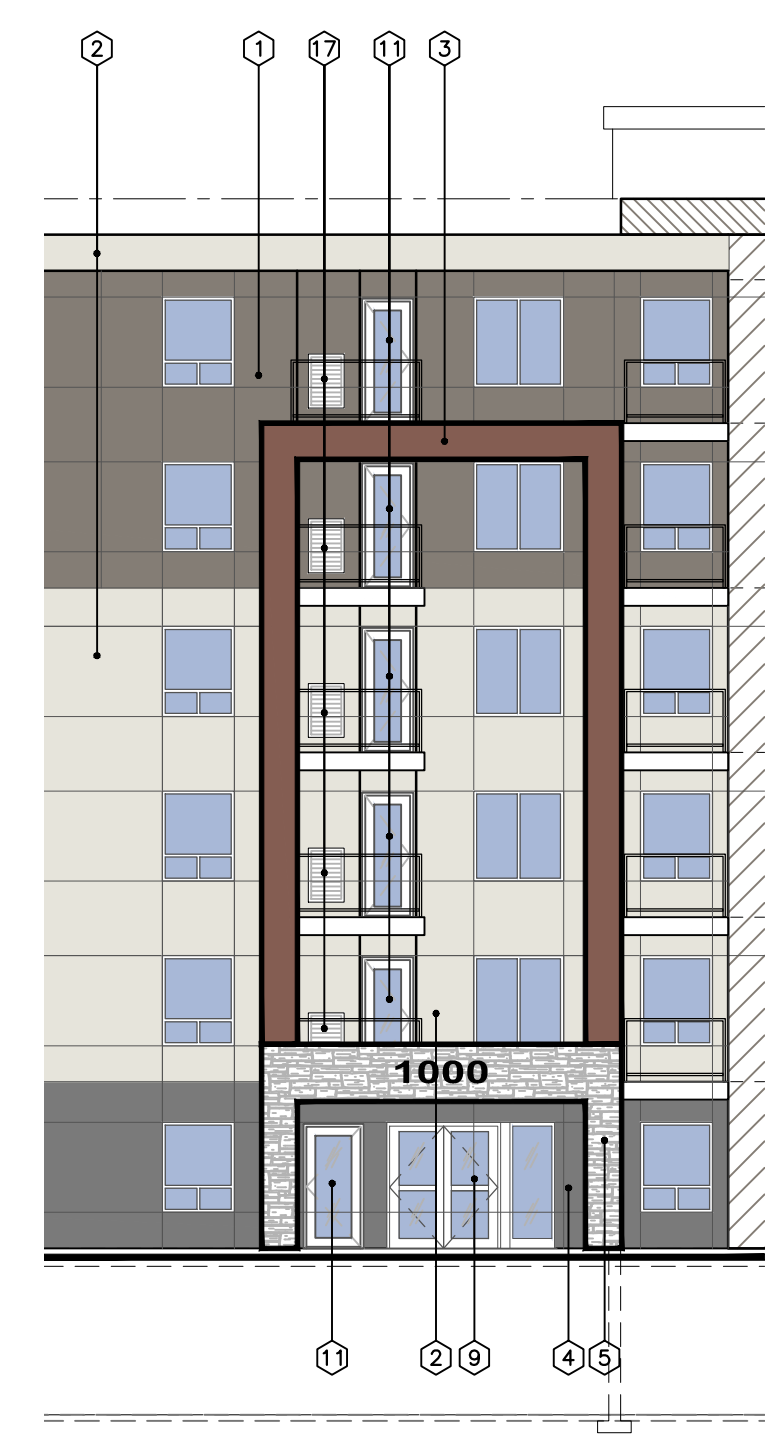
NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



1 WEST ELEVATION
A3.2.0 3/32" = 1'-0"



2 SOUTH ELEVATION
A3.2.0 3/32" = 1'-0"



1A WEST ELEV. (Hidden portion)
A3.2.0 3/32" = 1'-0"

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1	03/02/25	ISSUED FOR DEVELOPMENT PERMIT
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PROJECT

BELMONT APARTMENTS

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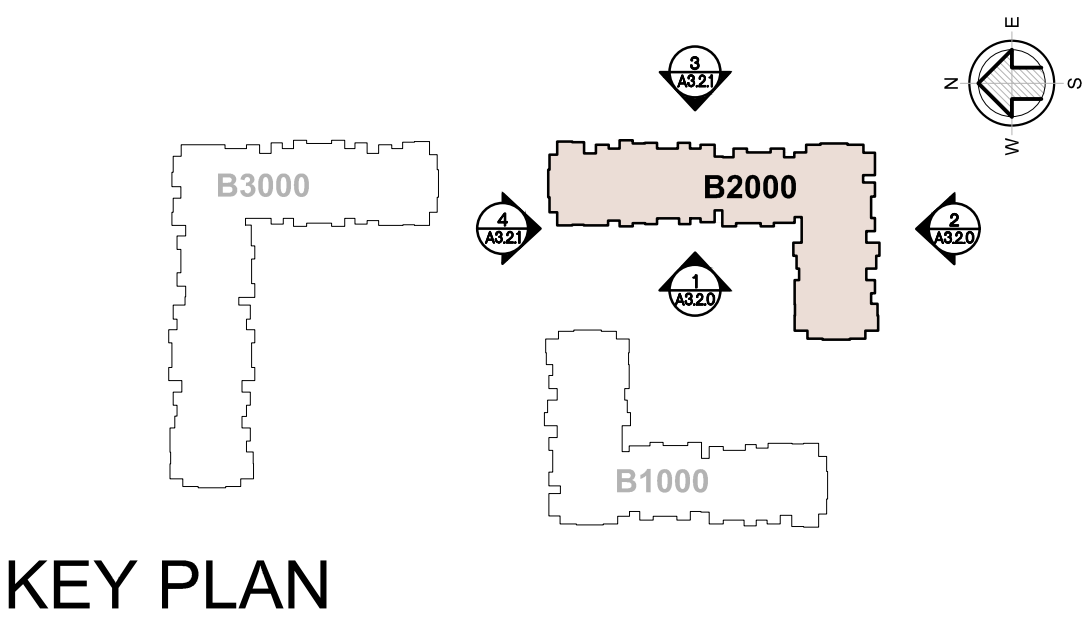
TRADE START DATE JANUARY 2024

DRAWING

BUILDING 2000 ELEVATIONS

DESIGNED	TN/SF	CHECKED	TN
DRAWN	RR/RL	JOB No.	2402
		DWG No.	

A3.2.0



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MATERIAL LEGEND

- ① HARDIE BOARD PANEL (TIMBER BARK)
- ② HARDIE BOARD PANEL (COBBLESTONE)
- ③ FIBER CEMENT PANEL (SEPIA)
- ④ HARDIE BOARD PANEL (RICH ESPRESSO)
- ⑤ STONE CLADDING
- ⑥ RESERVE
- ⑦ GLASS SLIDING DOOR
- ⑧ BLACK VINYL WINDOW
- ⑨ ALUMINUM STORE FRONT GLAZING
- ⑩ ALUMINUM GLASS RAILING (BLACK)
- ⑪ EXTERIOR GLASS DOOR (BLACK)
- ⑫ DRAINAGE SLOT
- ⑬ RESERVE
- ⑭ RESERVE
- ⑮ RESERVE
- ⑯ FIBER CEMENT LAP SIDING (SEPIA)
- ⑰ VTAC LOUVER (COLOUR TO MATCH WALL)
- ⑱ HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



3 EAST ELEVATION
A3.2.1 3/32" = 1'-0"



4 NORTH ELEVATION
A3.2.1 3/32" = 1'-0"



4A NORTH ELEV. (Hidden portion)
A3.2.1 3/32" = 1'-0"

February 3, 2025

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1 03/02/25 ISSUED FOR DEVELOPMENT PERMIT

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SCALE AS NOTED

CITY VIBE
DEVELOPMENTS INC.

PROJECT
BELMONT APARTMENTS
250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING
**BUILDING 2000
ELEVATIONS**

DESIGNED TN/SF CHECKED TN
DRAWN RR/RL JOB No. 2402
DWG No.

A3.2.1

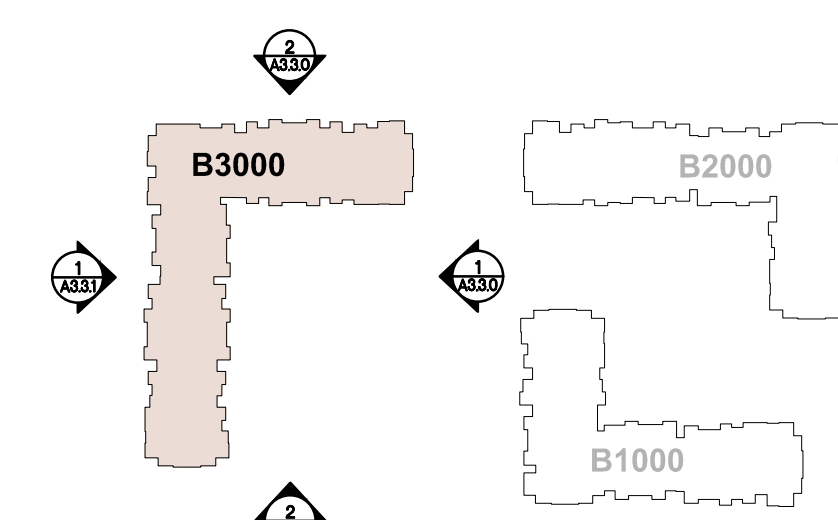
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MATERIAL LEGEND

- HARDIE BOARD PANEL (TIMBER BARK)
- HARDIE BOARD PANEL (COBBLESTONE)
- FIBER CEMENT PANEL (SEPIA)
- HARDIE BOARD PANEL (RICH ESPRESSO)
- STONE CLADDING
- RESERVE
- GLASS SLIDING DOOR
- BLACK VINYL WINDOW
- ALUMINUM STORE FRONT GLAZING
- ALUMINUM GLASS RAILING (BLACK)
- EXTERIOR GLASS DOOR (BLACK)
- DRAINAGE SLOT
- RESERVE
- RESERVE
- RESERVE
- FIBER CEMENT LAP SIDING (SEPIA)
- VTAC LOUVER (COLOUR TO MATCH WALL)
- HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)

KEY PLAN



1 SOUTH ELEVATION
A3.3.0 3/32" = 1'-0"



2 EAST ELEVATION
A3.3.0 3/32" = 1'-0"



1A SOUTH ELEV. (Hidden portion)
A3.3.0 3/32" = 1'-0"

February 3, 2025

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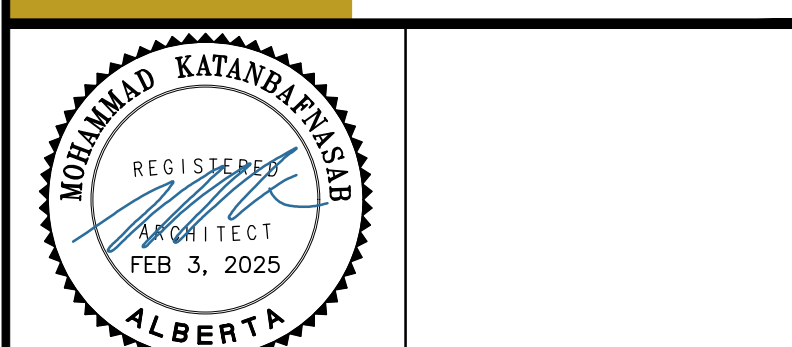
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SCALE AS NOTED



PROJECT

BELMONT APARTMENTS

250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING

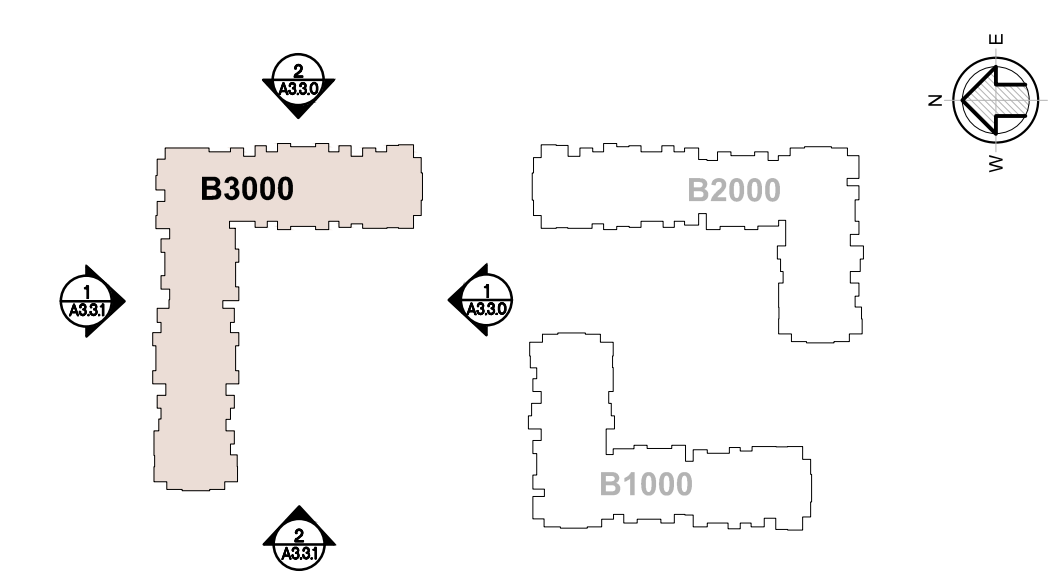
**BUILDING 3000
ELEVATIONS**

DESIGNED TN/SF CHECKED TN

DRAWN RR/RL JOB No. 2402

DWG. No.

A3.3.0



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- MATERIAL LEGEND**
- 1 HARDIE BOARD PANEL (TIMBER BARK)
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 - 4 HARDIE BOARD PANEL (RICH ESPRESSO)
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 - 6 RESERVE
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 - 9 ALUMINUM STORE FRONT GLAZING
 - 10 ALUMINUM GLASS RAILING (BLACK)
 - 11 EXTERIOR GLASS DOOR (BLACK)
 - 12 DRAINAGE SLOT
 - 13 RESERVE
 - 14 RESERVE
 - 15 RESERVE
 - 16 FIBER CEMENT LAP SIDING (SEPIA)
 - 17 VTAC LOUVER (COLOUR TO MATCH WALL)
 - 18 HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:
1) SOFFIT & DECK FASCIA (T.B.D.)
2) ROOF MEMBRANE (T.B.D.)



1 NORTH ELEVATION
A3.3.1 3/32" = 1'-0"



2 WEST ELEVATION
A3.3.1 3/32" = 1'-0"



2A WEST ELEV. (Hidden portion)
A3.3.1 3/32" = 1'-0"

February 3, 2025
ISSUED FOR DEVELOPMENT PERMIT

1	03/02/25	ISSUED FOR DEVELOPMENT PERMIT
NO.	DD/MM/YY	REVISION

1417 Kensington Road N.W.
Calgary, Alberta T2N 3R1
Ph: (403) 265-3100
info@kn-architecture.com

SCALE AS NOTED

PROJECT

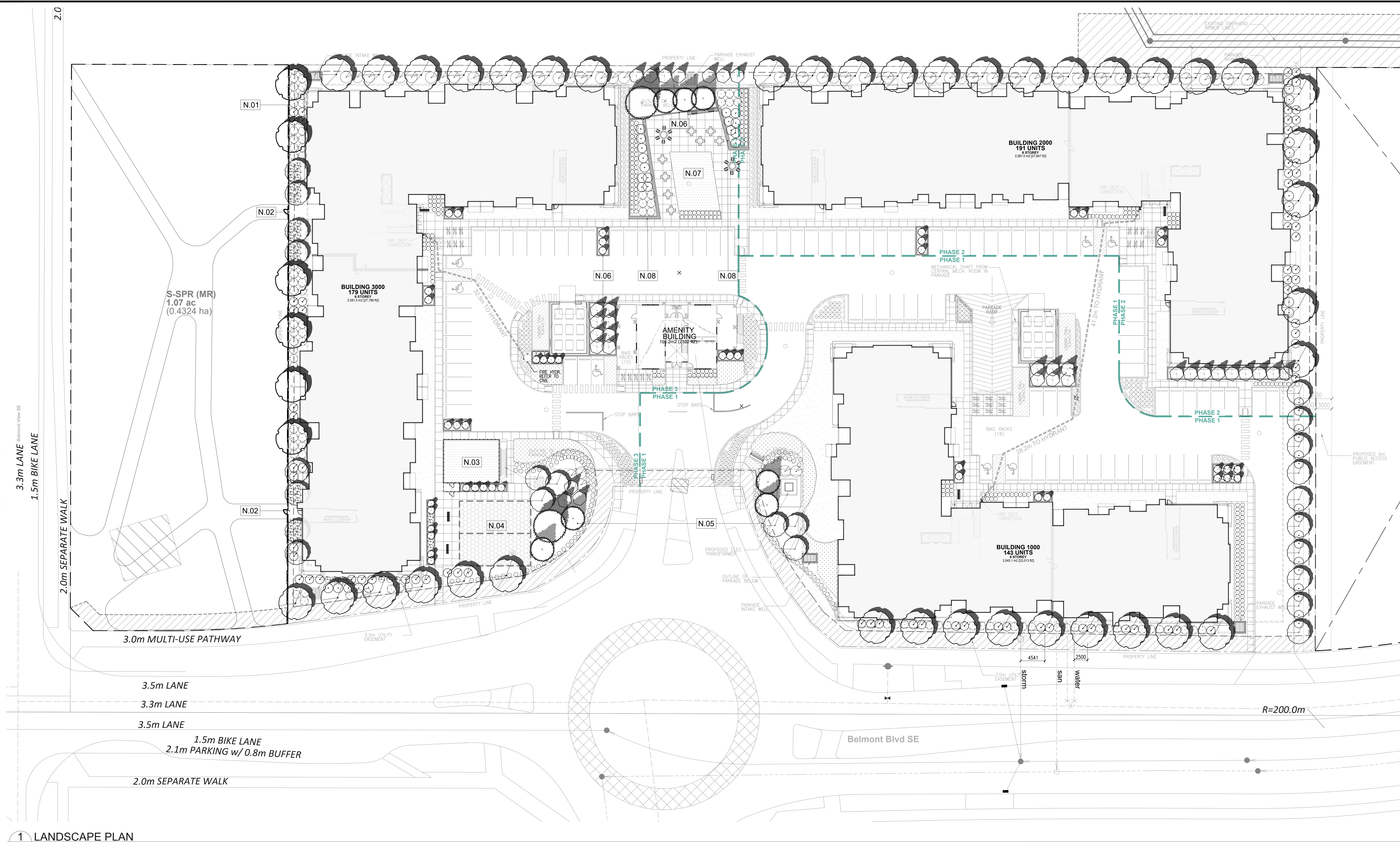
BELMONT APARTMENTS

250 210 AVE SW
Calgary, Alberta
Block A, Plan 901 1040

TRADE	START DATE
	JANUARY 2024

DRAWING	
DESIGNED	TN/SF
CHECKED	TN
DRAWN	RR/RL
JOB No.	2402
DWG No.	

A3.3.1



1 LANDSCAPE PLAN
L100 / SCALE 1:300

LEGAL DESCRIPTION	MUNICIPAL ADDRESS
LOT 7, BLOCK A, PLAN 901 1040	??? BELMONT ??? SW, CALGARY, AB
ZONING: M-2	

PROJECT DATA/SITE DATA		
SITE AREA:	19,661 m ²	TOTAL TREES REQ 188
PARKING AREA:	— m ²	DECIDUOUS TOTAL 136
BUILDING AREA:	43,397.2 m ²	DEC @ 75mm CAL 63
LANDSCAPE AREA REQUIRED:	7,864.4 m ² (40%)	DEC @ 50mm CAL 63
LANDSCAPE AREA PROVIDED:	7,586 m ² (38%)	COR TOTAL 42
		COR @ 3.0m HT 21
		COR @ 2.5m HT 21
LOW WATER OPTION 556 INCORPORATED		TOTAL SHRUBS REQ 336
30% MAX SOD AREA		
TOTAL SOD AREA PROVIDED = 2,118.00m ²		

SURFACE LEGEND		
STANDARD GREY CONCRETE - BROOM FINISH W/ SAW CUT JOINTS	40-60mm DECORATIVE RIVER ROCK	
BARK MULCH AREA	LOW WATER SOD OVER 300mm DEPTH TOPSOIL	
ARTIFICIAL TURF	PERENNIALS (DAYLILIES) OVER 300mm DEPTH TOPSOIL	

- GENERAL NOTES**
- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS
 - ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION
 - ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES
 - ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK
 - ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS
 - ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH
 - TREE AND SHRUB BEDS TO BE EQUIPPED WITH A LOW-WATER HIGH EFFICIENCY IRRIGATION SYSTEM
 - IRRIGATION TO BE CONFINED TO TREE AND SHRUB AREAS

LABELS		
N.01 1.2 BLACK CHAIN LINK FENCE	N.05 ENHANCE LANDSCAPE AT ENTRY	
N.02 ACCESS TO MUNICIPAL RESERVE	N.06 TYPICAL RAISED CONCRETE PLANTERS - 1.2M SOIL DEPTH	
N.03 DOG AMENITY W/ 1.2M BLACK CHAIN LINK FENCE	N.07 AMENITY W/ BBQ, TABLES, FIRE PIT, SYNTHETIC TURF BOCCIE BALL AREA, AND FLEXIBLE GATHERING SPACE	
N.04 MULTI-USE SPORT COURT	N.08 600MM DEPTH SHRUB PLANTER W/ SEATING LEDGE	

TREE LEGEND	SHRUB, PERENNIAL + TALL GRASS LEGEND
AMUR MAPLE - 75mm CAL	URAL FALSE SPIREA
GREEN ASH - 75mm CAL	ARCADIA JUNIPER
PINCHERRY - 50mm CAL	DWARF KOREAN LILAC
BLUE SPRUCE - 2.5m ht	DWARF MUGO PINE
BLUE SPRUCE - 3.0m ht	GOOSEBERRY
BLUE SPRUCE - 3.0m ht	KARL FOERSTER GRASS
COLUMNAR ASPEN - 75mm CAL	BLUE LYME GRASS
	DAYLILIES

PLANT LIST: DECIDUOUS TREES			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Acer ginnala	AMUR MAPLE	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	13
Fraxinus pennsylvanica 'Patmore'	PATMORE GREEN ASH	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	38
Malus 'spring snow'	SPRING SNOW CRAB	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	26
Populus tremuloides 'Erecta'	SWEDISH COLUMNAR ASPEN	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	46

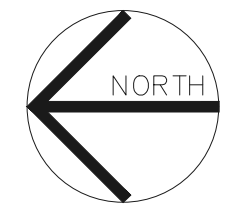
PLANT LIST : CONIFEROUS TREES			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Picea pungens	COLORADO BLUE SPRUCE	3.0m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	02
Picea pungens	COLORADO BLUE SPRUCE	2.5m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	11
Picea pungens 'Fastigiata'	COLUMNAR BLUE SPRUCE	3.0m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	33

- SOIL DEPTH NOTES**
- TREES PLANTED OVER PARKADE TO HAVE MIN 1.2M SOIL DEPTH
 - SHRUBS PLANTED OVER PARKADE TO HAVE A MIN 600mm SOIL DEPTH
 - ORNAMENTAL GRASSES, PERENNIALS AND SOD PLANTED OVER PARKADE TO HAVE MIN 300mm SOIL DEPTH

PLANT LIST : SHRUBS			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Juniperus horizontalis 'Blue Chip'	BLUE CHIP JUNIPER	#5 CONT. MIN 600mm SPR MIN. 4 MAJOR BASAL STEMS,	44
Pinus mugo var. pumilio	DWARF MUGO PINE	#5 CONT. MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	33
Syringa meyeri 'Palibin'	DWARF KOREAN LILAC	#3 CONT. MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	100
Sorbaria sorbifolia 'Sem'	URAL FALSE SPIREA	#5 CONT. MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	70
Ribes hirtellum	GOOSEBERRY	#3 CONT. MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	88

PLANT LIST : GRASSES & PERENNIALS			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	#3 POT	356
Leymus arenarius	BLUE LYME GRASS	#3 POT	228
Hemerocallis 'Autumn Red'	AUTUMN RED DAYLILY	#3 POT	250

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



[SMM]

SCATLUFF+MILLER+MURRAY INC.
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1	28/01/25	ISSUED FOR DEVELOPMENT PERMIT
NO	DO/NA/YY	REVISION

KN ARCHITECTURE

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SCALE AS NOTED

CARLISLE GROUP
eye on quality ... focus on value

BELMONT APARTMENTS

???? Belmont ??? SW
Calgary, Alberta
Lot ??, Block A, Plan 901 1040

TRADE	START DATE	JANUARY 2024
DRAWING		

LANDSCAPE PLAN

DESIGNED	TN/SKM	CHECKED	TN
DRAWN	SKM	JOB No.	2402
		DWG No.	L100