

Rick Balbi Architect Ltd.
5917 11th A Street SW
Calgary, Alberta, T2H 0G4
403 253 2853, 403 253 3078 Fax

AMENDED DRAWINGS
DP No Date Received
DP2025-00302 02 24 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

PROPOSED
MIXED USE
DEVELOPMENT

1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA

Revisions:
FEB 14/25 REVISED METER RM AND PRINCIPAL ENTRANCE
LOCATION, ADDED GRADING INFO

Site Plan

JOB No. 24-145
DATE: Jan 16/25
DRAWN: MM

DP -1.0

SITE INFORMATION

MUNICIPAL ADDRESS: 1210 COPPERFIELD BOULEVARD S.E.
LEGAL DESCRIPTION: LOT 1, BLOCK 42, PLAN 181 1719
PROPOSED ZONING: C-COR1H1.2h13 (COMMERCIAL - CORRIDOR 1)
SITE AREA: 3277.79 m² (± 0.328 ha)

FLOOR AREA: MAIN: 1115.65 sq.m.
SECOND: 1323.30 sq.m.
THIRD: 1323.30 sq.m.
3762.25 sq.m.

F.A.R.: 1.15

PARKING

DWELLING UNITS:
RESIDENTS = 30 x 0.9 = 27 RESIDENT SPACES,
VISITORS = 13 x 0.1 = 2 VISITOR SPACES

48 SPACES PROVIDED

C.R.U.s = 1028.43/250 = 5 CLASS 2 spaces REQUIRED
DWELLING = 0 spaces REQUIRED

8 CLASS 2 SPACES PROVIDED

LANDSCAPING

REQUIRED: 724.15 sq.m. (total setback area)

PROVIDED:

SOFT:

GRASS/SOD 599.26 sq.m.

HARD:

CONCRETE, BROOM FINISH, NATURAL 211.4 sq.m.

TOTAL: 810.66 sq.m.

PLANTINGS:

REQUIRED: 1 TREE + 2 SHRUBS PER 35 sq.m. = 724.15/35 = 21 TREES + 42 SHRUBS

PROVIDED:

TREES

KEY	ITEM	QTY.	SIZE
	LARGE DECIDUOUS TREES - Brandon Elm - Green Ash	7	85mm
	SMALL DECIDUOUS TREES - Black Ash - Mayday - Mountain Ash	7	60mm
	CONIFEROUS TREES - Colorado Spruce	7	3.5m

SHRUBS

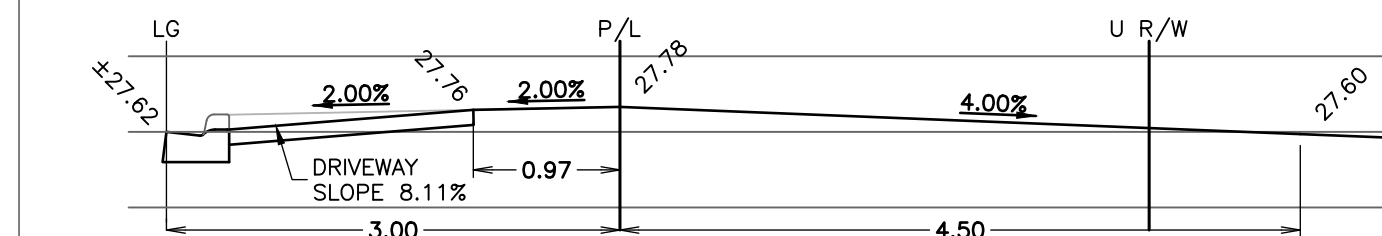
45

- SHRUB BEDS: MIN. 2' BARK CHIP MULCH BED OVER
WEED CONTROL MATT & STERILIZED SUBSOIL
- SHRUB BEDS TO BE DESIGNED TO PROVIDE YEAR
ROUND ENHANCEMENT USING PLANTS TO LOCAL
AREA ACCEPTABILITY.
- SHRUBS TO BE PLANTED IN MASSES CONSISTING OF
NO FEWER THAN 5 PLANTS OF EACH SPECIES USED
- CONIFEROUS SHRUBS - MIN. 24" (600MM) HT.
- DECIDUOUS SHRUBS - MIN. 24" (600MM) HT.
OR SPREAD.
- PROVIDE A 2:1 RATIO OF DECIDUOUS TO
CONIFEROUS SHRUBS.

NOTE: ALL LANDSCAPED AREAS TO BE IRRIGATED W/
UIG SPRINKLER SYSTEM

PUBLIC TREE LEGEND

POINT #	TYPE	CALLIPER (m)	CANOPY (m)	STATUS
1087	DECIDUOUS	0.10m	2.00m	REMAIN
1091	DECIDUOUS	0.10m	2.00m	REMAIN
1092	DECIDUOUS	0.10m	2.00m	REMAIN
1093	DECIDUOUS	0.10m	2.00m	REMAIN
1094	DECIDUOUS	0.10m	2.00m	REMAIN
1102	DECIDUOUS	0.10m	2.00m	REMAIN
1103	DECIDUOUS	0.10m	2.00m	REMAIN
1104	DECIDUOUS	0.10m	2.00m	REMAIN
1105	DECIDUOUS	0.10m	2.00m	REMAIN
1106	DECIDUOUS	0.10m	2.00m	REMAIN



DRIVEWAY SECTION

SCALE: 1:50

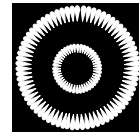
SITE PLAN

SCALE: 1:200

NOTE: SEE CIVIL DSSP AND GRADING PLANS FOR BALANCE OF
SITE SERVICING AND GRADING INFORMATION

DO NOT SCALE DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK.

THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF RICK BALBI ARCHITECT LTD. AND CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.



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CALGARY, ALBERTA**

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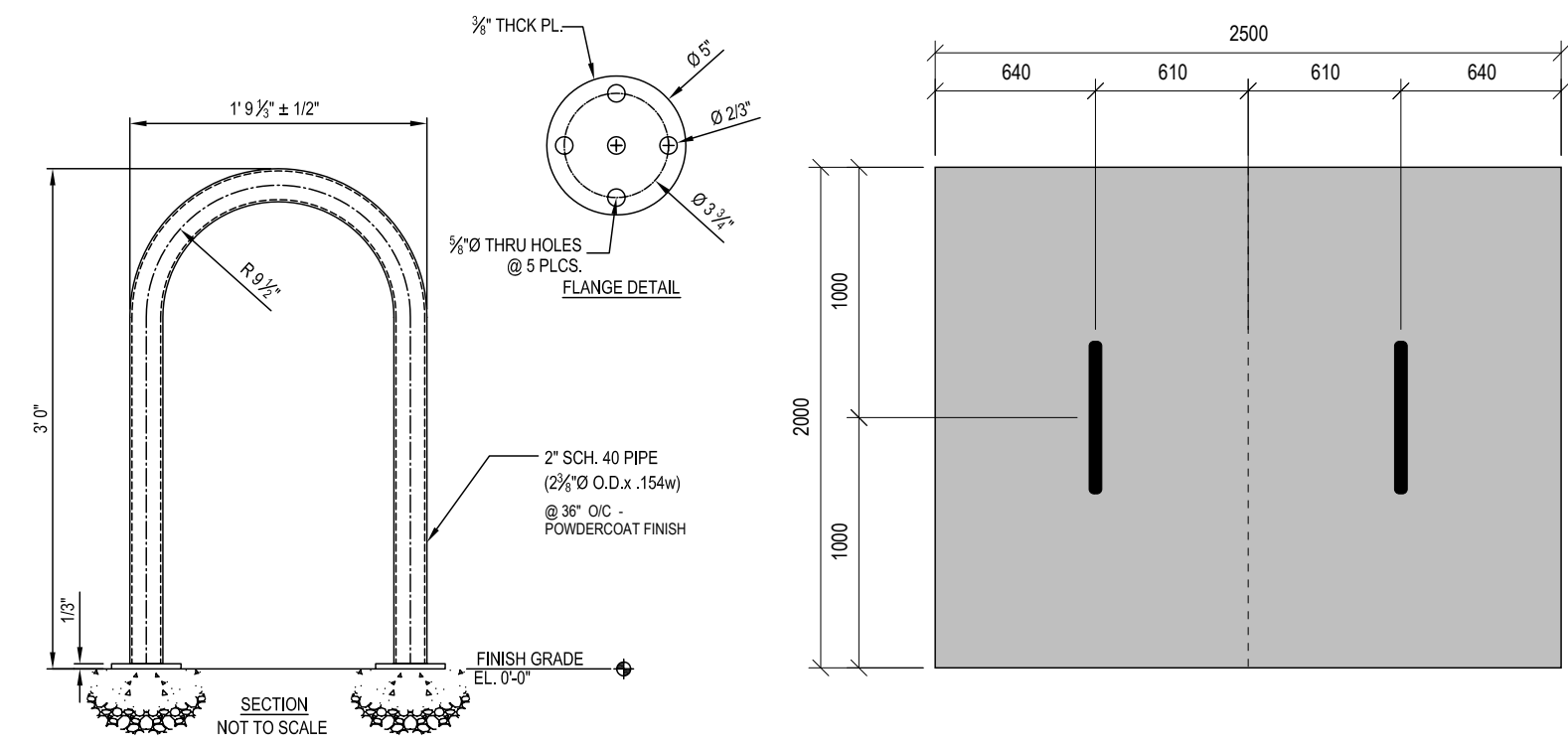
Site Details

JOB No. 24-145
DATE: Jan 16/25
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DP -1.1

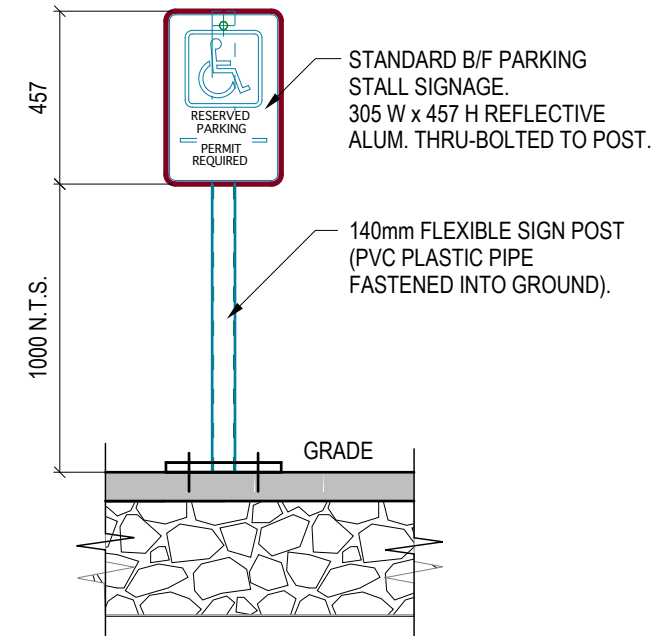
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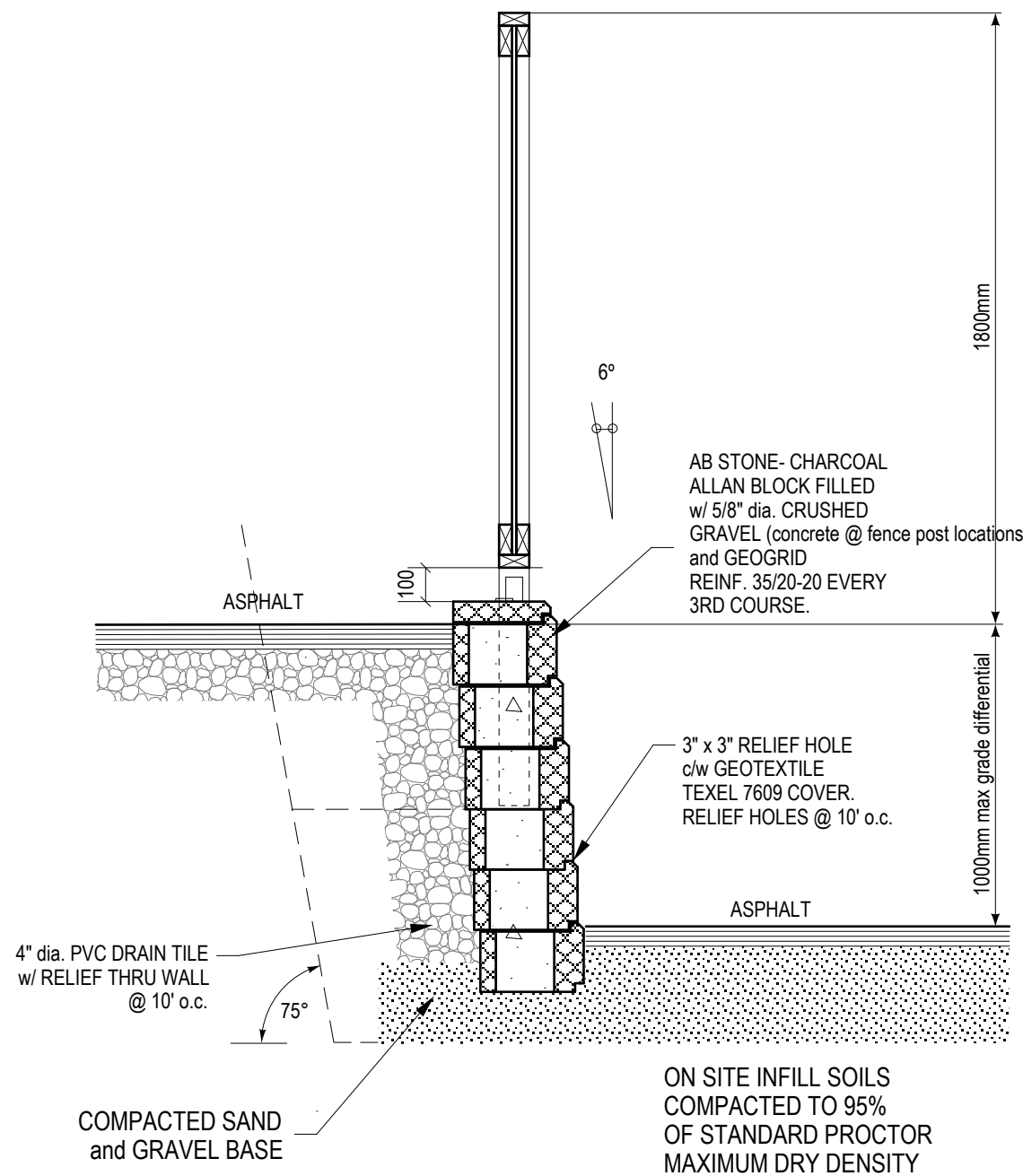


BICYCLE PARKING DETAIL
SCALE: 1:30

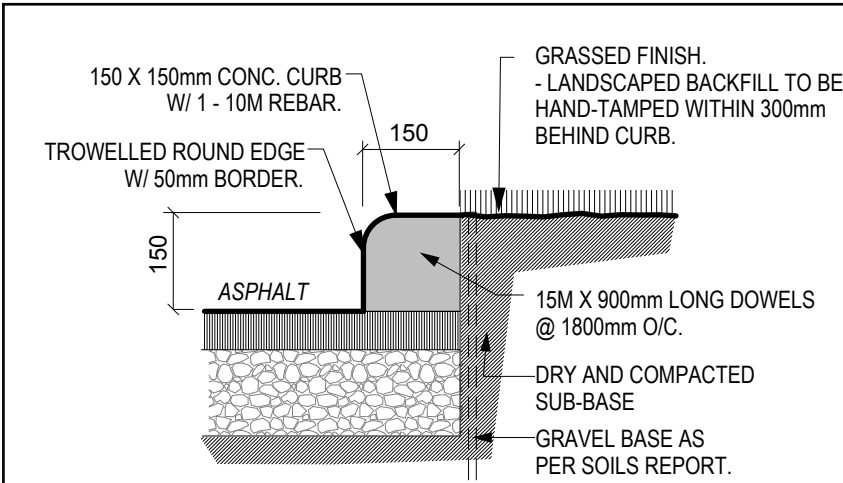
- NOTES:**
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS
 3. CONTACT MANUFACTURER FOR CUSTOM COLORS
 4. CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION, VISIT www.CADdetails.com/info - REFERENCE NUMBER 474-022F



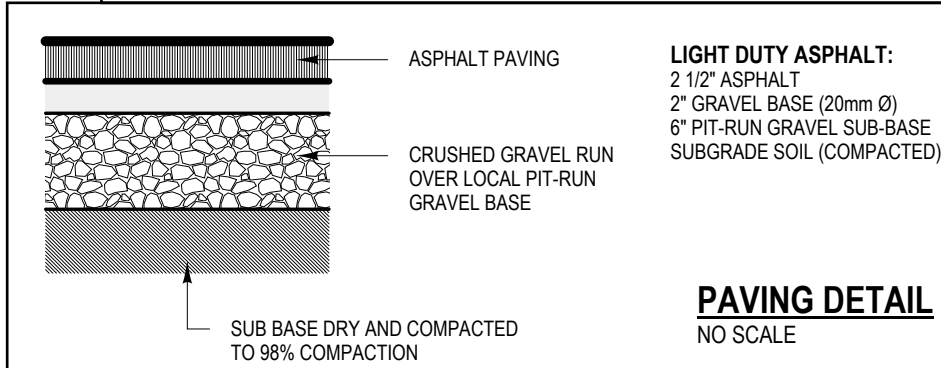
ELEVATION at B/F SIGN
SCALE: 1:20



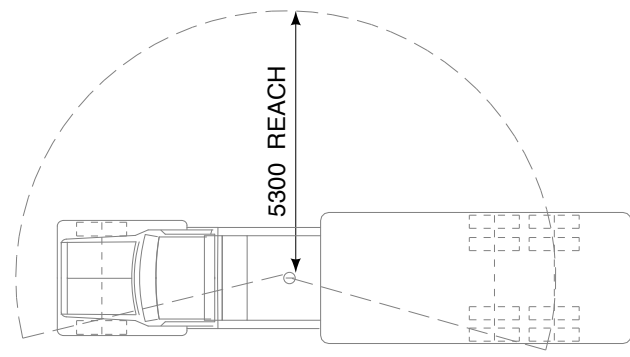
DETAIL - ALLAN BLOCK RETAINING WITH FENCE
SCALE: 1:20



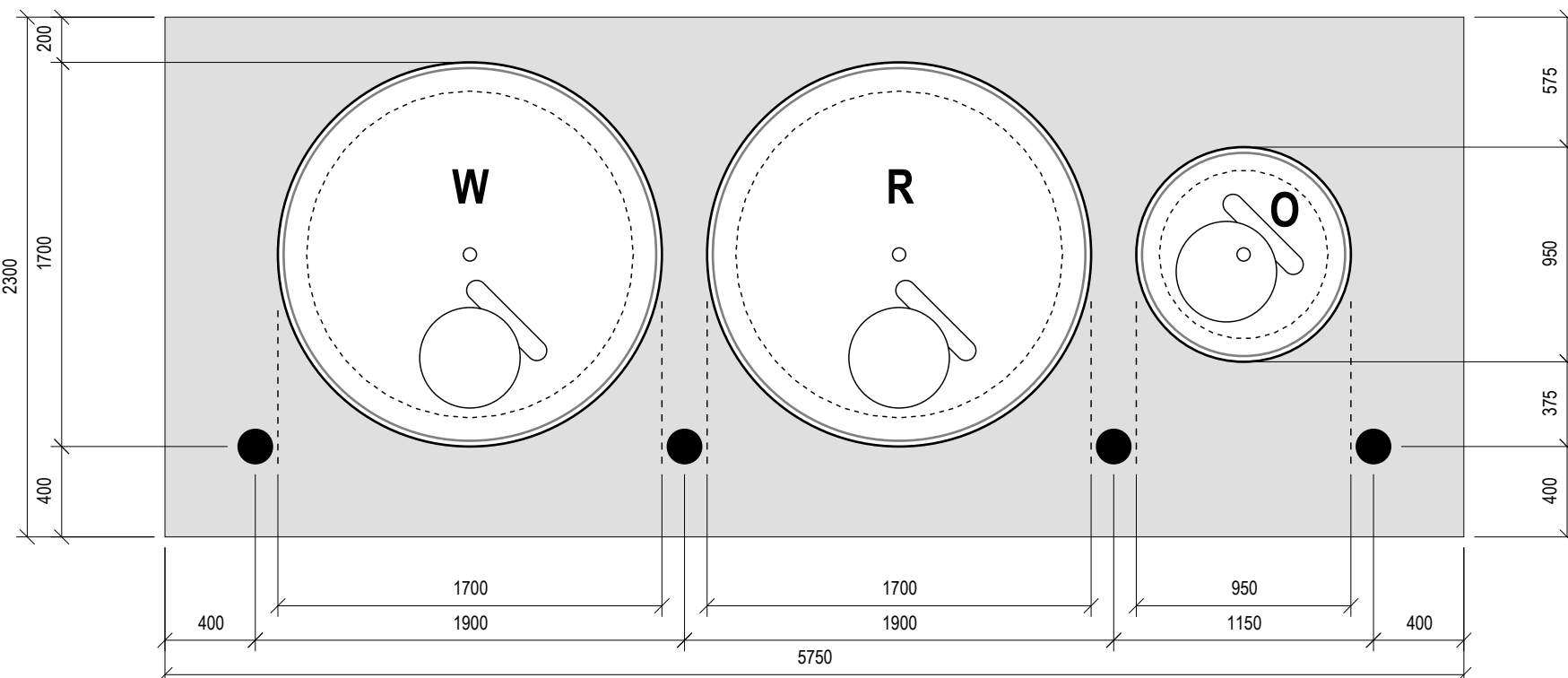
PINNED CONCRETE CURB DETAIL
SCALE: 1:10



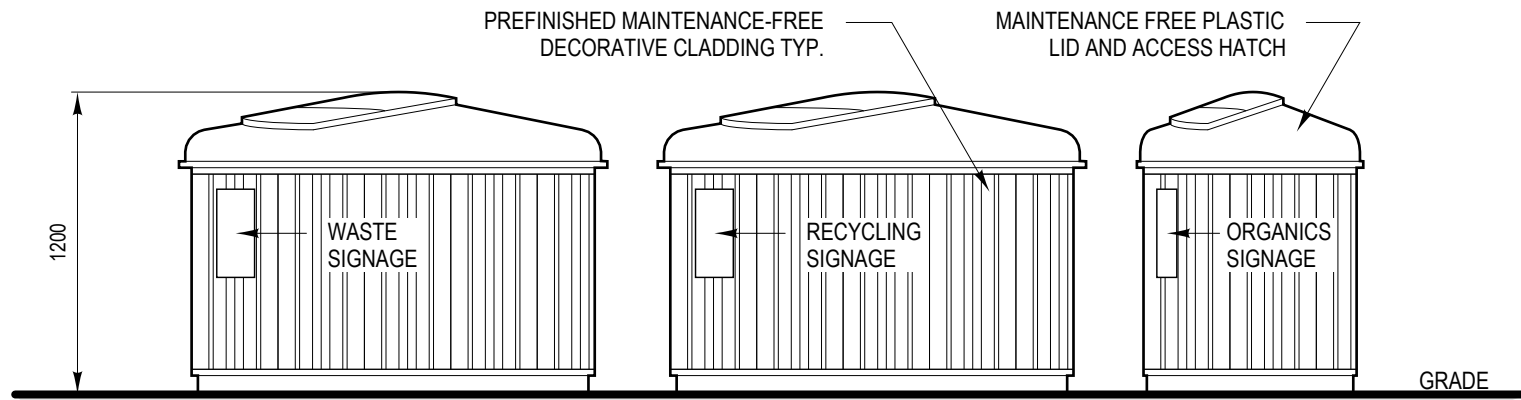
PAVING DETAIL
NO SCALE



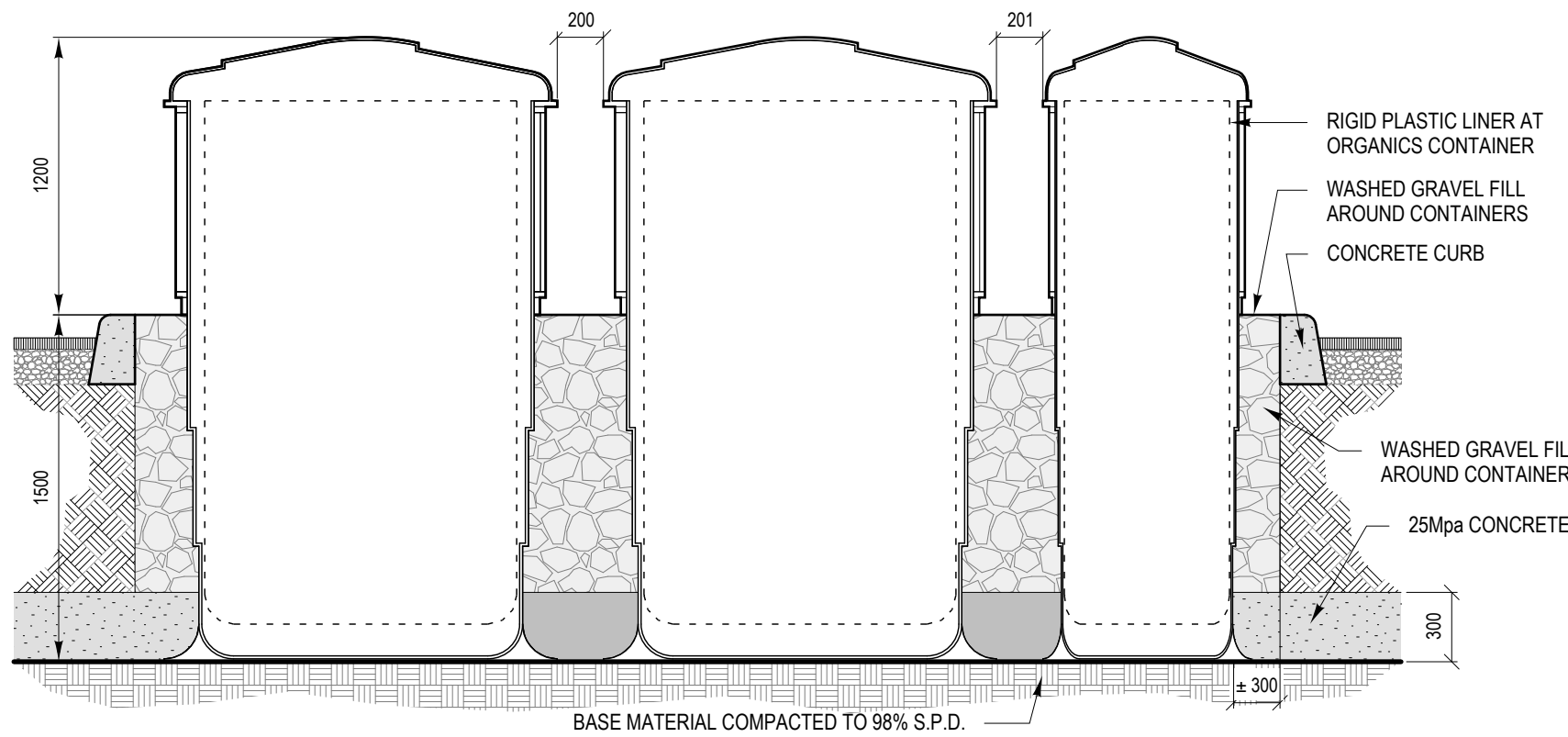
MOLOK TRUCK (SU-9)
SCALE: 1:150



PLAN at COLLECTION AREA
SCALE: 1:30



ELEVATION at COLLECTION AREA
SCALE: 1:30



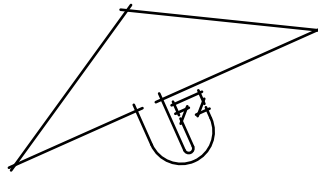
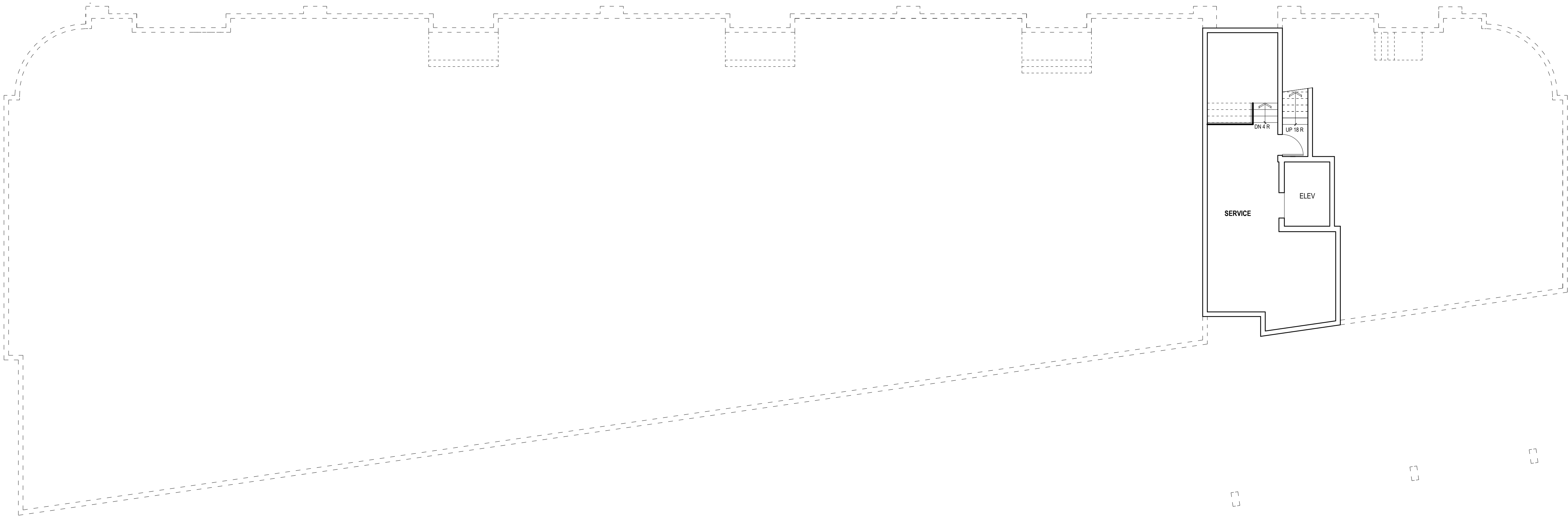
SECTION at COLLECTION AREA
SCALE: 1:30

- WASTE & RECYCLING NOTES**
- CONFIRM SITE PREPARATION, INSTALLATION REQUIREMENTS & CLEARANCES WITH MOLOK SYSTEM PRIOR TO CONSTRUCTION
 - MOLOK EQUIPMENT SUPPLIER TO CONFIRM EQUIPMENT & BOLLARD LOCATIONS & REQUIRED CLEARANCES PRIOR TO INSTALLATION.
 - THE TOTAL EXPOSED HEIGHT OF MOLOK CONTAINERS WILL BE APPROXIMATELY 1200mm WITH THE REMAINDER OF THE CONTAINER BURIED BELOW GRADE.
 - PROVIDE 6.8m VERTICAL CLEARANCE FOR DUMPING OF BINS FOR FRONT PICK-UP. CONFIRM HORIZONTAL CLEARANCE FOR PICK-UP ARM TO SWING AROUND TO REAR OF VEHICLE FOR DUMPING.
 - ROADWAY FOR COLLECTION VEHICLE ROUTE OF APPROACH, UNLOADING & BACK-UP SHALL BE STRUCTURALLY CAPABLE OF SUPPORTING A 25,000 kg LOAD.
 - THE MAXIMUM GRADE OF THE ENCLOSURE STAGING PAD & ROUTE TO & FROM THE STAGING AREA, SHALL BE MAXIMUM 2% IN ANY DIRECTION.
 - WASTE & RECYCLING FACILITIES:
 - ONE 6.5 cu.yd. BIN FOR WASTE M500
 - ONE 6.5 cu.yd. BIN FOR RECYCLING M500
 - ONE 1.7 cu.yd. BIN FOR ORGANICS M1300
 - PICK UP PROTOCOL:
 - FRONT ACCESS PICKUP ON SITE.
 - PICK UP BY PRIVATE COMPANY; TIMING TO BE DETERMINED.

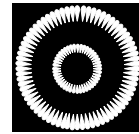


SCHEMATIC OF BURIED CONTAINER
NOTE: SIZE OF CONTAINERS IN PHOTO MAY NOT BE THE SAME AS THE PROPOSED CONTAINER SIZE.

**"MOLOK" IN GROUND, CONTAINERIZED
WASTE & RECYCLING SYSTEM DETAILS**
SCALES AS NOTED



BASEMENT PLAN
SCALE: 1 : 100 AREA: 65.22 sq.m. (702 sf)



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Revisions:
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LOCATION

Drawing Title:

Basement Plan

JOB No. 24-145
DATE: Jan 16/25
DRAWN: MM

DP - 2.0

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BUILDING MOUNTED SIGNAGE

- SHOWN FOR REFERENCE ONLY - NOT INCLUDED IN THIS APPLICATION
- MESSAGE & LOGO AS PER TENANT
- INTERNALLY ILLUMINATED
- CONCEALED FASTENERS AND POWER SUPPLY
- 450mm MAXIMUM LETTER/LOGO HEIGHT

EXTERIOR FINISHES

1. CEMENTITIOUS PANEL SYSTEM - JAMES HARDIE OR APPROVED EQUAL
- ARCTIC WHITE (E.I.F.S. ALTERNATE)
2. CEMENTITIOUS PANEL SYSTEM - JAMES HARDIE OR APPROVED EQUAL
- AGED PEWTER (E.I.F.S. ALTERNATE)
3. CEMENTITIOUS PANEL SYSTEM - JAMES HARDIE OR APPROVED EQUAL
- PEARL GREY (E.I.F.S. ALTERNATE)
4. CEMENTITIOUS PANEL SYSTEM - JAMES HARDIE OR APPROVED EQUAL
- RICH ESPRESSO (E.I.F.S. ALTERNATE)
5. CULTURED STONE VENEER - MOUNTAIN LEDGE OR APPROVED EQUAL
6. CLEAR GLAZING, PVC FRAMES, HARDIE TRIM AND SILL - ARCTIC WHITE
7. CLEAR GLAZING - CLEAR ANODIZED ALUMINUM FRAMES
8. PREFIN. METAL CLADDING - BLACK
9. PREFIN. METAL RAILING W/ TEMPERED GLASS PANELS
10. PREFIN. METAL FLASHING - BLACK/WHITE
11. CONCRETE COLUMNS - PAINTED TO MATCH JAMES HARDIE - RICH ESPRESSO

ARCHITECTURAL LIGHTING - TYPICAL
- DECK AND AT GRADE WAY FINDING
- LED, WEATHERPROOF FIXTURES
- CUT OFF TO ELIMINATE LIGHT BLEED BEYOND P/L

NORTH ELEVATION

SCALE: 1: 100



WEST ELEVATION

SCALE: 1: 100



EAST ELEVATION

SCALE: 1: 100



SOUTH ELEVATION

SCALE: 1: 100



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1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA

Revisions:

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LOCATION ADDED GRADING INFO

Drawing Title:

Elevations

JOB No. 24-145
DATE: Jan 16/25
DRAWN: MM

DP - 6.0



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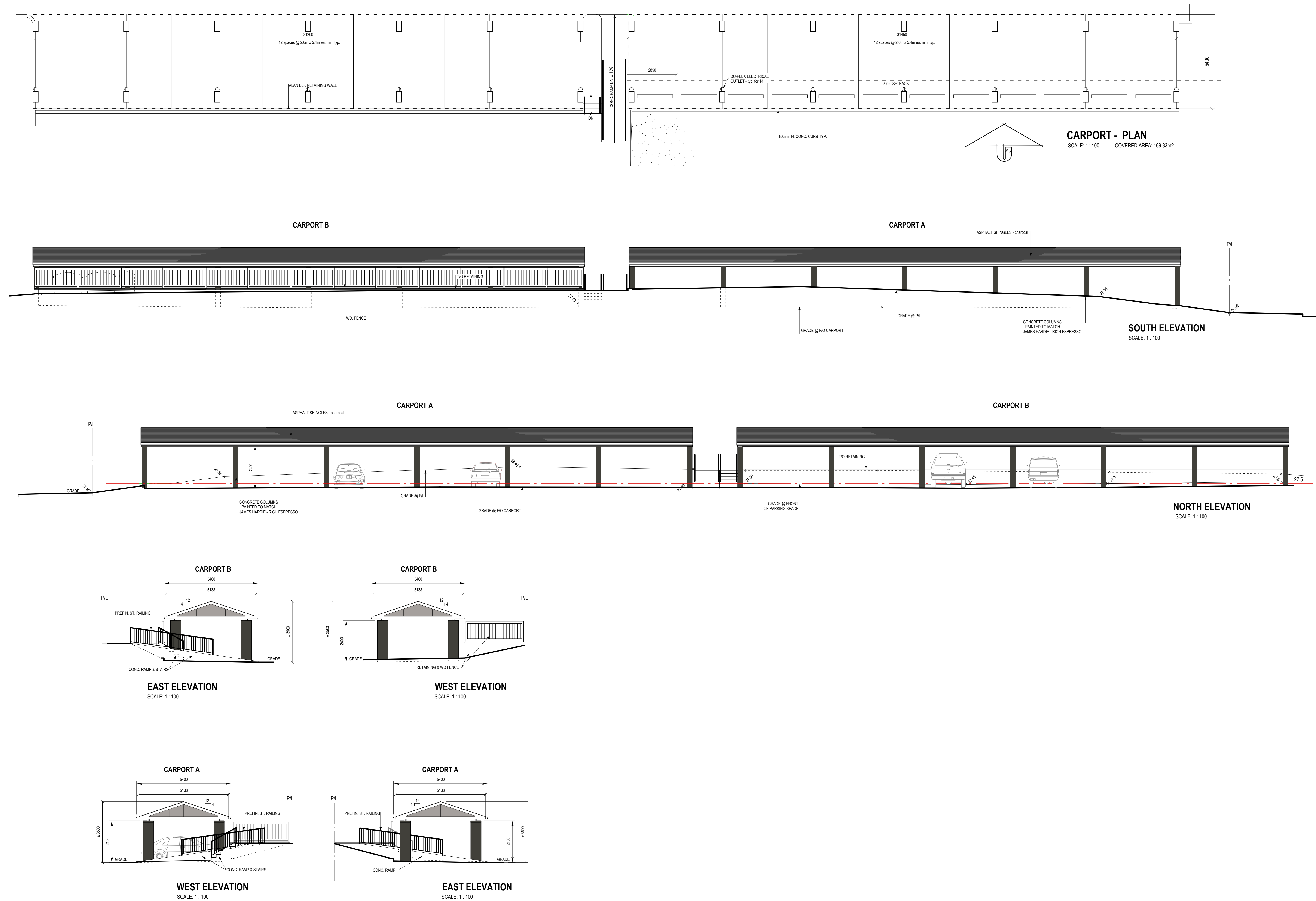
**1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA**

Drawing Title:

Carport Plan & Elevations

DRAWN: _____ MM

DP - 7.0



PERMIT

STAMP

NOTES

1. All elevations referenced to 1000

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LEGEND

	Existing hydrant
	Proposed hydrant
	Existing valve
	Valve
	Watermain
	Sanitary sewer
	Storm sewer
	Existing manhole
	Proposed manhole
	Manhole with plastic inserts
	Grated top manhole
	Catch basin
	Proposed swale
	Overland flow
	Overland escape route
	Design elevation
	Existing elevation
	Proposed road grade
	Sanitary manhole number & elevation
	CB/GT/Storm manhole number & elevation
	Traplow
	M.F. 000.00
	T.F. 000.00
	Sanitary sewer invert at bldg 000.00

DEVELOPMENT PERMIT 2021-02513

REVISIONS

5			
4			
3			
2			
1			
No.	DATE	DESCRIPTION	BY

ISSUED FOR

4	AS-BUILT		
3	FOR CONSTRUCTION		
2	FOR TENDER		
1	DEVELOPMENT PERMIT		
No.	DRAWING STATUS	DATE	APP.

CLIENT

RICK BALBI ARCHITECT LTD.

PROJECT

MIXED USE COMMERCIAL & RESIDENTIAL
13 RESIDENTIAL UNITS
1210 COPPERFIELD BLVD SE

TITLE

SITE GRADING PLAN

DESIGN BY: D.V.

DRAWN BY: RDC

CHECKED BY: -

DATE: 10-Aug-22

SCALE:

1:200

REV NO.:

-

JOB NUMBER:

22-069

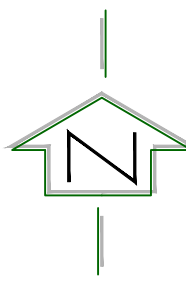
DRAWING NUMBER:

SP2

THIS DRAWING TO BE USED FOR GRADING & SERVICING INFORMATION ONLY. FOR
BUILDING LOCATION, DIMENSIONS, AND PARKING LAYOUT, REFER TO LATEST
ARCHITECTURAL DRAWINGS

DEVELOPMENT IS TO BE BUILT TO THE CITY APPROVED STAMPED DSSP DRAWINGS.
SHOULD ANY INCONSISTENCIES EXIST BETWEEN THIS DRAWING AND THE CITY
STAMPED APPROVED DSSP DRAWINGS, PLEASE NOTIFY THE ENGINEER IMMEDIATELY.
THE CITY OF CALGARY STAMPED ENGINEERING DRAWINGS GOVERN WHEN ANY
INCONSISTENCIES ARE FOUND BETWEEN DRAWINGS.

FOR DEVELOPMENT PERMIT SUBMISSION ONLY.
NOT FOR TENDER OR CONSTRUCTION.



LOT 144 MSR
BLOCK 35
PLAN 201 1513

COPPERSTONE ROAD S.E.

COPPERLEAF WAY S.E.

COPPERFIELD BLVD. S.E.

LANE

LANE

EXISTING PAVED LANE

SECTION 'A'
SCALE: 1:50

MUNICIPAL ADDRESS

1210 Copperfield Blvd. SE
Calgary AB

LEGAL DESCRIPTION

LOT 1, BLOCK 42
PLAN 181 1719, SW 1/4
SEC. 35-22-29-W4M