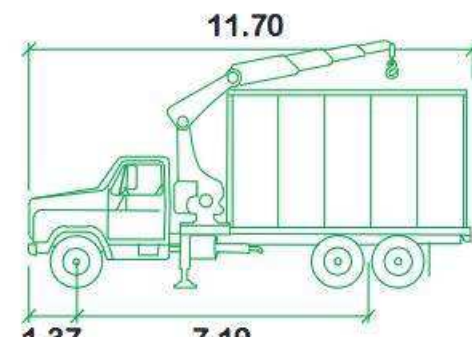


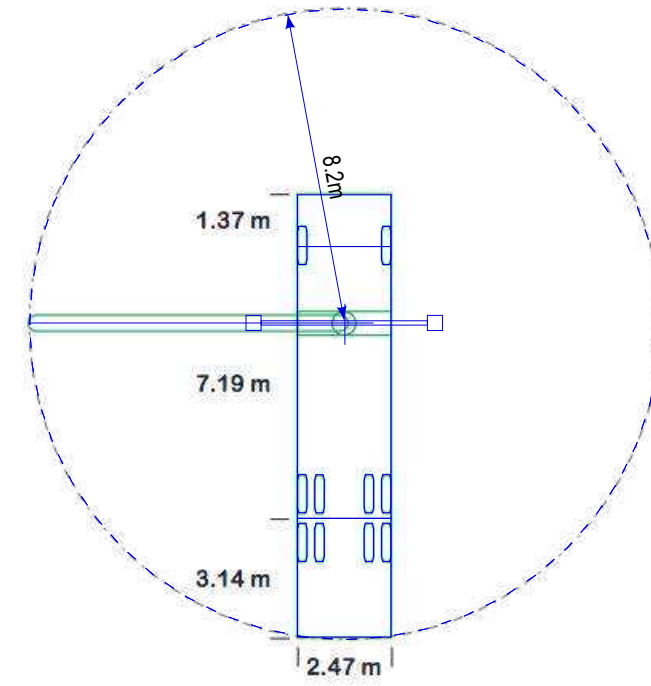


Molok
Width : 2.47
Track : 2.47
Lock to Lock Time : 6.0
Steering Angle : 53.0

NOTE: LOCATIONS OF OUTRIGGER PLACEMENTS TO BE ABLE TO WITHSTAND COLLECTION VEHICLE OUT RIGGER POINT LOADS

Collection Truck Crane Reach

0M 5M 10M



SITE INFORMATION

MUNICIPAL ADDRESS: 1210 COPPERFIELD BOULEVARD S.E.
LEGAL DESCRIPTION: LOT 1, BLOCK 42, PLAN 181 1719
PROPOSED ZONING: C-COR111.2h13 (COMMERCIAL - CORRIDOR 1)
SITE AREA: 3277.79 m² (± 0.328 ha)
FLOOR AREA: MAIN: 1112.9 sq. m.
SECOND: 1332.45 sq. m.
THIRD: 1332.45 sq. m.
3777.80 sq. m.
F.A.R.: 1.15

PARKING

RESIDENTS SPACES PROVIDED
RESIDENTS = 30 SPACES
VISITORS = 2 SPACES
COMMERCIAL SPACES PROVIDED = 15
32 CLASS 1 SPACES PROVIDED (RESIDENTS)
12 CLASS 2 SPACES PROVIDED
1 LOADING SPACE PROVIDED

LANDSCAPING

3.0m SOUTH SETBACK AGAINST RESIDENTIAL:
REQUIRED: 102 sq. m. /35 = 3 TREES & 6 SHRUBS
PROVIDED: 9 LARGE DECIDUOUS, 1 LARGE CONIFEROUS, 6 SHRUBS
3.0m SOUTH SETBACK AGAINST LANE:
124 sq. m. /35 = 4 TREES & 8 SHRUBS
PROVIDED: 10 LARGE DECIDUOUS, 1 LARGE CONIFEROUS, 8 SHRUBS

PLANTING LEGEND

KEY	ITEM	SIZE
	LARGE DECIDUOUS TREES - Swedish Columnar Aspen (Mature)	85mm ±4.5m HT.
	LARGE CONIFEROUS TREES - Colorado Spruce	3.5m

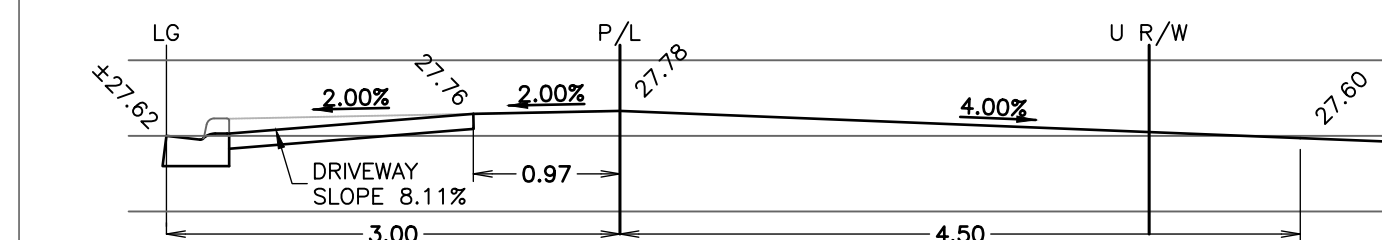
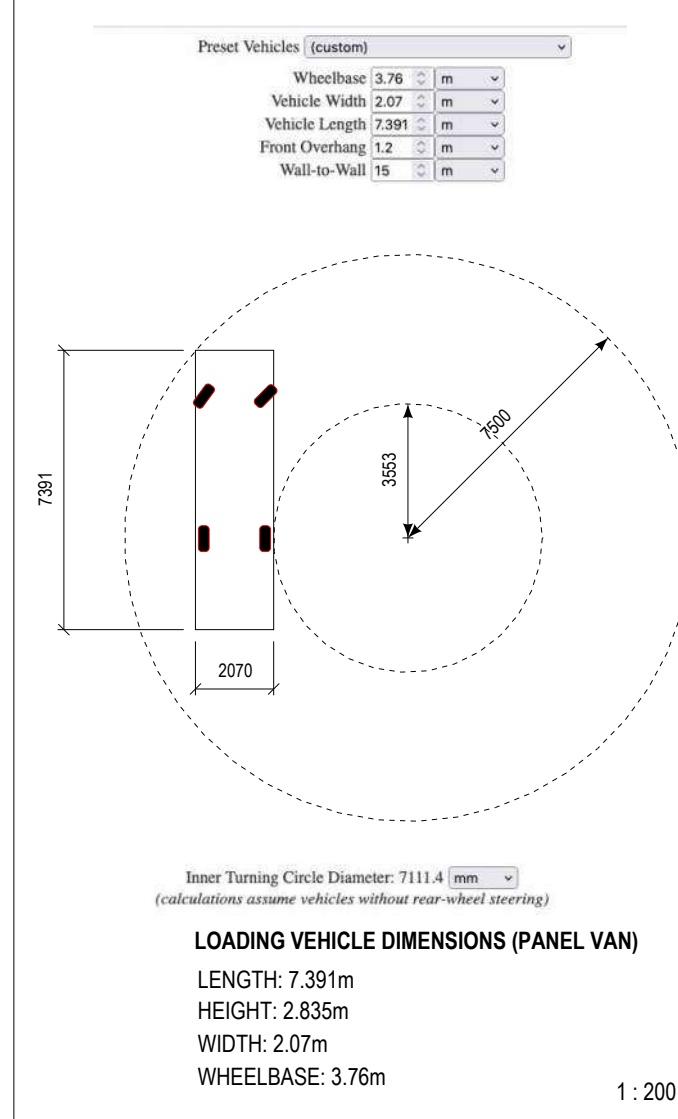
SHRUBS

- DECIDUOUS SHRUBS - MIN. 600 htspread
- CONIFEROUS SHRUBS - MIN. 600mm htspread
- SELECT FROM THE FOLLOWING SPECIES:
 - MUGO PINE; GLOBE CEDAR; HIGHBUSH CRANBERRY; POTENTILLA.
 - SAVIN JUNIPERS; HANSA ROSE; CREEPING JUNIPER; FLOWERING
- SHRUB BEDS: MIN. 2" LOOSE LAID RUNDLE STONE SHALE BED OVER WEED CONTROL MATT & STERILIZED SUBSOIL 600mm MIN. SOIL DEPTH
- SHRUB BEDS TO BE DESIGNED TO PROVIDE YEAR ROUND ENHANCEMENT, USING PLANTS TO LOCAL AREA ACCEPTABILITY.

	EXISTING GRASS
	PROPOSED GRASS/SOD
	CONCRETE PAVERS
	WASHED GRAVEL
	LAYERED ORNAMENTAL GRASSES - vary heights - drought tolerant - shade resistant in northern exposure
	1.2m x 1.2m x 0.6m H. FIBREGLASS PLANTER (moveable)

PUBLIC TREE SCHEDULE

1080	ULMUS AMERICANA	0.11m
1081	ULMUS AMERICANA	0.11m
1082	ULMUS AMERICANA	0.12m
1083	ULMUS AMERICANA	0.07m
1102	ULMUS AMERICANA	0.11m
1103	ULMUS AMERICANA	0.11m
1104	ULMUS AMERICANA	0.12m
1105	ULMUS AMERICANA	0.12m
1106	TILIA FLAVESCENS	0.07m



DRIVEWAY SECTION
SCALE: 1:50

SITE PLAN

SCALE: 1: 200
NOTE: SEE CIVIL DSSP AND GRADING PLANS FOR BALANCE OF SITE SERVICING AND GRADING INFORMATION

±108.93	EXISTING GRADE
±107.35	PROPOSED GRADE

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Project:

**PROPOSED
MIXED USE
DEVELOPMENT**

**1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA**

Revisions:

AMENDED DRAWINGS
DP No Date Received
DP2025-00302 11 03 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

Drawing Title:

Site Plan

JOB No. 24-145
DATE: May 7/25
DRAWN: MM

DP -1.0



BUILDING MOUNTED SIGNAGE

- SHOWN FOR REFERENCE ONLY - NOT INCLUDED IN THIS APPLICATION
- MESSAGE & LOGO AS PER TENANT
- INTERNALLY ILLUMINATED
- CONCEALED FASTENERS AND POWER SUPPLY
- 450mm MAXIMUM LETTER/LOGO HEIGHT

EXTERIOR FINISHES

1. SMART BOARD - PAINTED - WHITE
2. PREFIN. HORIZONTAL VINYL SIDING - IRON ORE C/W WHITE VINYL TRIM
3. SMARTBOARD - PAINTED - COLOUR TO MATCH IRON ORE
4. PREFIN. HORIZONTAL. WOOD LOOK METAL SIDING - CEDAR
5. STOREFRONT - CLEAR GLAZING C/W CLEAR ANODIZED ALUMINIUM FRAMES
6. CLEAR GLAZING, PVC FRAMES, SMART BOARD TRIM PAINTED - WHITE
7. ALUMINUM RAILING - BLACK
8. PREFIN. METAL FLASHING - BLACK/WHITE
9. CONCRETE COLUMNS - PAINTED TO MATCH IRON ORE

NORTH ELEVATION

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 100



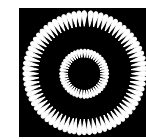
EAST ELEVATION

SCALE: 1 : 100



SOUTH ELEVATION

SCALE: 1 : 100



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Project:

PROPOSED MIXED USE DEVELOPMENT

**1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA**

Revisions:

FEB 14/25 REVISED METER RM. AND PRINCIPAL ENTRANCE
LOCATION. ADDED GRADING INFO

APR 22/25 REVISED PERMIT DECISION

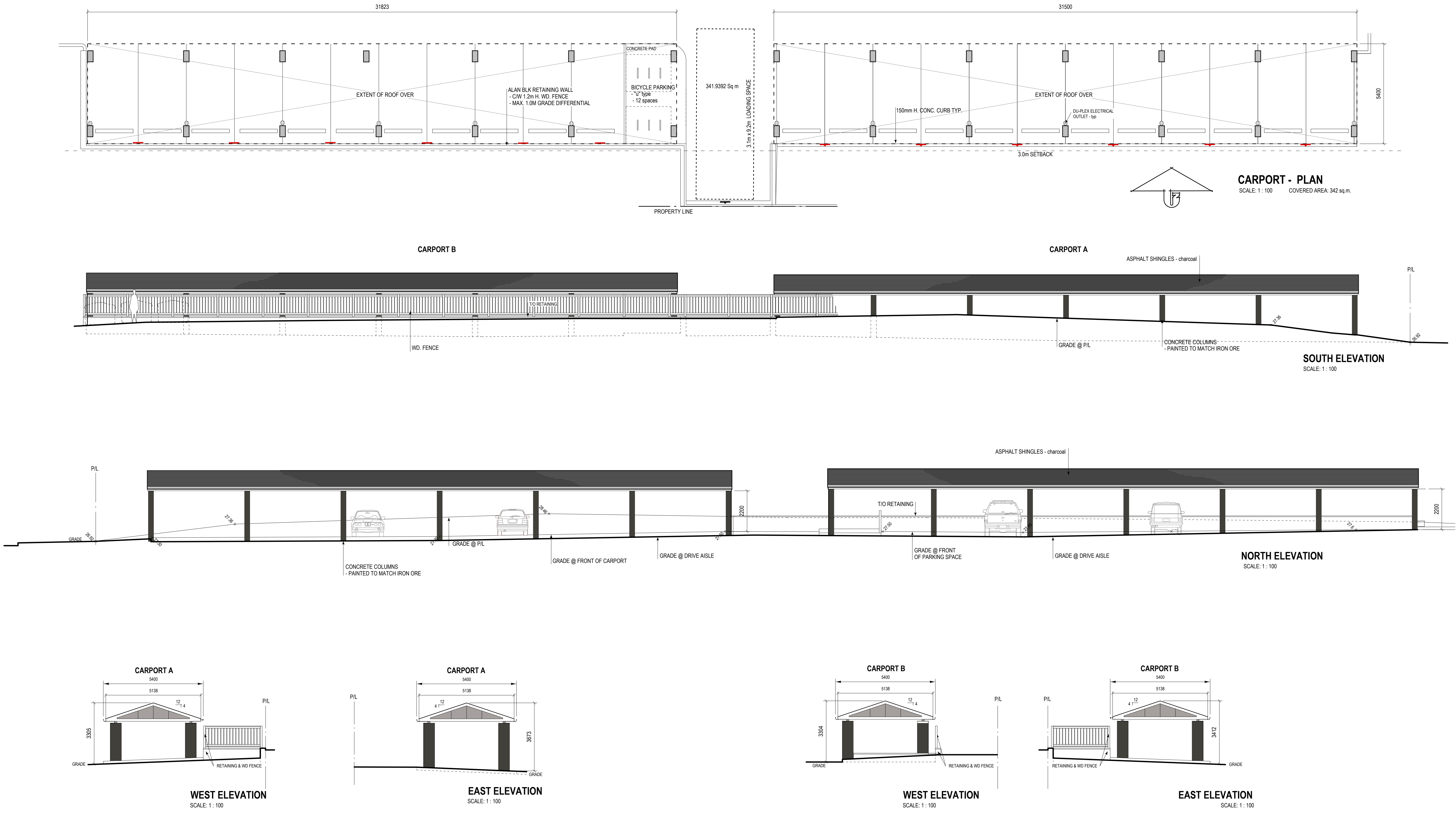
AMENDED DRAWINGS
DP No. DP2025-00302
Date Received 11 03 2025
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ABOVE DEVELOPMENT PERMIT NO.

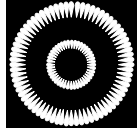
Drawing Title:

Elevations

JOB No. 24-145
DATE: May 7/25
DRAWN: MM

DP - 6.0





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Project:

**PROPOSED
MIXED USE
DEVELOPMENT**

**1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA**

Revisions:

AMENDED DRAWINGS

DP No: DP2025-00302 Date Received: 11 03 2025

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

Drawing Title:

**Carport Plan
& Elevations**

JOB No. 24-145
DATE: May 8/25
DRAWN: MM

DP - 7.0