

CALGARY WINTER CLUB

PARKING LOT



ISSUED FOR: DEVELOPEMT PERMIT

JANUARY 31ST, 2025

DRAWING INDEX

ARCHITECTURE

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DP10.03	ENLARGED SITE PLAN

CIVIL

C.01	SITE SERVING PLAN
C.02	SITE GRADING PLAN

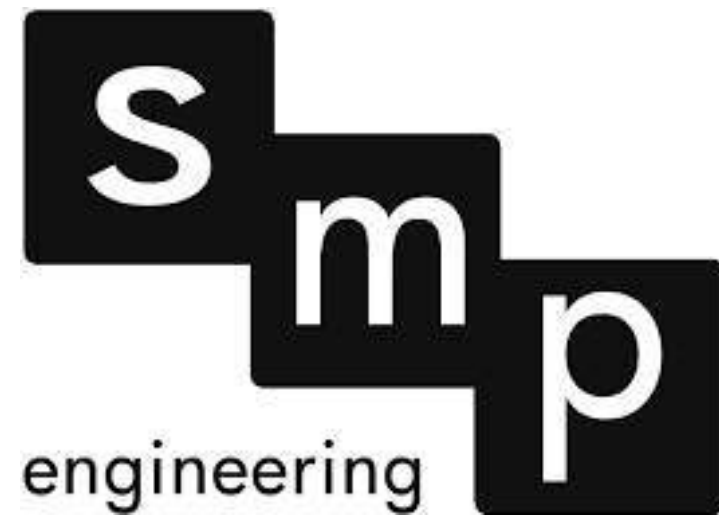
LANDSCAPE

L1	TREE INVENTORY AND PROTECTION PLAN
L2	LANDSCAPE PLAN

ELECTRICAL

EO.00	PROPOSED LIGHTING PLAN
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ELECTRICAL



engineering
SMP ENGINEERING
403, 1240 KENSINGTON RD NW Calgary, AB T2N 3P7
Phone: 403.270.8833

LANDSCAPE



GROUND CUBED
25 6020 2 ST SE Calgary, AB. T2H 2L8
Phone: 403.475.0719

CIVIL



WATT CONSULTING GROUP
1300 736 6 AVE SW Calgary, AB. T2P 3T7
Phone: 403.273.9001

ARCHITECTURE



GGA-ARCHITECTURE
350 140 10 Avenue SE Calgary, AB. T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077

PROJECT NAME
CALGARY WINTER CLUB
PARKING LOT
PROJECT ADDRESS
Calgary, Alberta

DEVELOPMENT PERMIT:

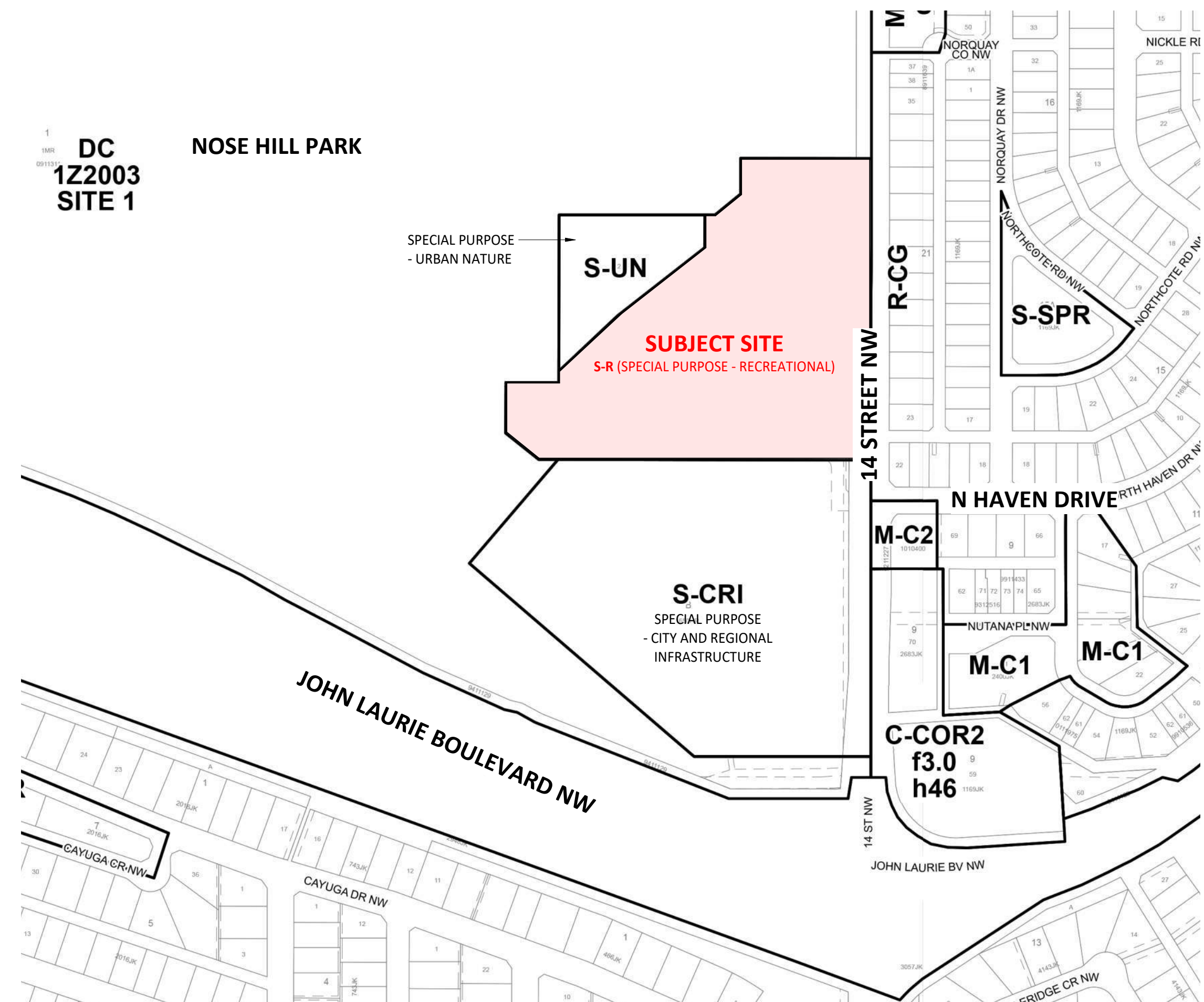
PROJECT NUMBER:

24064

© 124064 PROJECT ARCHITECTURE Parking Lot and
22/01/2025 10:25:52 AM
Copyright © 2024 GGA-Architecture
All Other: 2024 Rev 01 (2024-01-01)



1
DP10.01
KEY PLAN
N.T.S.



2
DP10.01
LAND USE MAP
N.T.S.

PROPERTY DESCRIPTION

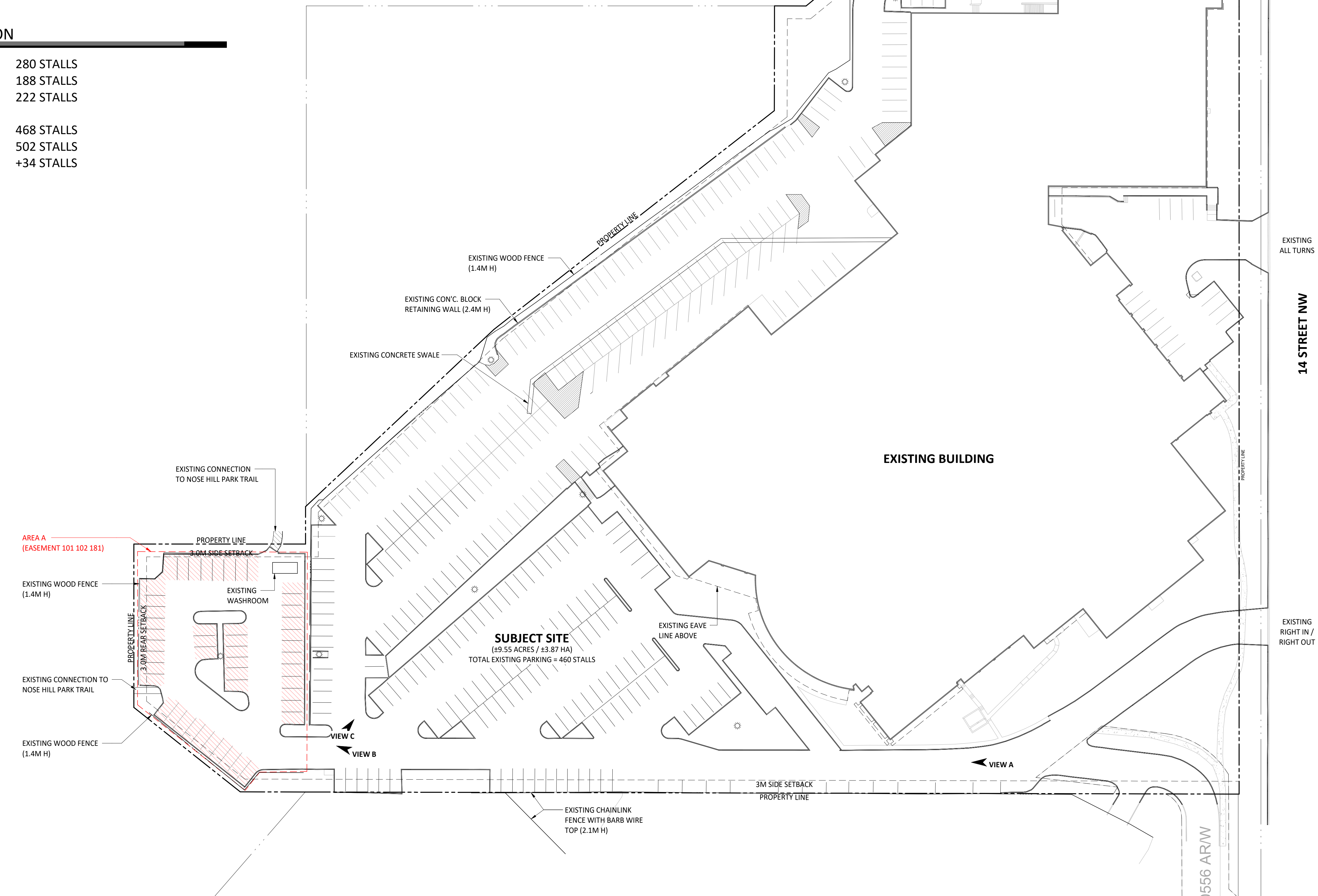
MUNICIPAL ADDRESS	4611 14 ST NW, CALGARY, AB
LEGAL DESCRIPTION	PLAN 1011446; BLOCK 1; LOT 3
PARCEL AREA	±9.55 ACRES / ±3.87 HA

LAND USE INFORMATION

LAND USE DISTRICT	S-R (SPECIAL PURPOSE - RECREATION)
BUILDING SETBACK	FRONT 0.0
	SIDE 3.0 m
	REAR 3.0 m

PARKING INFORMATION

EXISTING TO REMAIN	280 STALLS
EXISTING TO BE REMOVED	188 STALLS
PROPOSED NEW STALLS	222 STALLS
TOTAL EXISTING PARKING	468 STALLS
TOTAL PROPOSED PARKING	502 STALLS
NEW STALLS NET GAIN	+34 STALLS



3
DP10.01
EXISTING SITE PLAN
1 : 500

- NOTES:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise
 - Note when required minimum clear dimensions will be identified.
 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
 - Do not scale drawings.
 - This drawing supercedes previous issues.
- SITE PLAN LEGEND**
- EXISTING LIGHT STANDARD
 - △ EXISTING POLE SIGNAGE
 - EXISTING FENCE LINE

DEVELOPMENT PERMIT		2025-01-31
No. / Description		Date (YYYY-MM-DD)
Issued For / Revisions		
Project		Project Number: 24064
CALGARY WINTER CLUB PARKING LOT		
Calgary, Alberta		
Legal Description	Plan 1011446, Bk 1, Lot 3	Building Permit No.
Development Permit No.	DSSP No.	
GGA-ARCHITECTURE		
350,140-10 Ave SE Calgary, Alberta T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077		
Drawing Title		
PROJECT STATISTICS & EXISTING SITE PLAN		
Drawn by:	JL	Scale
Reviewed by:	BM	As indicated
Manager:	BM	Date (YYYY-MM-DD)
Tech Review:		
Drawing Number	Revision Number	
DP10.01		

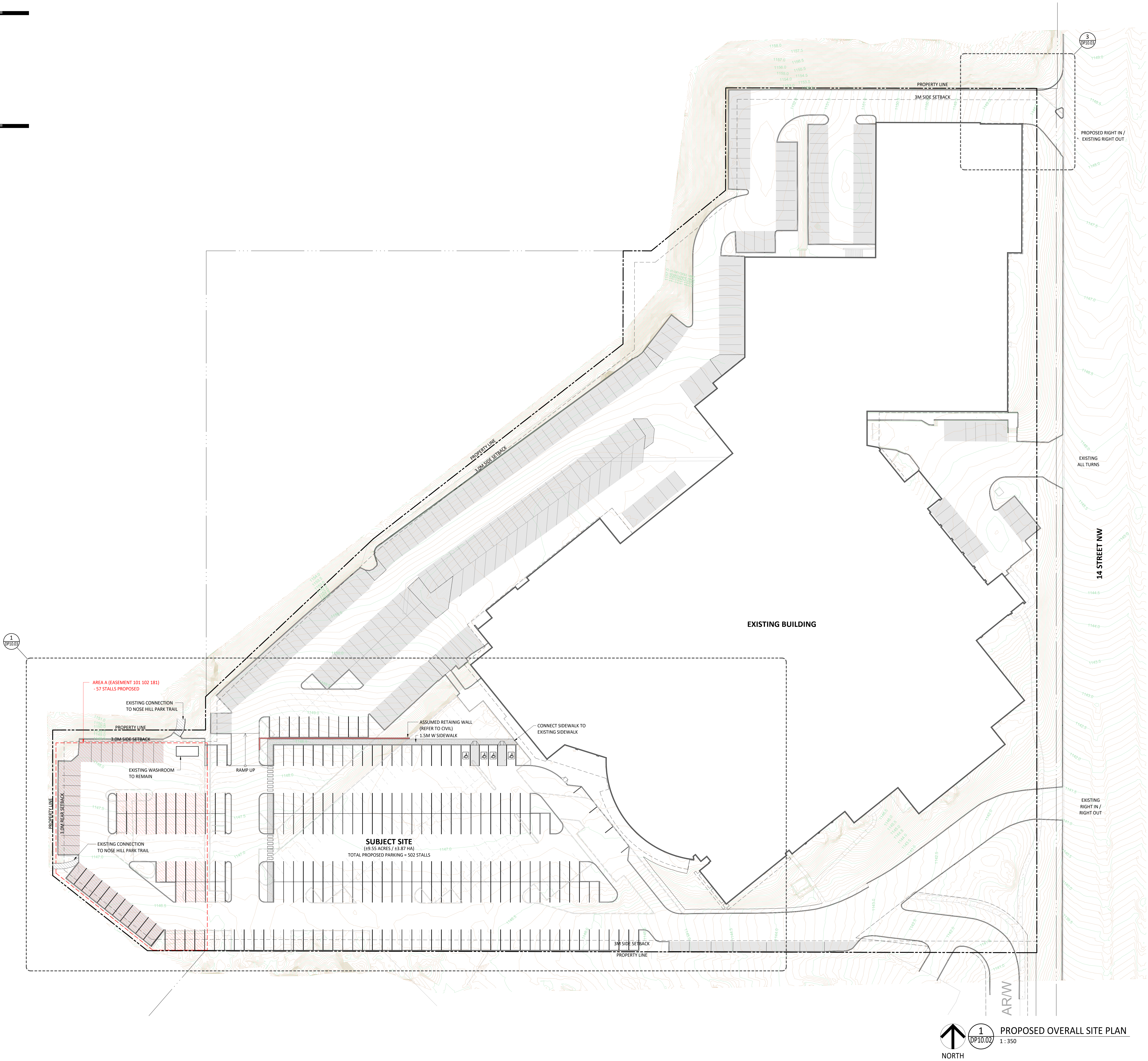
PARKING INFORMATION

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PARKING LEGEND

- PROPOSED NEW PARKING STALLS
- EXISTING PARKING STALLS TO REMAIN
- EXISTING PARKING STALLS TO BE REMOVED
- PROPOSED CONCRETE SIDEWALK

- Notes:
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1
DP10.02

PROPOSED OVERALL SITE PLAN
1 : 350

No.	Description	Date (YYYY-MM-DD)
Issued For / Revisions		
Project	Project Number: 24064	
CALGARY WINTER CLUB PARKING LOT		
Calgary, Alberta		
Legal Description Plan 3011446, Bk 1, Lot 3	Building Permit No.	
Development Permit No.	DSSP No.	

350,140-10 Ave SE
Calgary, Alberta,
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title PROPOSED SITE PLAN		
Drawn by: Author	Scale	
Reviewed by: BM	1 : 350	
Manager: BM	Date (YYYY-MM-DD)	
Tech Review:		
Drawing Number	Revision Number	
DP10.02		



Utility & Linetype Legend

symbol	description
---	property line
---	setback line
---	existing fence
---	existing fence to be removed
---	existing chain link fence
---	electrical line - refer to civil
---	public parking boundary
---	limit of disturbance

General Notes

1. site plan prepared using information provided by GGA Architecture received January 10th, 2025
2. contractor is responsible for locating utilities and protecting same from damage during construction, contact Alberta one call at 1-800-242-3447, commencement of work indicates completion of utility locates.
3. all drawings are property of landscape architect, site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
4. if discrepancies exist between drawings, the largest scale shall be taken as correct, final interpretation belongs to the landscape architect.
5. contractor to coordinate and attend all inspections and approvals required by the owner.
6. all drawings are metric unless otherwise noted.
7. all layout shall be approved on site by landscape architect prior to construction, contractor to notify owner's representative minimum 72 hours prior.
8. contractor shall refer to related disciplines as indicated on plan's where applicable.
9. all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o.
10. all grades provided all to finished grade, top of hard surfaces.
11. disturbance outside limit of construction line to repaired to the satisfaction of the owner's representative.

Tree Stats

public trees being removed	= 15
total trees provided	= 88
shrubs provided	= 05

Legend

symbol	description
---	sod
---	concrete -refer to arch
---	bark mulch
---	existing vegetation to be retained
---	existing vegetation to be removed
---	existing tree to be retained
---	existing tree to be removed
---	light standard to be removed - refer to civil
---	light standard to remain - refer to civil
---	signage to be removed - refer to civil

Existing Public Trees

No.	Species	Tree ID#	Notes/Remarks
01	aspen, quaking	T-50731600	retain
02	aspen, quaking	T-50731602	retain
03	aspen, quaking	T-50731601	remove
04	manitoba maple	T-51518611	remove
05	aspen, quaking	T-50729874	remove
06	aspen, quaking	T-50729875	remove
07	aspen, quaking	T-50729876	remove
08	aspen, quaking	T-50731597	remove
09	aspen, quaking	T-50729869	remove
10	aspen, quaking	T-50729880	remove
11	aspen, quaking	T-50729870	remove
12	aspen, quaking	T-50729868	remove
13	aspen, quaking	T-50729873	remove
14	aspen, quaking	T-50729872	remove
15	aspen, quaking	T-50731599	remove
16	aspen, quaking	T-50729879	remove
17	aspen, quaking	T-50729878	remove

Vegetation around washroom



Tree Protection Notes

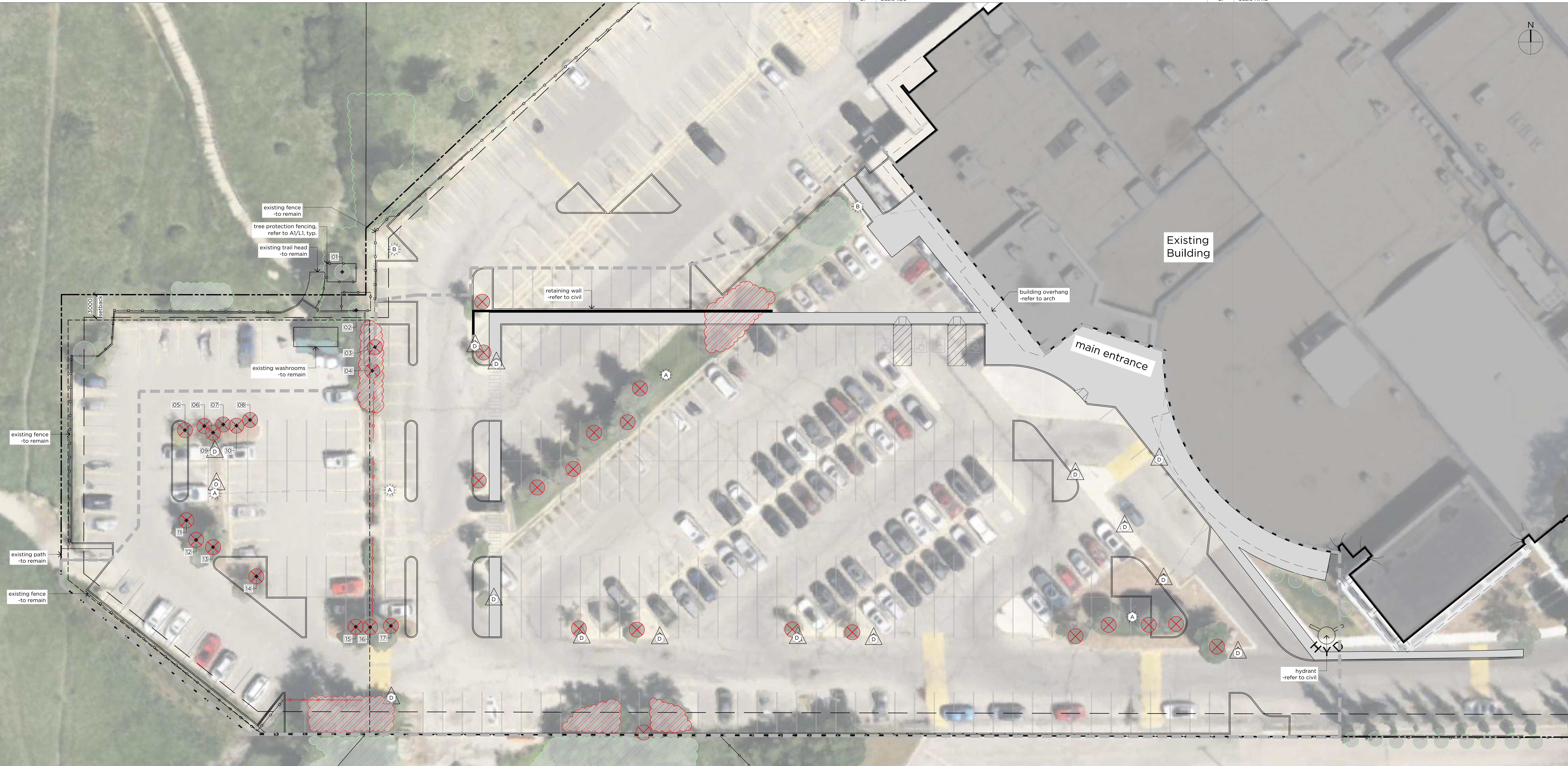
1. Contractor to verify limits of disturbance and reconcile field conditions with drawings and schedules if discrepancies exist.
2. The contractor shall report any discrepancies between site conditions illustrated to those existing at the time of construction to the owner's representative.
3. Contractor is responsible for locating utilities and protecting same from damage during construction, Contact Alberta One Call at 1800-242-3447 prior to installation of tree protection fencing.
4. Tree protection fencing is to be installed 4m away from tree trunk, where space is available a minimum of 1.2m height a bright, contrasting colour and durable.
5. Area within tree protection fencing with proposed construction is to be approached with caution - consult owner's representative prior to construction.
6. Fencing must not interfere with access to fire hydrants, intersections or traffic signage.
7. Tree protection fencing must be implemented and maintained for the duration of the project.
8. Contractor to ensure signage indicating the protected tree status provided by the City of Calgary is attached to each protective fence.
9. Contractor to conduct pre- and post-construction tree care measures including watering, mulch and soil aeration to ensure existing trees don't die from soil disturbance.
10. Those trees within any disturbance shall be watered biweekly throughout the active growing season.
11. Contractor to use anti-compaction devices to minimize root damage when working in close proximity to protective barriers.
12. Typical practice for construction methods and equipment will be used on City of Calgary lands to stub and decommission existing park irrigation from the project area and make adjustments to the boulevard to accommodate parking lot access.
13. The limit of disturbance illustrated includes all proposed land disturbances, excavation zones, trenching and grade changes.
14. No changes to existing street lighting, fire hydrants or utility boxes are proposed.
15. If canopy clearance or root pruning is necessary, Urban Forestry shall be given a minimum two days notice through 311. An approved tree contractor shall complete the work at the contractor's expense.
16. Open cut excavation to be used on public land.
17. Contact information for the Contractor responsible for ensuring work adheres to the approved Tree Protection Plan will be provided upon project award. Prior to construction, the following individual may be contacted for inquiries:

Jonathan Sagi, L.A. ground3 inc. landscape architects
jonathan.s@groundcubed.com

A1 Tree Protection Detail
L1 Scale 1:30

A2 Keymap
L1 Scale N.T.S

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A3 Tree Inventory & Protection Plan
L1 Scale 1:200

2 Issued for Development Permit 2025-01-30
1 Issued for Development Permit 2025-01-17
No. Description Date (YYYY-MM-DD)
Issued For / Revisions
Project Project Number: 24.309
Calgary Winter Club
Legal Description Building Permit No.
Development Permit No. DSSP No.
350,140-10 Ave SE
Calgary, Alberta,
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077
Drawing Title
Tree Inventory
and Protection Plan
Drawn by: CS Scale
Reviewed by: JS 1:200
Manager: JS Date (YYYY-MM-DD)
Tech Review: 2025.01.22
Drawing Number
L1
Revision Number

Utility & Linetype Legend

symbol	description
	property line
	setback line
	existing fence
	existing fence to be removed
	existing chain link fence
	electrical line - refer to civil
	public parking boundary
	limit of disturbance

Legend

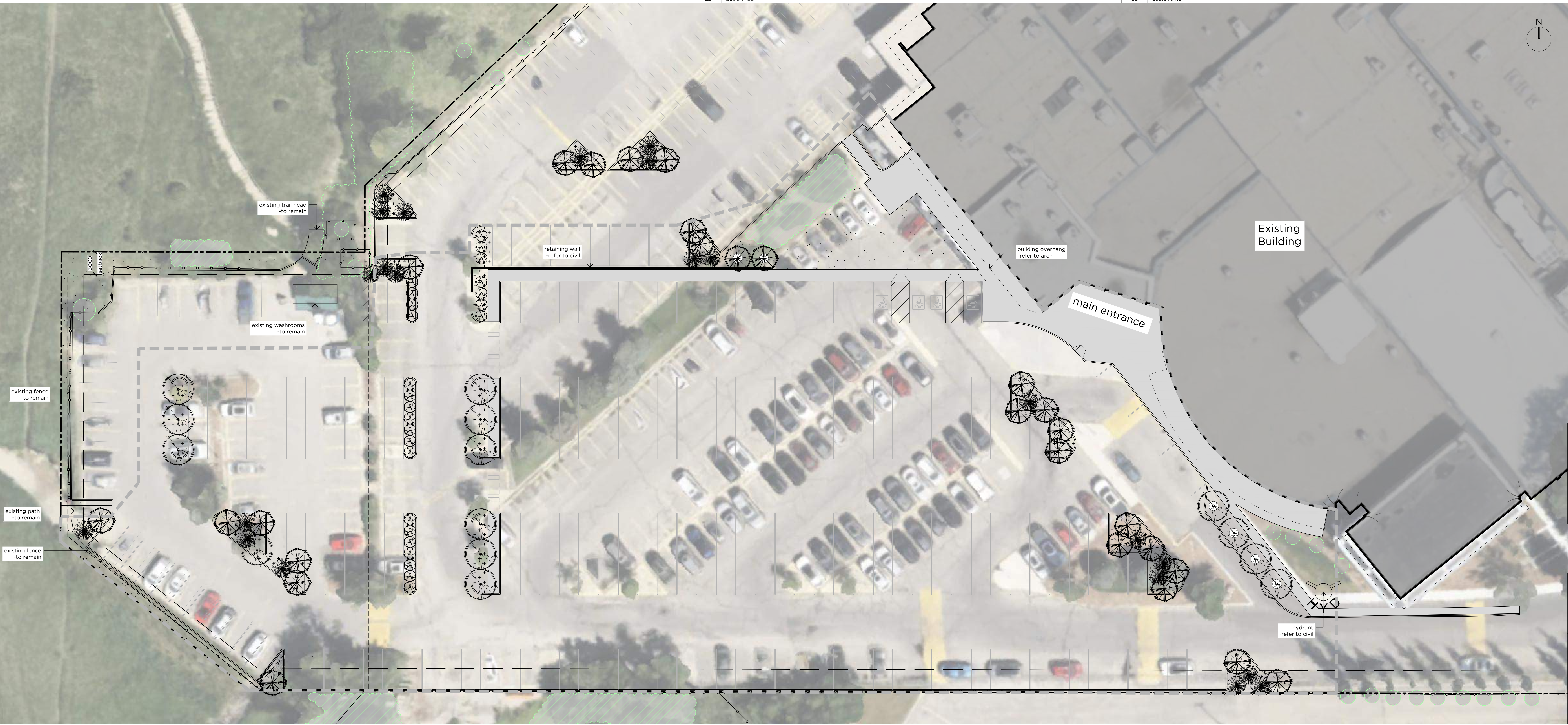
symbol	description
	sod
	concrete
	bark mulch
	existing vegetation to be retained
	existing tree to be retained

Proposed Plant List for Trees

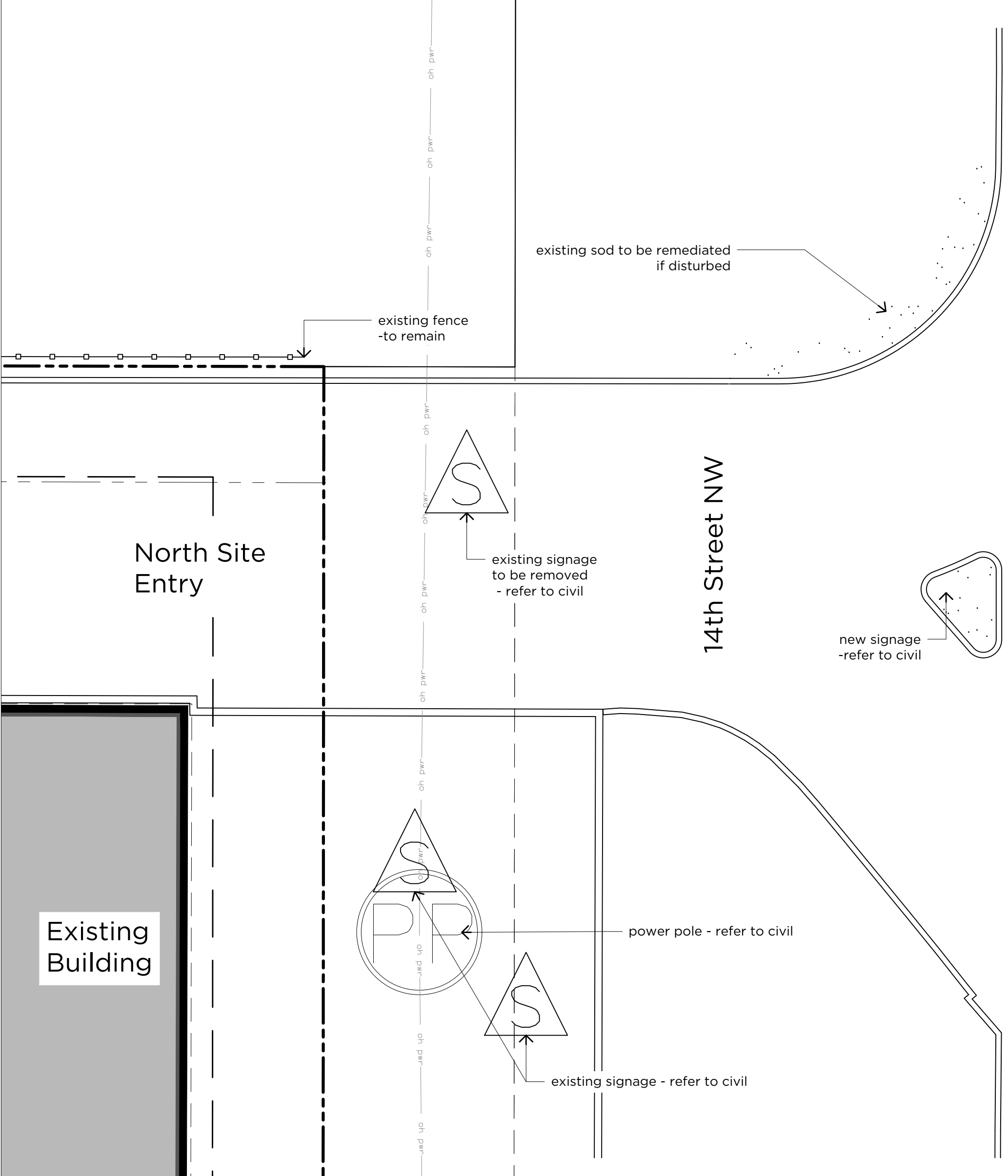
number	symbol	description
39		trees - 50mm caliper
		• patmore green ash <i>fraxinus pennsylvanica 'patmore'</i>
27		• columnar swedish aspen <i>populus tremula 'erecta'</i>
		trees - 75mm caliper/3.0m ht.
		• assiniboine poplar <i>populus 'assiniboine'</i>
22		• colorado spruce <i>picea pungens</i>

Proposed Plant List for Shrubs

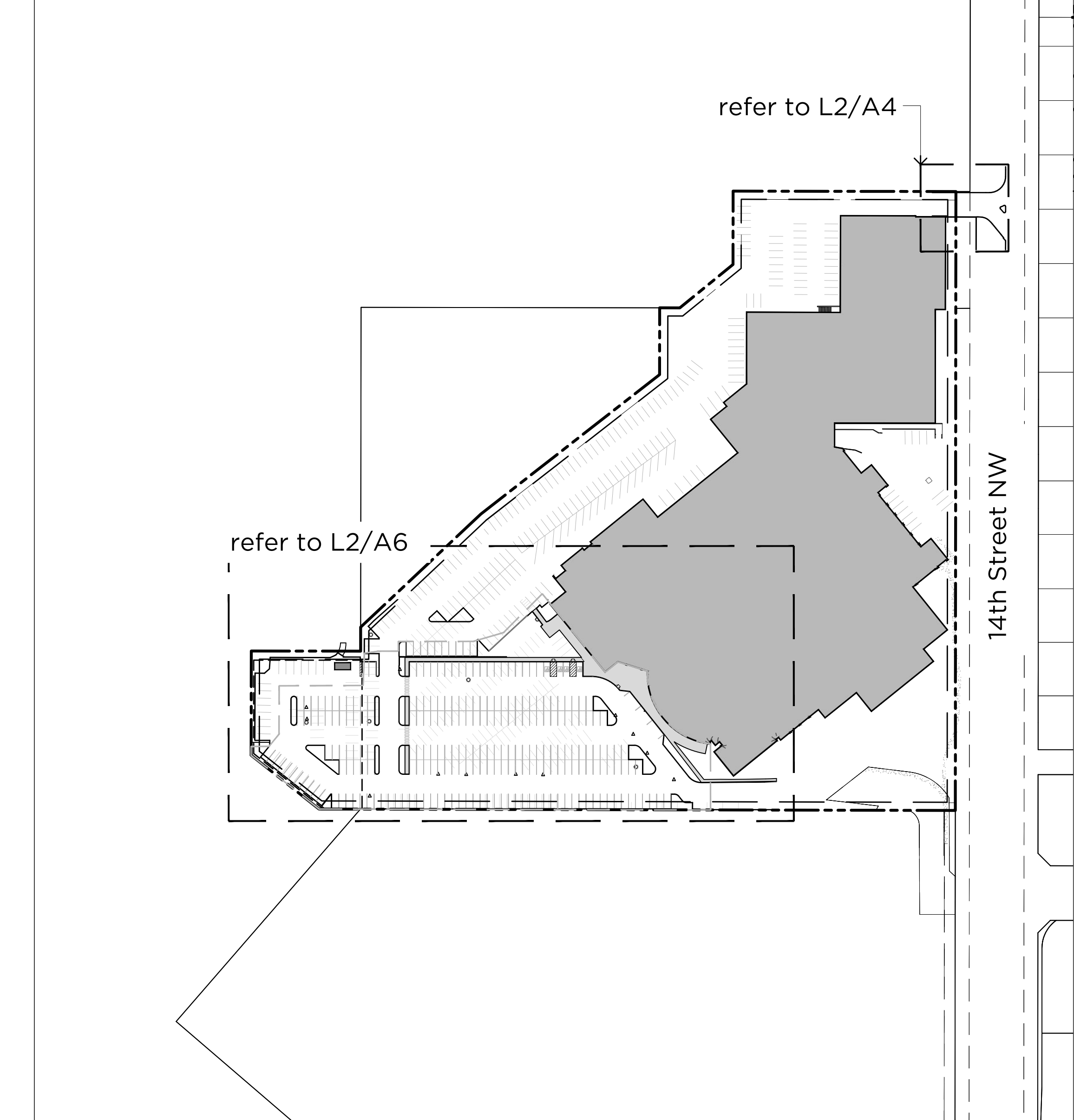
number	symbol	description
05		• snow berry <i>symphoricarpos albus</i>
		800 sp / 14 ± 900-2000 mature min. #2 container size



A6 Landscape Plan
L2 Scale 1:200



A4 North Site Entrance
L2 Scale 1:100



A5 Keymap
L2 Scale N.T.S

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groundcubed

WATT Consulting Group

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No. Description Date (YYYY-MM-DD)

Issued For / Revisions

Project Project Number: 24.309

Calgary Winter Club

Legal Description Building Permit No.
Development Permit No. DSSP No.

350,140-10 Ave SE
Calgary, Alberta,
T2G 0R1
Ph: 403.233.2000
GGA-ARCHITECTURE Fax: 403.264.2077

Drawing Title

Landscape Plan

Drawn by: CS Scale
Reviewed by: JS 1:200
Manager: JS Date (YYYY-MM-DD)
Tech Review: 2025.01.22

Drawing Number

L2

Revision Number