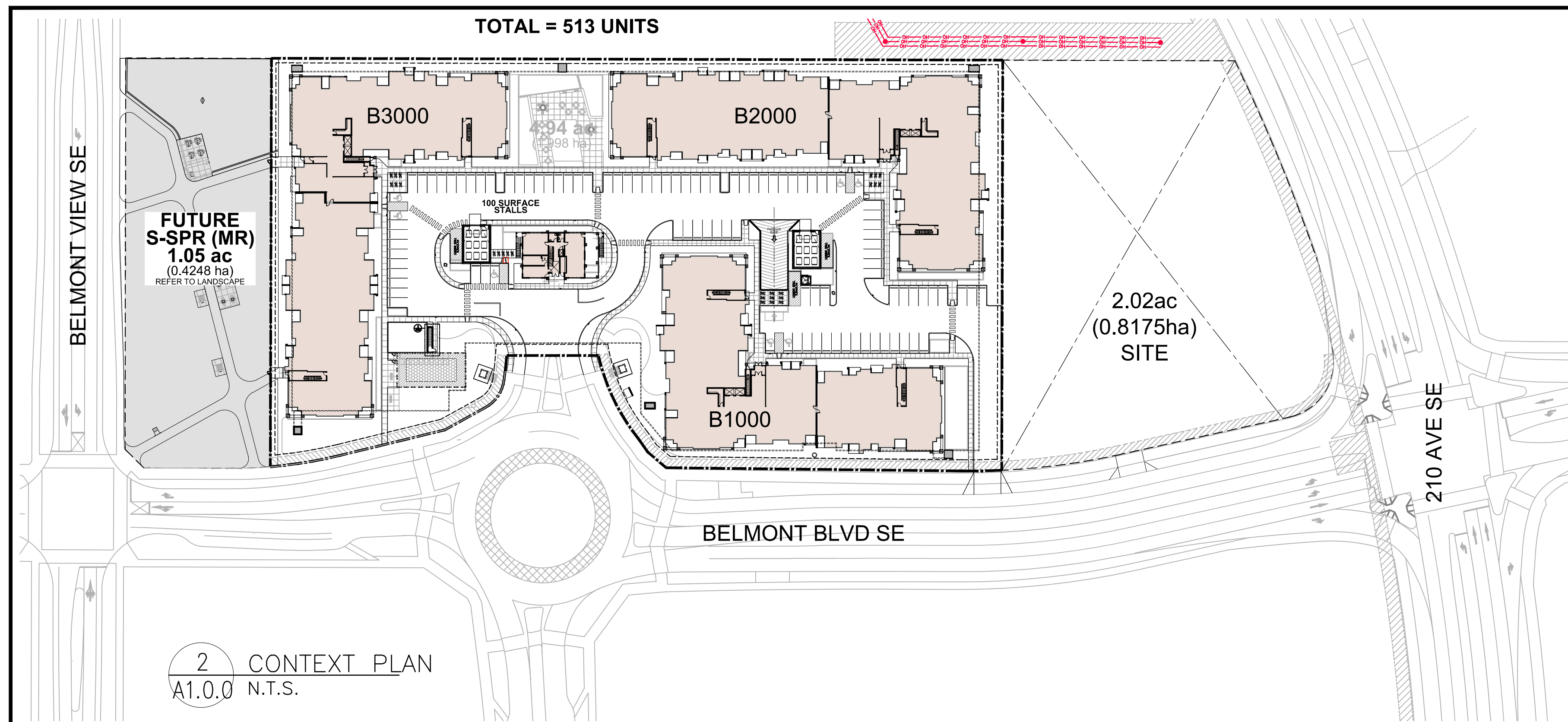




## NOTES

1. THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY TROVENS GEOMATICS INC. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
2. UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
3. TEST MANHOLE LOCATION TO BE DETERMINED.
4. ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
5. REFER TO SURVEY DRAWING FOR EXISTING GRADES.
6. REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.

FLOOR AREA RATIO ALLOWED: FAR 3.0

FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:  
BUILDING 1000 (MF 2,079.4 m<sup>2</sup> + UF 2,074.2 m<sup>2</sup> x5) 12,450.4 m<sup>2</sup> (134,017 H2)  
BUILDING 2000 (MF 2,603.8 m<sup>2</sup> + UF 2,598.6 m<sup>2</sup> x5) 15,596.8 m<sup>2</sup> (167,882 H2)  
BUILDING 3000 (MF 2,569.3 m<sup>2</sup> + UF 2,564.2 m<sup>2</sup> x5) 15,390.3 m<sup>2</sup> (165,660 H2)  
TOTAL FLOOR AREA: 43,437.5 m<sup>2</sup> (467,559 H2)

43,437.5 m<sup>2</sup> / 19,975.2 m<sup>2</sup> = 2.18 FAR

LANDSCAPE AREAS: REFER TO LANDSCAPE DRAWINGS PREPARED BY SCATLUFF MILLER MURRAY

BUILDING HEIGHT ALLOWED: 16m

BUILDING HEIGHT PROVIDED: ±18m

## PARKING CALCULATIONS

PARKING STALLS REQUIRED (AS PER LUB 1P2007, PART 6, DIVISION 1, 558 (1) (a) ):  
DWELLING UNITS : 0.625 (STALLS/UNIT) 513 x 0.625 = 321 STALLS  
TOTAL STALLS REQUIRED 321 STALLS

PARKING STALLS PROVIDED:  
SURFACE STALLS (INCL. 7 H/C STALLS) 100 STALLS  
PARKADE (EXCL. 10 TANDER STALLS) 548 STALLS  
TOTAL STALLS PROVIDED 648 STALLS

BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (559) ):  
CLASS 1: 513 x 1.0 (STALLS/UNIT) 513 STALLS  
CLASS 2: 513 x 0.1 (STALLS/UNIT) 52 STALLS  
TOTAL NUMBER OF STALLS 565 STALLS

BICYCLE PARKING PROVIDED:  
CLASS 1: (280 HORIZONTAL + 234 VERTICAL RACKS) 514 STALLS  
CLASS 2: 52 STALLS  
TOTAL NUMBER OF STALLS 566 STALLS

PARKING RATIO: 1.26 STALLS/UNIT

## PROJECT INFORMATION

LEGAL DESCRIPTION: BLOCK A, PLAN 901 1040  
MUNICIPAL ADDRESS: 250 - 210 AVENUE SW, CALGARY, AB  
ZONING: MEDIUM PROFILE (M-2)  
SITE AREA TOTAL: 19,975.2 m<sup>2</sup> / 1.998 ha / 4.94 ac  
PROPOSED GFA: BUILDING 1000 12,450.4 m<sup>2</sup> (134,017 H2)  
BUILDING 2000 15,596.8 m<sup>2</sup> (167,882 H2)  
BUILDING 3000 15,390.3 m<sup>2</sup> (165,660 H2)  
TOTAL GFA 43,437.5 m<sup>2</sup> (467,559 H2)  
PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)

| BUILDING/UNITS | 1BDR | 2BDR | 3BDR | TOTAL |
|----------------|------|------|------|-------|
| BUILDING 1000  | 11   | 115  | 17   | 143   |
| BUILDING 2000  | 41   | 121  | 29   | 191   |
| BUILDING 3000  | 18   | 132  | 29   | 179   |
| TOTAL          | 70   | 368  | 75   | 513   |

MAXIMUM DENSITY ALLOWED: NO MAXIMUM

MINIMUM DENSITY ALLOWED: 60 UNITS/ha

DENSITY PROVIDED: 513 UNITS / 1.998 ha = 257 UNITS/ha

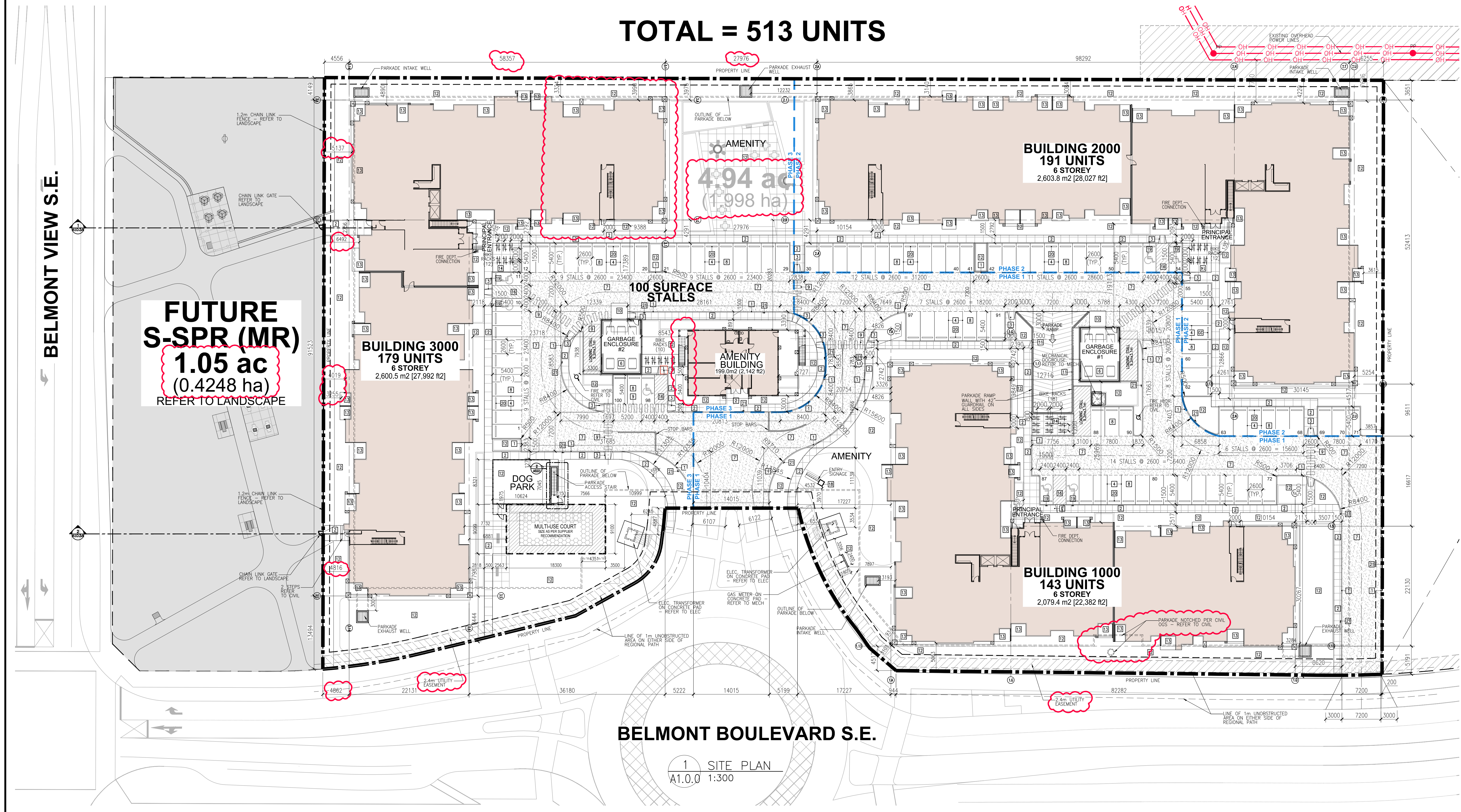
## MATERIAL LEGEND

- 1 CONCRETE CURB
- 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
- 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
- 2 CONCRETE SIDEWALK
- 3 HANDICAP RAMP TO CITY STANDARDS
- 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
- 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
- 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
- 7 HEAVY-DUTY ASPHALT PAVING - MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE - FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
- 8 ASPHALT PAVING
- 9 PAINTED PEDESTRIAN CROSSING
- 10 CONCRETE ASPHON - MIN. OF 25,000 KG WEIGHT CAPACITY
- 11 PARKADE RAMP CONCRETE RETAINING WALL
- 12 LANDSCAPING
- 13 CONCRETE PATIO
- 14 BIKE RACK
- 15 RESERVED
- 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
- 17 RESERVED
- 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
- 19 "HANDICAP PARKING" SIGN
- 20 WHEEL STOPS
- 21 "NO PARKING" SIGN

## LEGEND

- HEAVY DUTY ASPHALT
- RIGHT-OF-WAY
- V 'V' INDICATES VISITOR STALLS

**TOTAL = 513 UNITS**



January 27, 2026

ISSUED FOR DTR2

|    |          |                                                  |
|----|----------|--------------------------------------------------|
| 7  | 27/01/26 | ISSUED FOR DTR2                                  |
| 6  | 26/01/26 | ISSUED FOR SITE INSTRUCTION #01                  |
| 5  | 27/10/25 | ISSUED FOR B.P. / CONSTRUCTION - B1000 + PARKADE |
| 4  | 12/09/25 | ISSUED FOR DTR2 COMMENTS                         |
| 3  | 29/08/25 | ISSUED FOR BUILDING PERMIT                       |
| 2  | 18/06/25 | ISSUED FOR DTR1 COMMENTS                         |
| 1  | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT                    |
| NO | DD/MM/YY | REVISION                                         |

**KN ARCHITECTURE**  
1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1  
Ph: (403) 265-3100  
info@kn-architecture.com

**MUHAMMAD KATABALAN**  
REGISTERED ARCHITECT  
JAN 27, 2026  
ALBERTA

SCALE: AS NOTED

**CITY VIBE DEVELOPMENTS INC.**

**BELMONT APARTMENTS**  
250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE: START DATE: JANUARY 2024

DRAWING: SITE PLAN

DESIGNED: TN/SF CHECKED: TN

DRAWN: RR/RL JOB No: 2402

DWG No: A1.0.0

MARCH 21st



8:00 a.m.



12:00 p.m.



4:00 p.m.

JUNE 21st



8:00 a.m.



12:00 p.m.



4:00 p.m.

SEPTEMBER 21st



8:00 a.m.

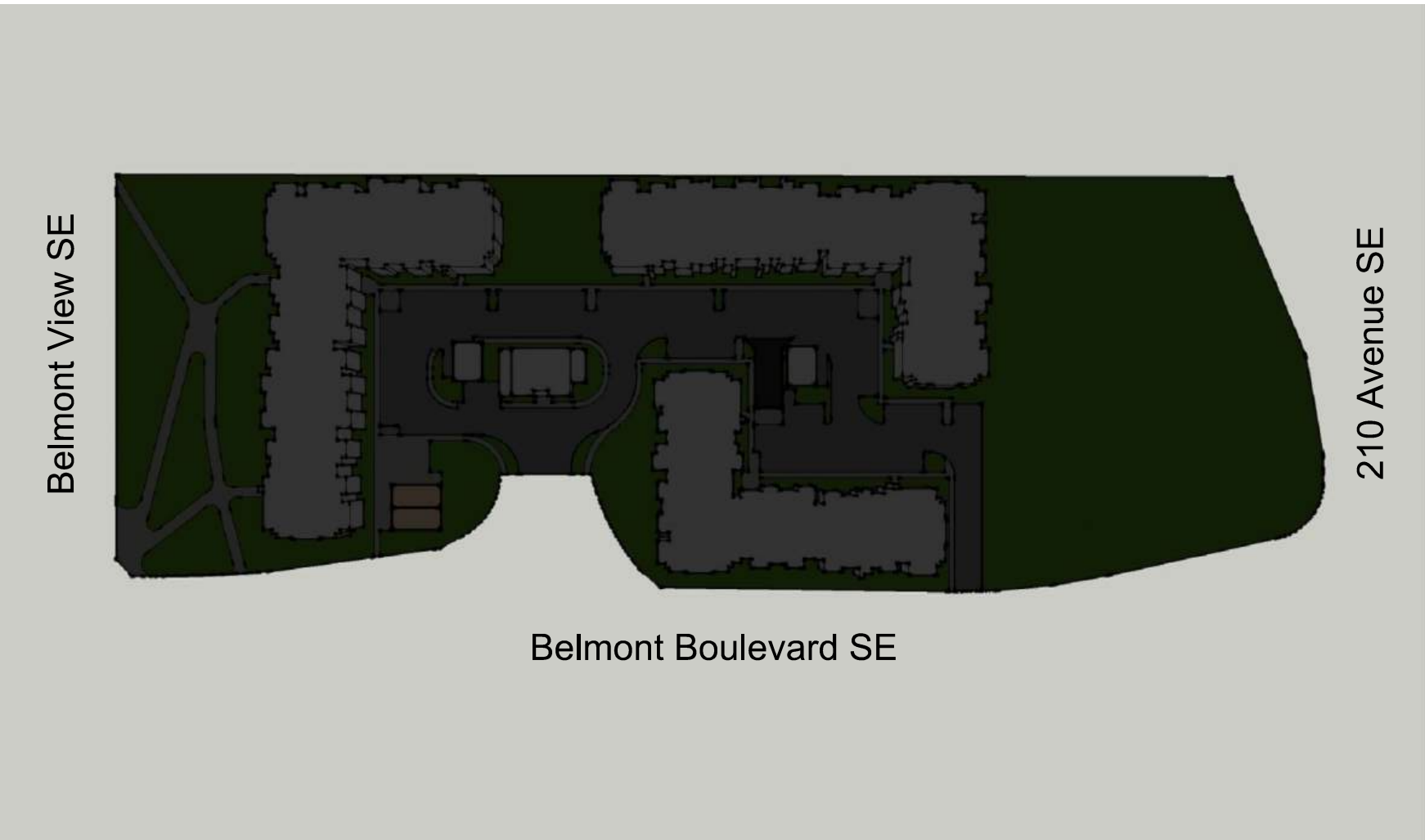


12:00 p.m.



4:00 p.m.

DECEMBER 21st



8:00 a.m.

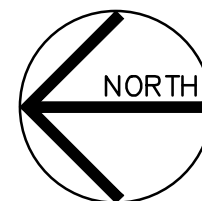


12:00 p.m.



4:00 p.m.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



January 27, 2026  
ISSUED FOR DTR2

|    |          |                          |
|----|----------|--------------------------|
| 2  | 27/01/26 | ISSUED FOR DTR2          |
| 1  | 18/06/25 | ISSUED FOR DTR1 COMMENTS |
| NO | DD/MM/YY | REVISION                 |



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Calgary, Alberta T2N 3R1  
Ph: (403) 265-3100  
info@kn-architecture.com



SCALE AS NOTED



PROJECT  
**BELMONT APARTMENTS**  
250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

|       |              |
|-------|--------------|
| TRADE | START DATE   |
|       | JANUARY 2024 |

DRAWING  
**SHADOW STUDY**  
(Bylaw Height Limit - 16m)

|          |       |         |        |
|----------|-------|---------|--------|
| DESIGNED | TN/SF | CHECKED | TN     |
| DRAWN    | RR/RL | JOB No. | 2402   |
|          |       | DWG No. | A0.0.1 |

MARCH 21st



8:00 a.m.



12:00 p.m.



4:00 p.m.

JUNE 21st



8:00 a.m.



12:00 p.m.



4:00 p.m.

SEPTEMBER 21st



8:00 a.m.

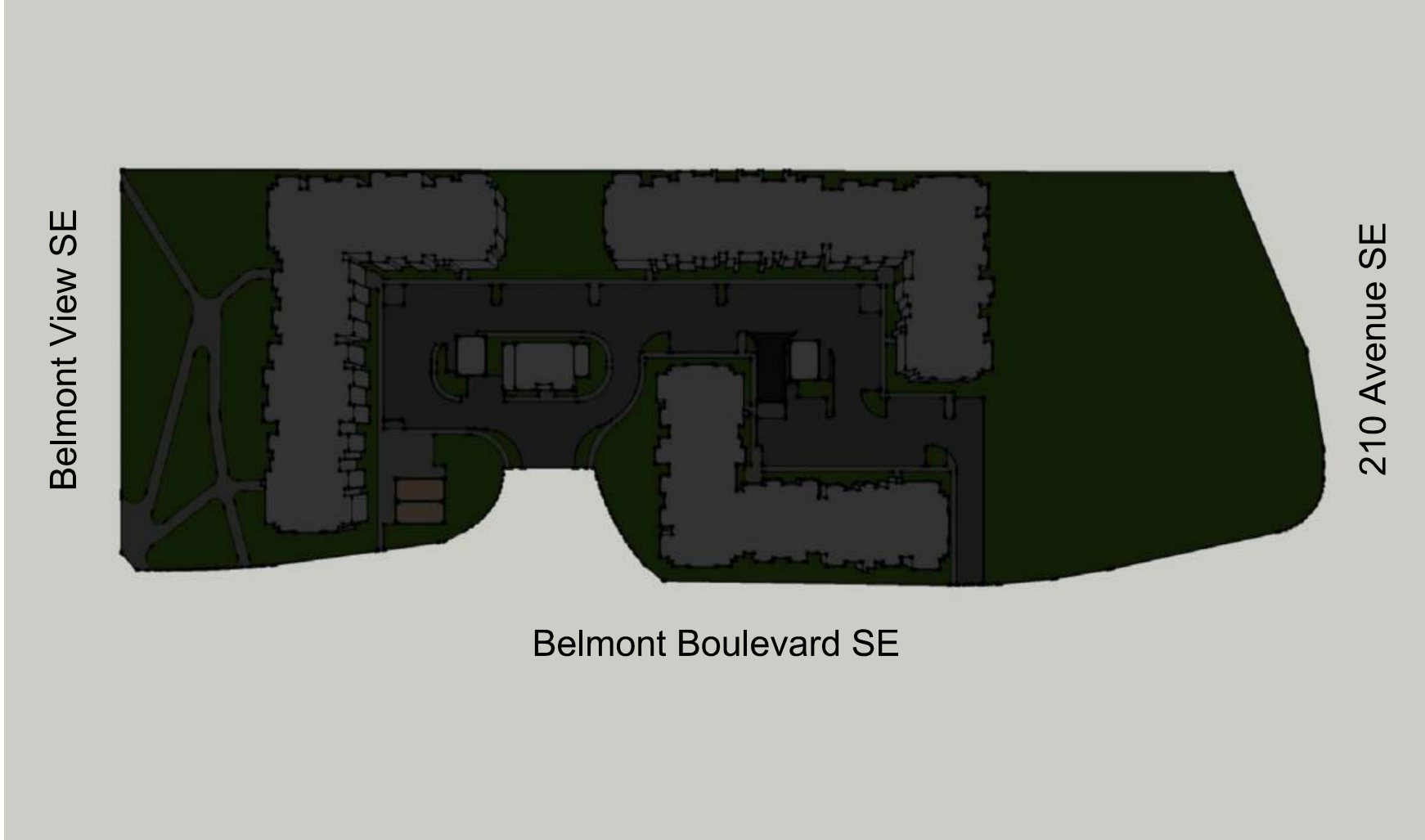


12:00 p.m.



4:00 p.m.

DECEMBER 21st



8:00 a.m.

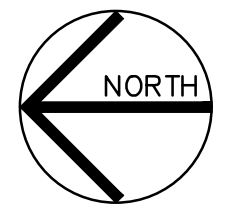


12:00 p.m.



4:00 p.m.

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January 27, 2026  
ISSUED FOR DTR2

|    |          |                          |
|----|----------|--------------------------|
| 2  | 27/01/26 | ISSUED FOR DTR2          |
| 1  | 18/06/25 | ISSUED FOR DTR1 COMMENTS |
| NO | DD/MM/YY | REVISION                 |



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Calgary, Alberta T2N 3R1  
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info@kn-architecture.com



SCALE AS NOTED



PROJECT  
**BELMONT APARTMENTS**  
250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE      START DATE JANUARY 2024

DRAWING

**SHADOW STUDY**  
(Proposed Variance - 17.8m )

DESIGNED TN/SF      CHECKED TN

DRAWN RR/RL      JOB No. 2402

DWG No. **A0.0.2**

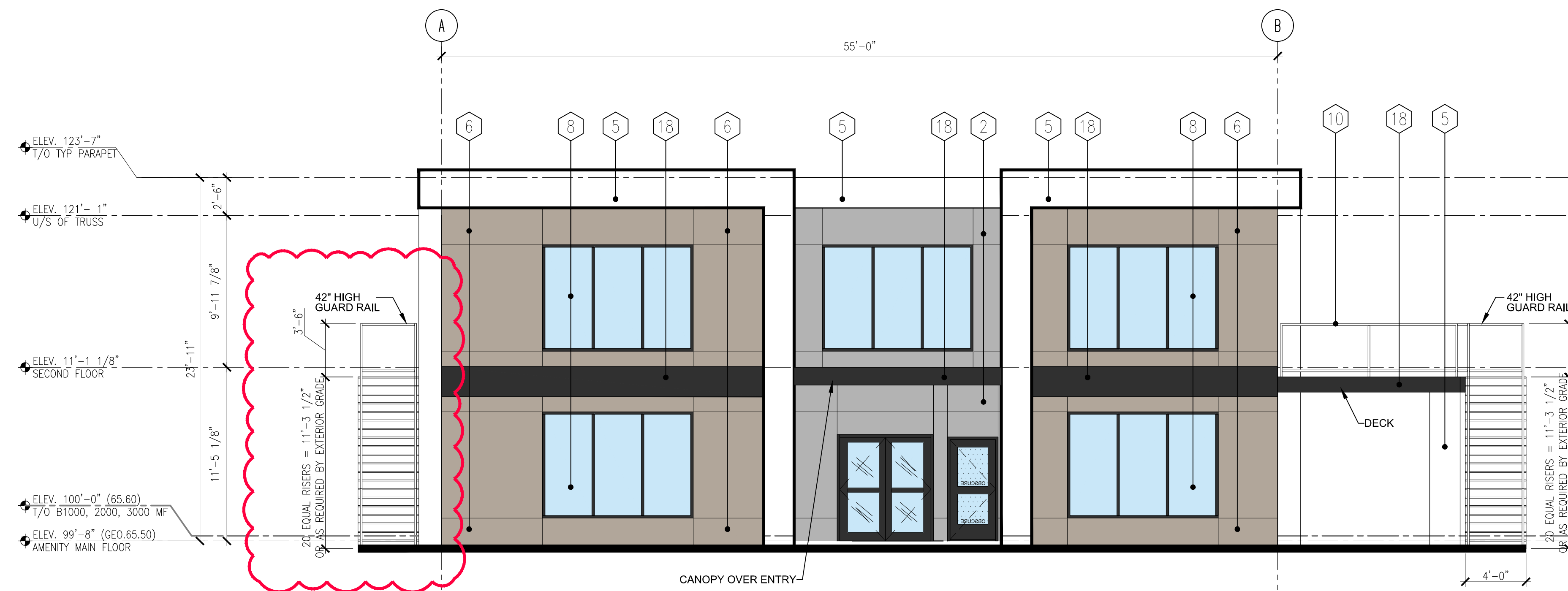
DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

#### MATERIAL LEGEND

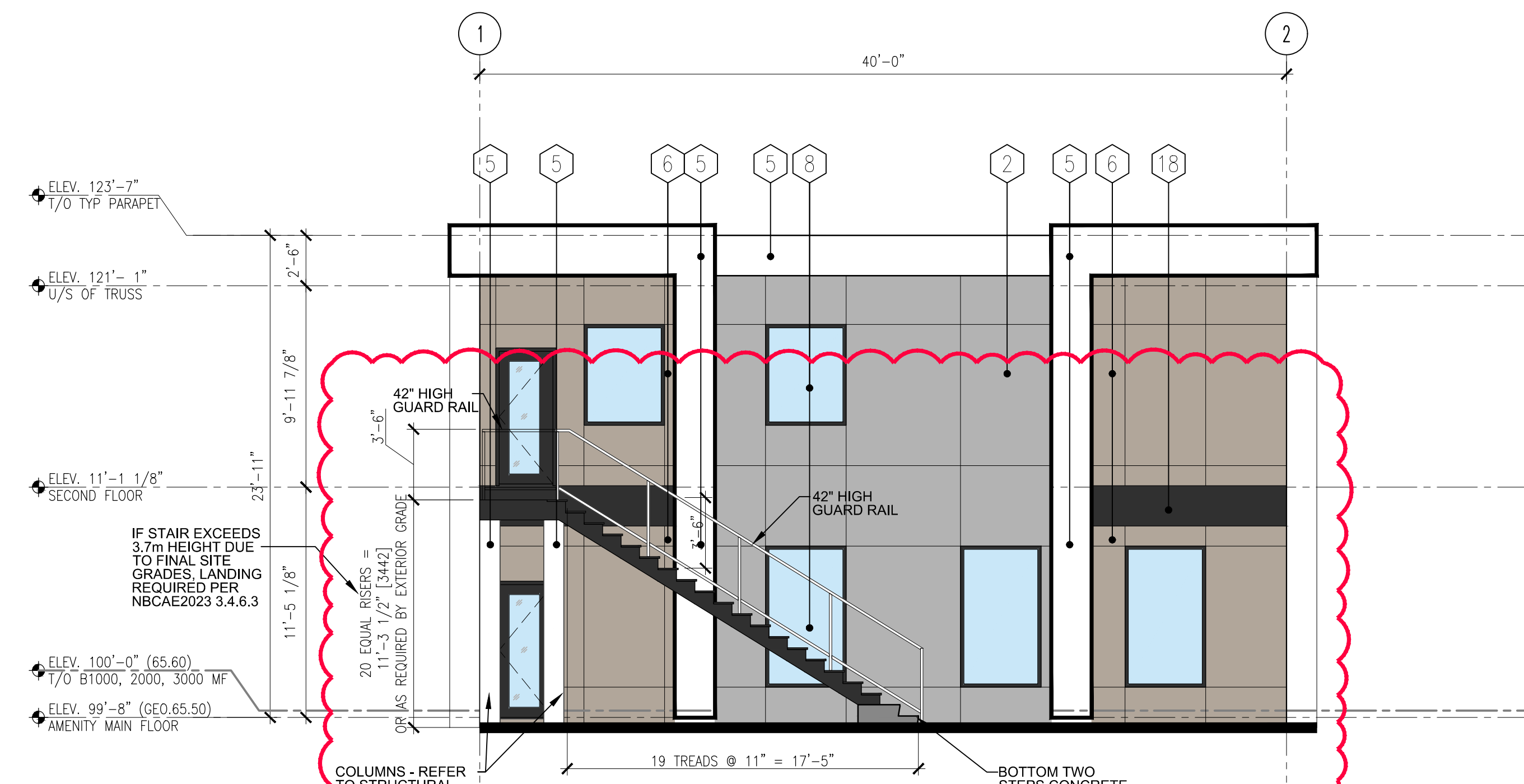
- 1 HARDIE BOARD PANEL (COBBLESTONE)
- 2 HARDIE BOARD PANEL (RICH ESPRESSO)
- 3 FIBER CEMENT SIDING (SEPIA)
- 4 RESERVED
- 5 HARDIE BOARD PANEL (ARCTIC WHITE)
- 6 HARDIE BOARD PANEL (TIMBER BARK)
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 BLACK ALUMINUM GLASS RAILING
- 11 EXTERIOR GLASS DOOR
- 12 GLASS SPANDREL
- 13 RESERVED
- 14 CONCRETE
- 15 RESERVED
- 16 RESERVED
- 17 LIGHT FIXTURE
- 18 HARDIE TRIM (BLACK)
- 19 HARDIE LAP SIDING (TIMBER BARK)
- 20 HARDIE LAP SIDING (COBBLESTONE)

#### NOTES

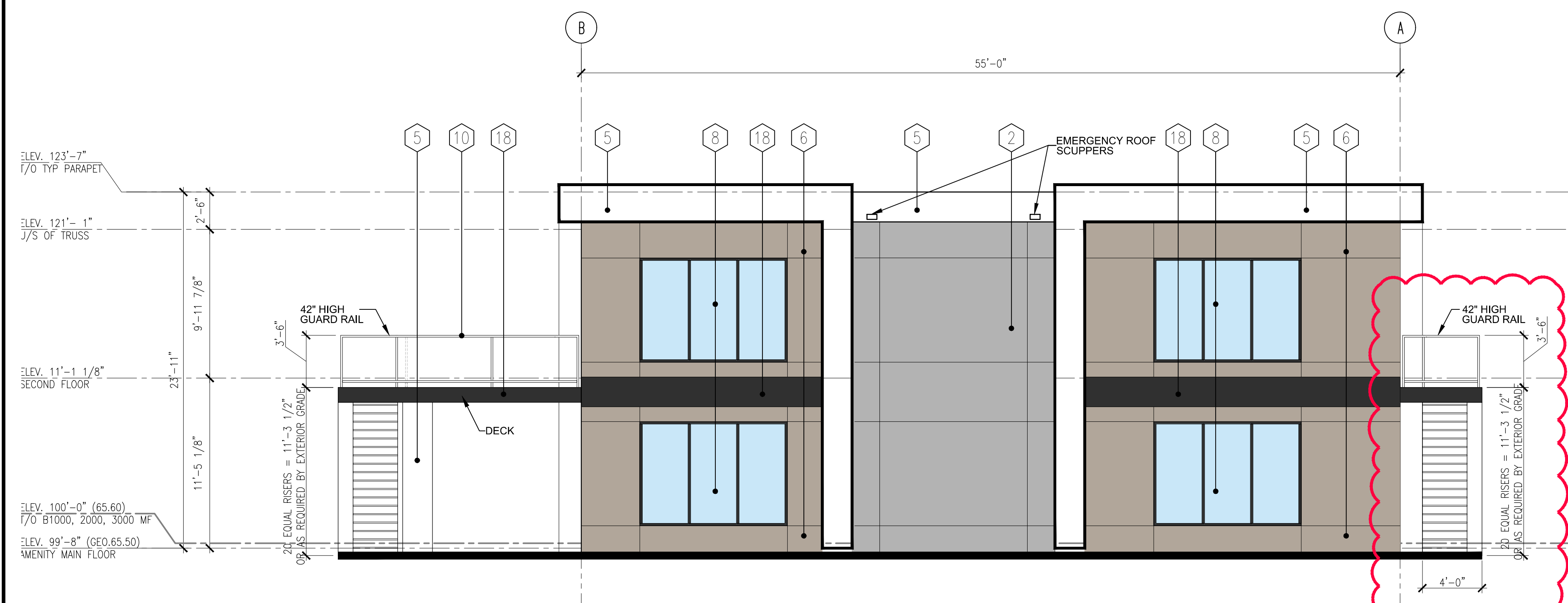
- 1) SOFFIT & DECK FASCIA TO BE BLACK
- 2) TPO ROOF MEMBRANE



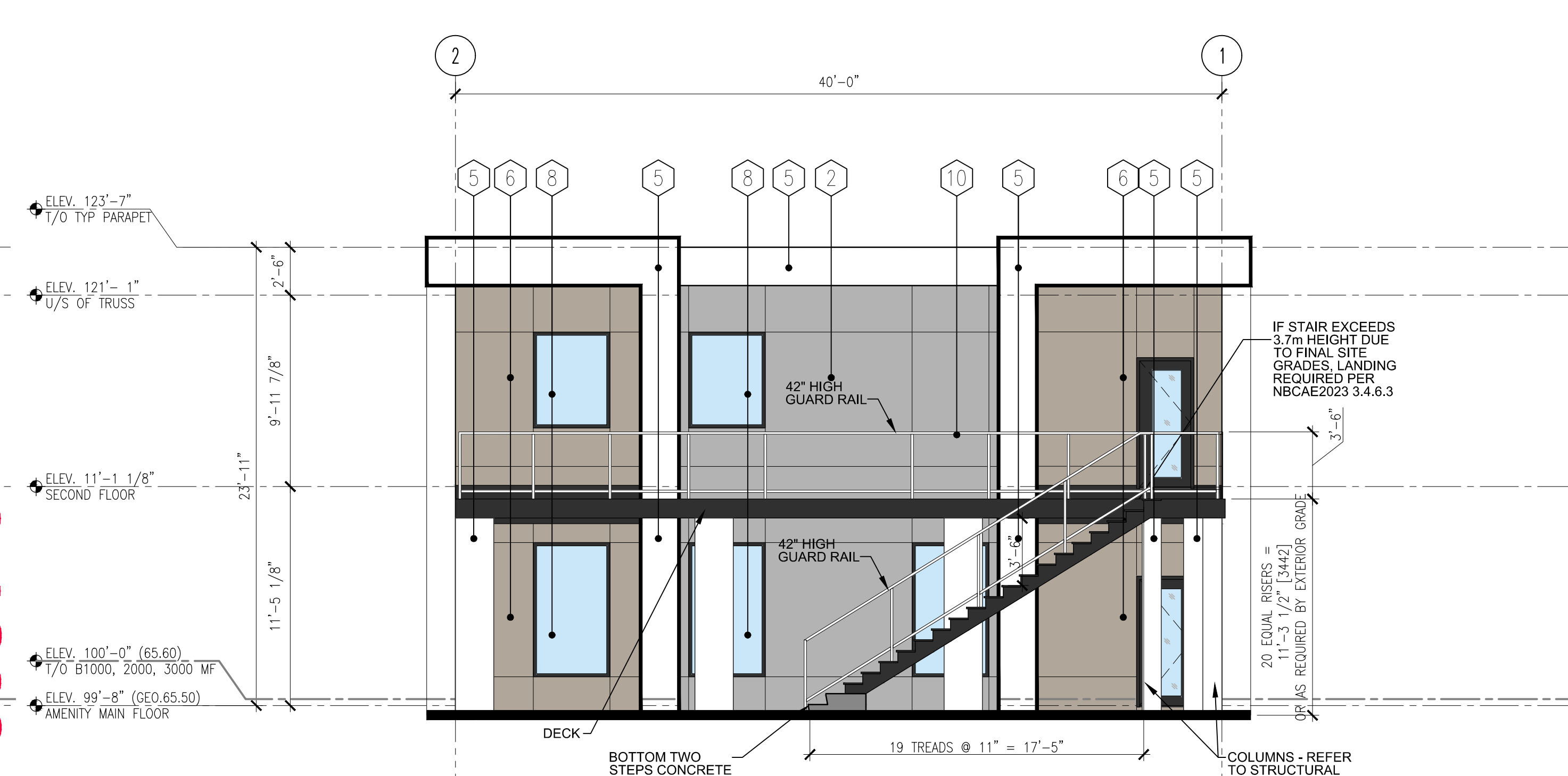
1 AMENITY BUILDING SOUTH-WEST ELEVATION  
A1.0.5 3/16" = 1'-0"



2 AMENITY BUILDING NORTH-WEST ELEVATION  
A1.0.5 3/16" = 1'-0"



3 AMENITY BUILDING NORTH-EAST ELEVATION  
A1.0.5 3/16" = 1'-0"



4 AMENITY BUILDING SOUTH-EAST ELEVATION  
A1.0.5 3/16" = 1'-0"

January 27, 2026

ISSUED FOR DTR2

|    |          |                               |
|----|----------|-------------------------------|
| 3  | 27/01/26 | ISSUED FOR DTR2               |
| 2  | 18/06/25 | ISSUED FOR DTR1 COMMENTS      |
| 1  | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT |
| NO | DD/MM/YY | REVISION                      |

**K|N** ARCHITECTURE

1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1

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info@kn-architecture.com



SCALE AS NOTED

**CITY VIBE**  
DEVELOPMENTS INC.

PROJECT

**BELMONT APARTMENTS**

250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING

**AMENITY BUILDING  
ELEVATIONS/SECTIONS**

|          |       |         |      |
|----------|-------|---------|------|
| DESIGNED | TN/SF | CHECKED | TN   |
| DRAWN    | RR/RL | JOB No. | 2402 |
|          |       | DWG No. |      |

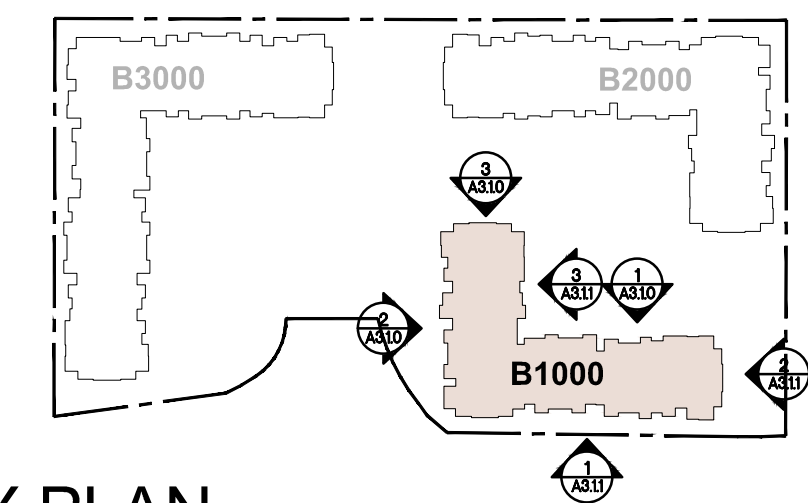
A1.0.5

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#### MATERIAL LEGEND

- 1 HARDIE BOARD PANEL (TIMBER BARK)
- 2 HARDIE BOARD PANEL (COBBLESTONE)
- 3 FIBER CEMENT PANEL (SEPIA)
- 4 HARDIE BOARD PANEL (RICH ESPRESSO)
- 5 STONE CLADDING
- 6 RESERVE
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 ALUMINUM GLASS RAILING (BLACK)
- 11 EXTERIOR GLASS DOOR (BLACK)
- 12 DRAINAGE SLOT
- 13 RESERVE
- 14 RESERVE
- 15 RESERVE
- 16 FIBER CEMENT LAP SIDING (SEPIA)
- 17 VTAC LOUVER (COLOUR TO MATCH WALL)
- 18 HARDIE BOARD PANEL (ARCTIC WHITE)

- NOTES:  
1) SOFFIT & DECK FASCIA (T.B.D.)  
2) ROOF MEMBRANE (T.B.D.)



KEY PLAN



January 27, 2026

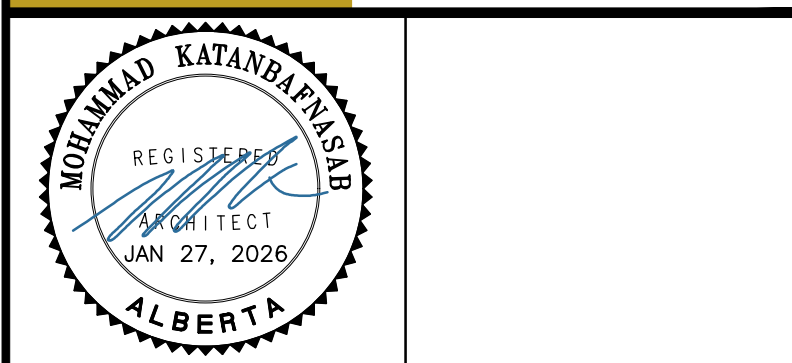
ISSUED FOR DTR2

|   |          |                                                  |
|---|----------|--------------------------------------------------|
| 5 | 27/01/26 | ISSUED FOR DTR2                                  |
| 4 | 27/10/25 | ISSUED FOR B.P. / CONSTRUCTION - B1000 + PARKADE |
| 3 | 29/08/25 | ISSUED FOR BUILDING PERMIT                       |
| 2 | 18/06/25 | ISSUED FOR DTR1 COMMENTS                         |
| 1 | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT                    |

| NO. | DATE/REV. | REVISION |
|-----|-----------|----------|
|-----|-----------|----------|

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SCALE AS NOTED



PROJECT

**BELMONT APARTMENTS**

250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING

**BUILDING 1000  
ELEVATIONS**

|          |       |         |      |
|----------|-------|---------|------|
| DESIGNED | TN/SF | CHECKED | TN   |
| DRAWN    | RR/RL | JOB No. | 2402 |
|          |       | DWG No. |      |

A3.1.0

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT HIS PERMISSION. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

#### MATERIAL LEGEND

- 1 HARDIE BOARD PANEL (TIMBER BARK)
- 2 HARDIE BOARD PANEL (COBBLESTONE)
- 3 FIBER CEMENT PANEL (SEPIA)
- 4 HARDIE BOARD PANEL (RICH ESPRESSO)
- 5 STONE CLADDING
- 6 RESERVE
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 ALUMINUM GLASS RAILING (BLACK)
- 11 EXTERIOR GLASS DOOR (BLACK)
- 12 DRAINAGE SLOT
- 13 RESERVE
- 14 RESERVE
- 15 RESERVE
- 16 FIBER CEMENT LAP SIDING (SEPIA)
- 17 VTAC LOUVER (COLOUR TO MATCH WALL)
- 18 HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:  
1) SOFFIT & DECK FASCIA (T.B.D.)  
2) ROOF MEMBRANE (T.B.D.)

January 27, 2026

ISSUED FOR DTR2

|   |          |                                                  |
|---|----------|--------------------------------------------------|
| 5 | 27/01/26 | ISSUED FOR DTR2                                  |
| 4 | 27/10/25 | ISSUED FOR B.P. / CONSTRUCTION - B1000 + PARKADE |
| 3 | 29/08/25 | ISSUED FOR BUILDING PERMIT                       |
| 2 | 18/06/25 | ISSUED FOR DTR1 COMMENTS                         |
| 1 | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT                    |

| NO. | DATE/REV | REVISION                                         |
|-----|----------|--------------------------------------------------|
| 5   | 27/01/26 | ISSUED FOR DTR2                                  |
| 4   | 27/10/25 | ISSUED FOR B.P. / CONSTRUCTION - B1000 + PARKADE |
| 3   | 29/08/25 | ISSUED FOR BUILDING PERMIT                       |
| 2   | 18/06/25 | ISSUED FOR DTR1 COMMENTS                         |
| 1   | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT                    |



SCALE AS NOTED



PROJECT  
**BELMONT APARTMENTS**  
250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

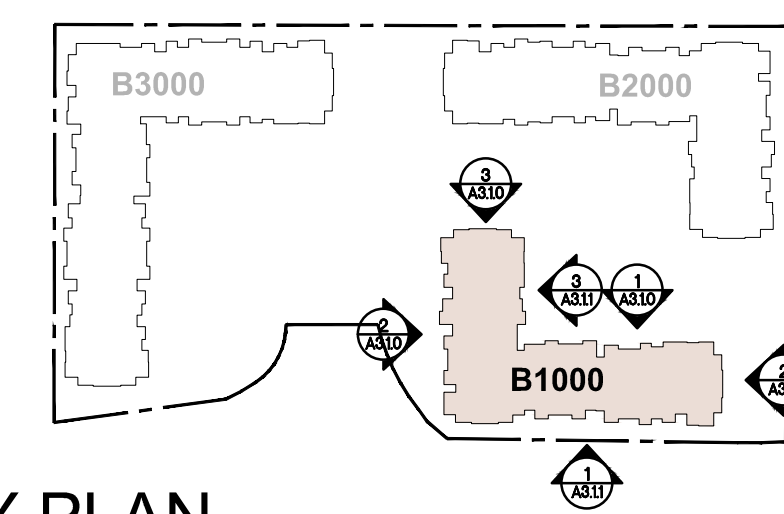
TRADE  
START DATE JANUARY 2024

DRAWING  
**BUILDING 1000 ELEVATIONS**

|                |              |
|----------------|--------------|
| DESIGNED TN/SF | CHECKED TN   |
| DRAWN RR/RL    | JOB No. 2402 |
|                | DWG No.      |

A3.1.1

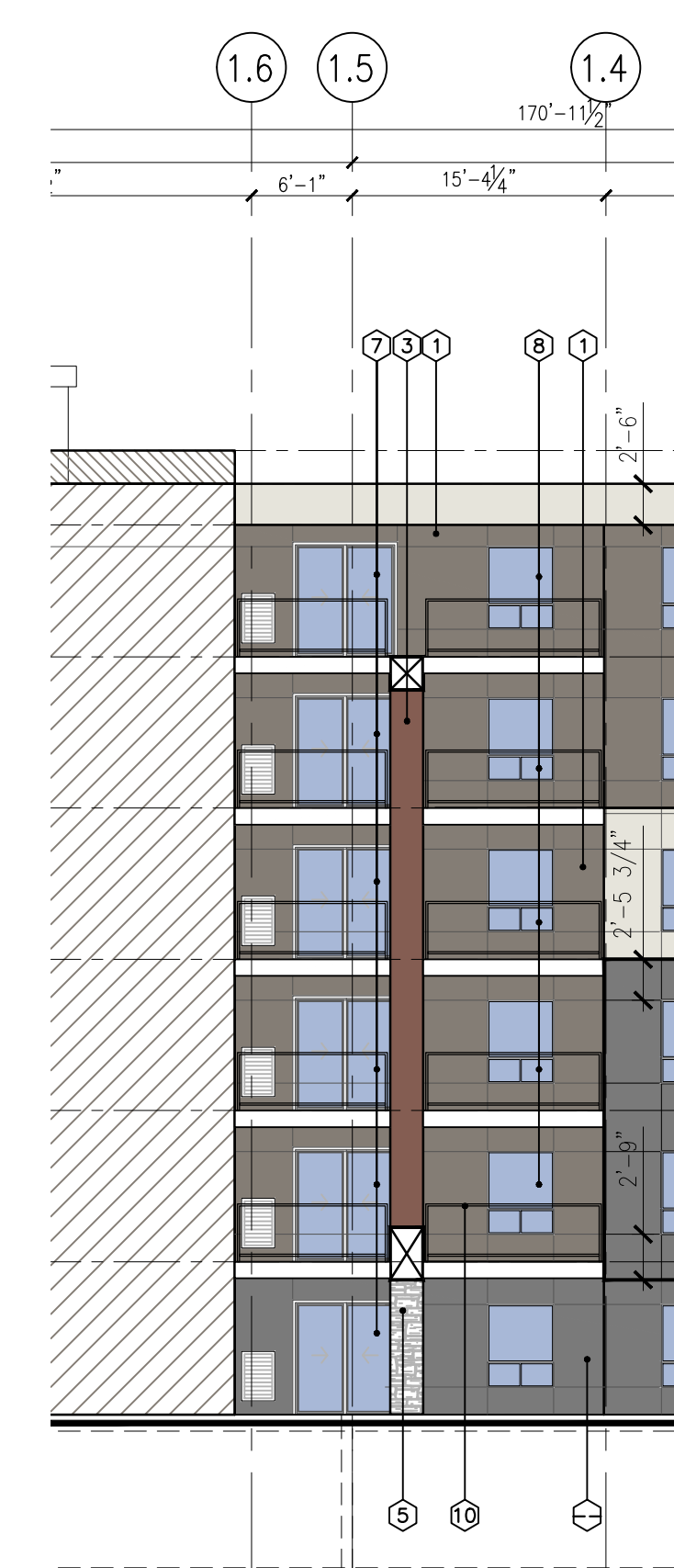
#### KEY PLAN



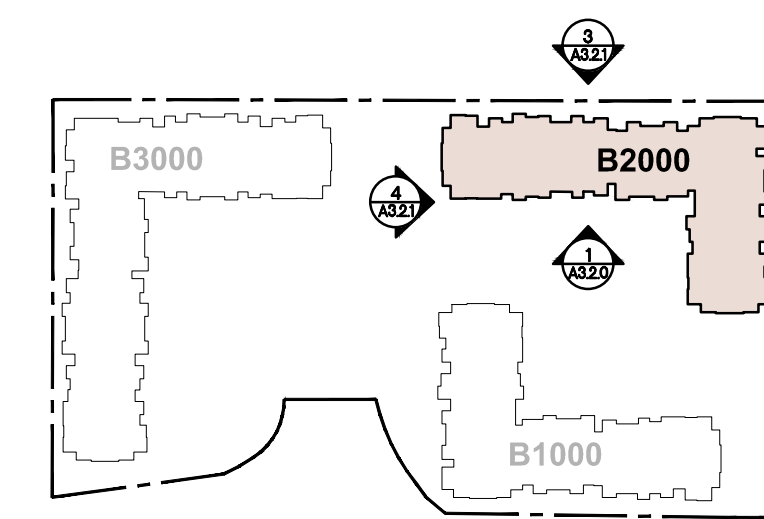
1 WEST ELEVATION  
A3.1.1 3/32" = 1'-0"



2 SOUTH ELEVATION  
A3.1.1 3/32" = 1'-0"



2A SOUTH ELEV. (Hidden portion)  
A3.1.1 3/32" = 1'-0"



KEY PLAN

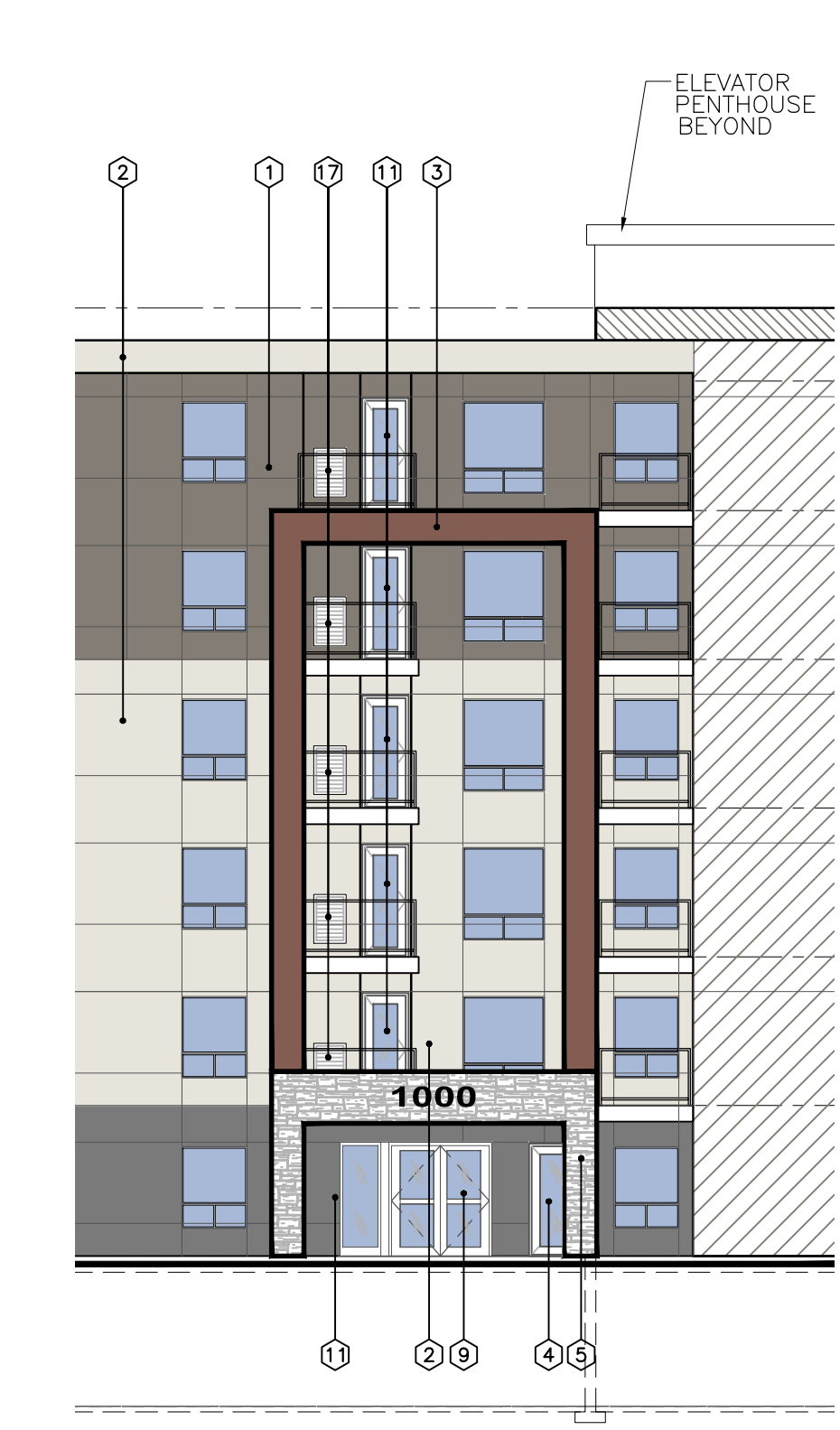
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1 WEST ELEVATION  
A3.2.0 3/32" = 1'-0"



2 SOUTH ELEVATION  
A3.2.0 3/32" = 1'-0"



1A WEST ELEV. (Hidden portion)  
A3.2.0 3/32" = 1'-0"

MATERIAL LEGEND

- 1 HARDIE BOARD PANEL (TIMBER BARK)
- 2 HARDIE BOARD PANEL (COBBLESTONE)
- 3 FIBER CEMENT PANEL (SEPIA)
- 4 HARDIE BOARD PANEL (RICH ESPRESSO)
- 5 STONE CLADDING
- 6 RESERVE
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 ALUMINUM GLASS RAILING (BLACK)
- 11 EXTERIOR GLASS DOOR (BLACK)
- 12 DRAINAGE SLOT
- 13 RESERVE
- 14 RESERVE
- 15 RESERVE
- 16 FIBER CEMENT LAP SIDING (SEPIA)
- 17 VTAC LOUVER (COLOUR TO MATCH WALL)
- 18 HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:  
1) SOFFIT & DECK FASCIA (T.B.D.)  
2) ROOF MEMBRANE (T.B.D.)

January 27, 2026

ISSUED FOR DTR2

|    |          |                               |
|----|----------|-------------------------------|
| 3  | 27/01/26 | ISSUED FOR DTR2               |
| 2  | 18/06/25 | ISSUED FOR DTR1 COMMENTS      |
| 1  | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT |
| NO | DD/MM/YY | REVISION                      |

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Calgary, Alberta T2N 3R1  
Ph: (403) 265-3100  
info@kn-architecture.com

SCALE AS NOTED

PROJECT

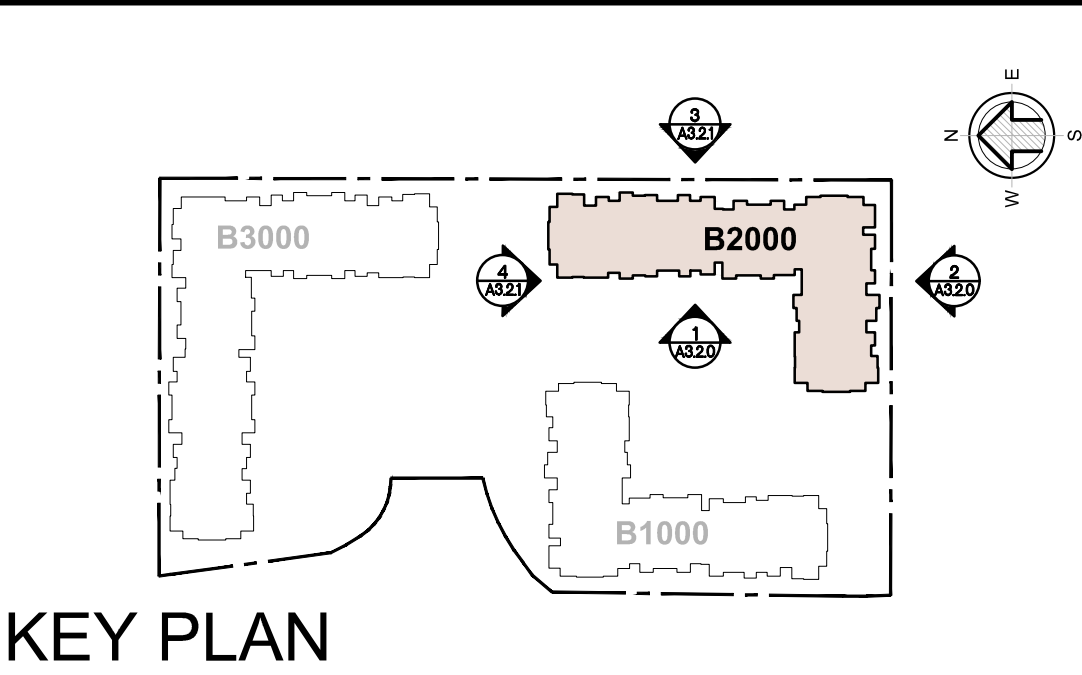
**BELMONT APARTMENTS**  
250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING  
**BUILDING 2000 ELEVATIONS**

|          |       |         |      |
|----------|-------|---------|------|
| DESIGNED | TN/SF | CHECKED | TN   |
| DRAWN    | RR/RL | JOB No. | 2402 |
|          |       | DWG No. |      |

A3.2.0



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3 EAST ELEVATION  
A3.2.1 3/32" = 1'-0"



4 NORTH ELEVATION  
A3.2.1 3/32" = 1'-0"



4A NORTH ELEV. (Hidden portion)  
A3.2.1 3/32" = 1'-0"

#### MATERIAL LEGEND

- 1 HARDIE BOARD PANEL (TIMBER BARK)
- 2 HARDIE BOARD PANEL (COBBLESTONE)
- 3 FIBER CEMENT PANEL (SEPIA)
- 4 HARDIE BOARD PANEL (RICH ESPRESSO)
- 5 STONE CLADDING
- 6 RESERVE
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 ALUMINUM GLASS RAILING (BLACK)
- 11 EXTERIOR GLASS DOOR (BLACK)
- 12 DRAINAGE SLOT
- 13 RESERVE
- 14 RESERVE
- 15 RESERVE
- 16 FIBER CEMENT LAP SIDING (SEPIA)
- 17 VTAC LOUVER (COLOUR TO MATCH WALL)
- 18 HARDIE BOARD PANEL (ARCTIC WHITE)

NOTES:  
1) SOFFIT & DECK FASCIA (T.B.D.)  
2) ROOF MEMBRANE (T.B.D.)

January 27, 2026

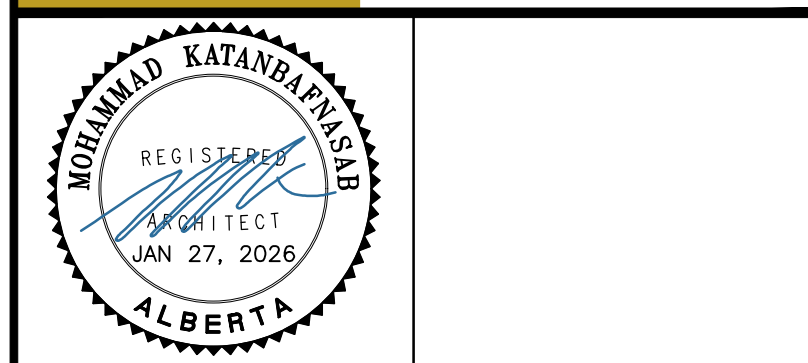
ISSUED FOR DTR2

|    |          |                               |
|----|----------|-------------------------------|
| 3  | 27/01/26 | ISSUED FOR DTR2               |
| 2  | 18/06/25 | ISSUED FOR DTR1 COMMENTS      |
| 1  | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT |
| NO | DD/MM/YY | REVISION                      |

**K|N** ARCHITECTURE

1417 Kensington Road N.W.  
Calgary, Alberta T2N 3R1

Ph: (403) 265-3100  
info@kn-architecture.com



SCALE AS NOTED

**CITY VIBE**  
DEVELOPMENTS INC.

PROJECT  
**BELMONT APARTMENTS**  
250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING

**BUILDING 2000  
ELEVATIONS**

|          |       |         |      |
|----------|-------|---------|------|
| DESIGNED | TN/SF | CHECKED | TN   |
| DRAWN    | RR/RL | JOB No. | 2402 |
|          |       | DWG No. |      |

A3.2.1

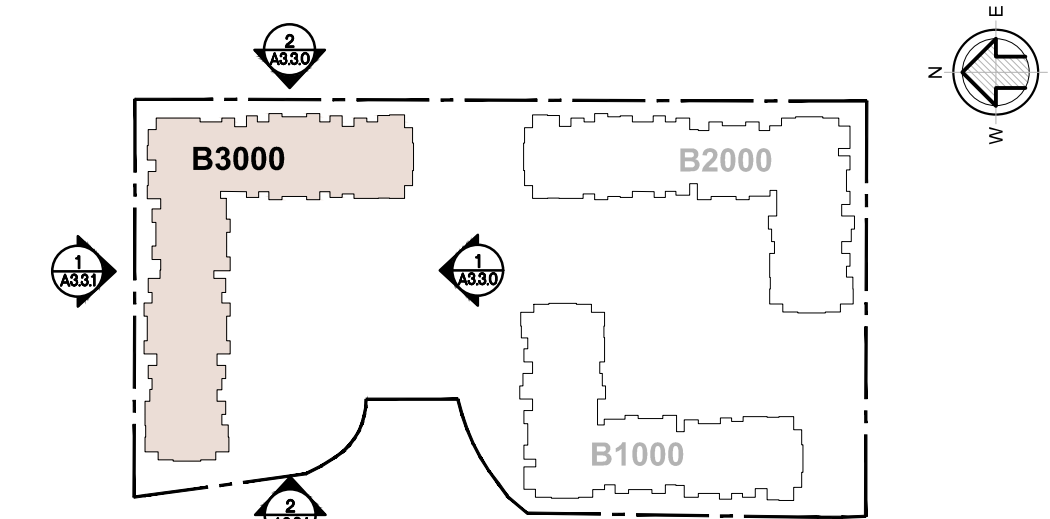
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#### MATERIAL LEGEND

- 1 HARDIE BOARD PANEL (TIMBER BARK)
- 2 HARDIE BOARD PANEL (COBBLESTONE)
- 3 FIBER CEMENT PANEL (SEPIA)
- 4 HARDIE BOARD PANEL (RICH ESPRESSO)
- 5 STONE CLADDING
- 6 RESERVE
- 7 GLASS SLIDING DOOR
- 8 BLACK VINYL WINDOW
- 9 ALUMINUM STORE FRONT GLAZING
- 10 ALUMINUM GLASS RAILING (BLACK)
- 11 EXTERIOR GLASS DOOR (BLACK)
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- 15 RESERVE
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#### NOTES:

- 1) SOFFIT & DECK FASCIA (T.B.D.)
- 2) ROOF MEMBRANE (T.B.D.)



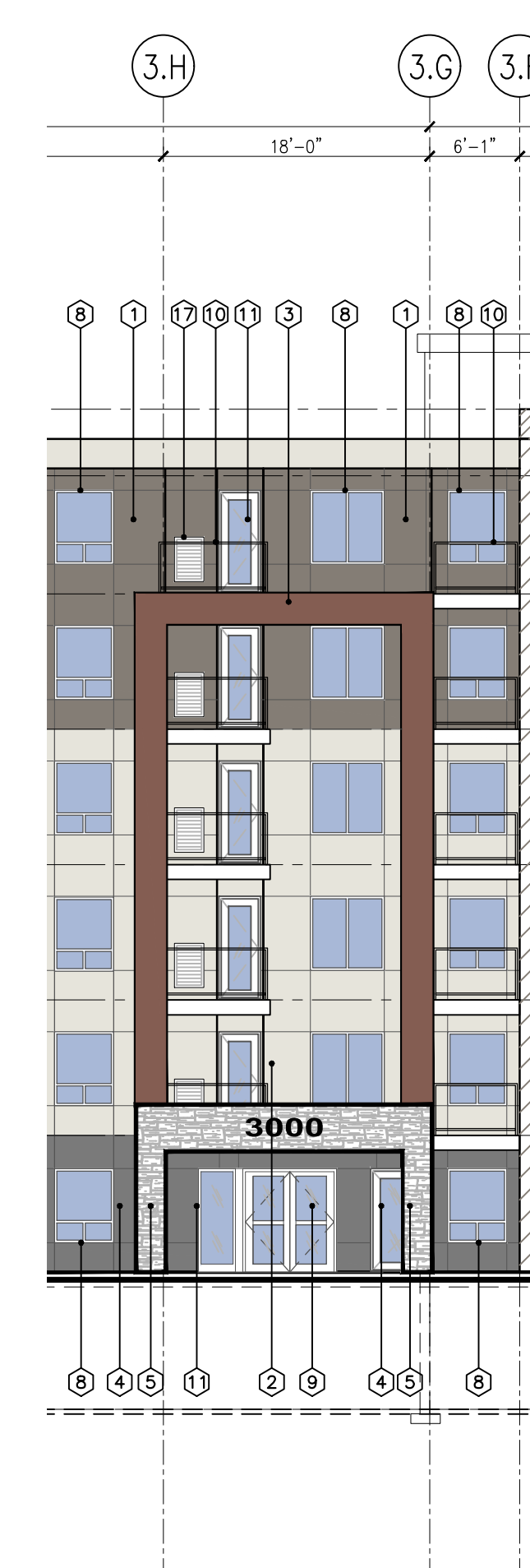
#### KEY PLAN



1 SOUTH ELEVATION  
A3.3.0 3/32" = 1'-0"



2 EAST ELEVATION  
A3.3.0 3/32" = 1'-0"



1A SOUTH ELEV. (Hidden portion)  
A3.3.0 3/32" = 1'-0"

January 27, 2026

ISSUED FOR DTR2

|   |          |                               |
|---|----------|-------------------------------|
| 3 | 27/01/26 | ISSUED FOR DTR2               |
| 2 | 18/06/25 | ISSUED FOR DTR1 COMMENTS      |
| 1 | 03/02/25 | ISSUED FOR DEVELOPMENT PERMIT |

NO. DD/MM/YY REVISION

**K|N** ARCHITECTURE

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Calgary, Alberta T2N 3R1

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SCALE AS NOTED

**CITY VIBE**  
DEVELOPMENTS INC.

PROJECT

**BELMONT APARTMENTS**

250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

DRAWING

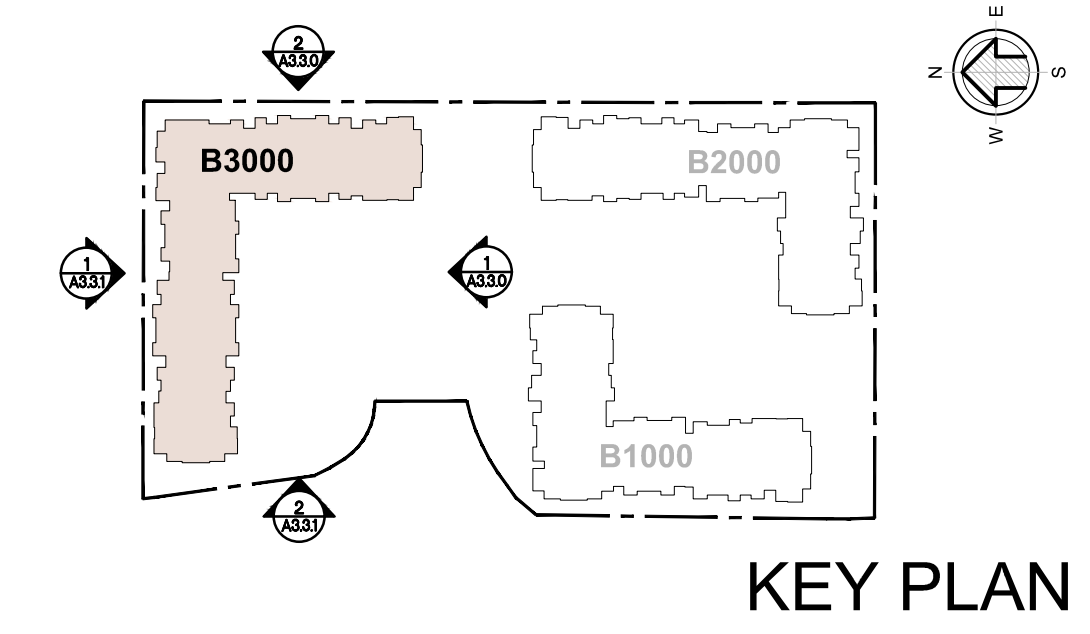
**BUILDING 3000  
ELEVATIONS**

DESIGNED TN/SF CHECKED TN

DRAWN RR/RL JOB No. 2402

DWG No.

A3.3.0



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- MATERIAL LEGEND**
- 1 HARDIE BOARD PANEL (TIMBER BARK)
  - 2 HARDIE BOARD PANEL (COBBLESTONE)
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  - 17 VTAC LOUVER (COLOUR TO MATCH WALL)
  - 18 HARDIE BOARD PANEL (ARCTIC WHITE)

**NOTES:**  
1) SOFFIT & DECK FASCIA (T.B.D.)  
2) ROOF MEMBRANE (T.B.D.)



1 NORTH ELEVATION  
A3.3.1 3/32" = 1'-0"



2 WEST ELEVATION  
A3.3.1 3/32" = 1'-0"

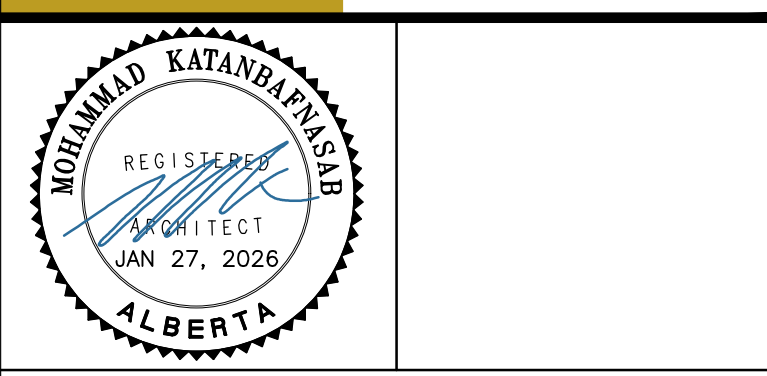


2A WEST ELEV. (Hidden portion)  
A3.3.1 3/32" = 1'-0"

January 27, 2026  
ISSUED FOR DTR2

|    |          |                               |
|----|----------|-------------------------------|
| 3  | 27/01/26 | ISSUED FOR DTR2               |
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| NO | DD/MM/YY | REVISION                      |

**KN ARCHITECTURE**  
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Calgary, Alberta T2N 3R1  
Ph: (403) 265-3100  
info@kn-architecture.com



SCALE AS NOTED



**BELMONT APARTMENTS**  
250 210 AVE SW  
Calgary, Alberta  
Block A, Plan 901 1040

TRADE START DATE JANUARY 2024

**BUILDING 3000 ELEVATIONS**

|          |       |         |      |
|----------|-------|---------|------|
| DESIGNED | TN/SF | CHECKED | TN   |
| DRAWN    | RR/RL | JOB No. | 2402 |
|          |       | DWG No. |      |

A3.3.1

