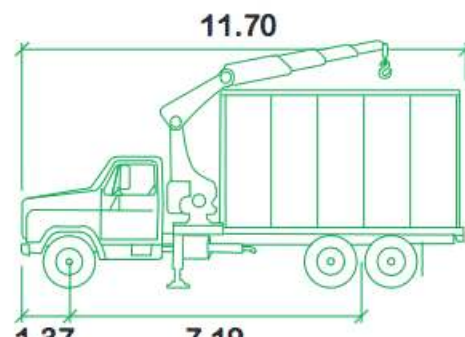
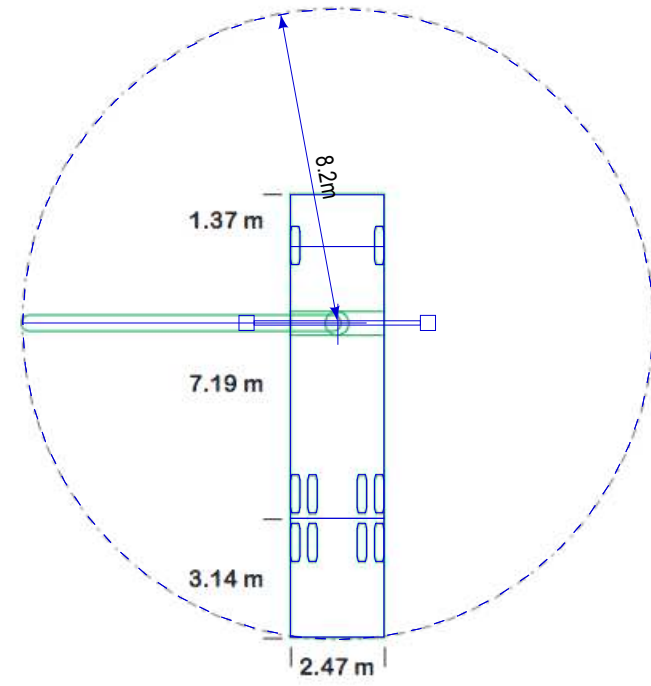




Molok meters
Width : 2.47
Track : 2.47
Lock to Lock Time : 6.0
Steering Angle : 53.0



NOTE: LOCATIONS OF OUTRIGGER PLACEMENTS TO BE ABLE TO WITHSTAND COLLECTION VEHICLE OUT RIGGER POINT LOADS

Collection Truck Crane Reach

0M 5M 10M

SITE INFORMATION

MUNICIPAL ADDRESS: 1210 COPPERFIELD BOULEVARD S.E.
LEGAL DESCRIPTION: LOT 1, BLOCK 42, PLAN 181 1719
PROPOSED ZONING: MU-2 H. 2H13.0
SITE AREA: 3277.79 m² (± 0.328 ha)

FLOOR AREA: MAIN: 1112.9 sq. m.
SECOND: 1332.45 sq. m.
THIRD: 1332.45 sq. m.
3777.80 sq. m.

F.A.R.: 1.15

PARKING

RESIDENTS SPACES PROVIDED
RESIDENTS = 30 SPACES,
VISITORS = 2 SPACES
COMMERCIAL SPACES PROVIDED = 15

32 CLASS 1 SPACES PROVIDED (RESIDENTS)

12 CLASS 2 SPACES PROVIDED

1 LOADING SPACE PROVIDED

LANDSCAPING

3.0m SOUTH SETBACK AGAINST RESIDENTIAL:

REQUIRED: 102 sq. m. /35 = 3 TREES & 6 SHRUBS

PROVIDED: 9 LARGE DECIDUOUS, 1 LARGE CONIFEROUS, 6 SHRUBS

3.0m SOUTH SETBACK AGAINST LANE:

124 sq. m. /35 = 4 TREES & 8 SHRUBS

PROVIDED: 10 LARGE DECIDUOUS, 1 LARGE CONIFEROUS, 8 SHRUBS

PLANTING LEGEND

TREES

KEY	ITEM	SIZE
	LARGE DECIDUOUS TREES - Swedish Columnar Aspen (Mature) (Populus tremula 'Erecta')	85mm ±4.5m HT.
	LARGE CONIFEROUS TREES - Star Power Juniper (Juniperus 'J.N. Select Blue')	3.5m

SHRUBS

- DECIDUOUS SHRUBS - MIN. 600 mm spread
- CONIFEROUS SHRUBS - MIN. 600mm ht spread

SELECT FROM THE FOLLOWING SPECIES:

- MUGO PINE; GLOBE CEDAR;
HIGHBUSH CRANBERRY; POTENTILLA.
- SAVIN JUNIPERS; HANSA ROSE;
CREEPING JUNIPER; FLOWERING

- SHRUB BEDS: MIN. 2" LOOSE LAID RUNDLE STONE SHALE
BED OVER WEED CONTROL MATT & STERILIZED SUBSOIL
600mm MIN. SOIL DEPTH
- SHRUB BEDS TO BE DESIGNED TO PROVIDE YEAR
ROUND ENHANCEMENT, USING PLANTS TO LOCAL AREA
ACCEPTABILITY.

	EXISTING GRASS
	PROPOSED GRASS/SOD
	CONCRETE PAVERS
	BARK CHIP MULCH
	LAYERED ORNAMENTAL GRASSES - vary heights - drought tolerant - shade resistant in northern exposure
	FIBREGASS PLANTERS (moveable)

ALL SOFT SURFACE LANDSCAPING TO BE IRRIGATED WITH U/G SPRINKLER SYSTEM

PUBLIC TREE SCHEDULE

TAG	SPECIES	CALIPER	TO REMAIN TO BE REMOVED
1090	ULMUS AMERICANA	0.11m	✓
1091	ULMUS AMERICANA	0.11m	✓
1092	ULMUS AMERICANA	0.12m	✓
1093	ULMUS AMERICANA	0.07m	✓
1102	ULMUS AMERICANA	0.11m	✓
1103	ULMUS AMERICANA	0.11m	✓
1104	ULMUS AMERICANA	0.12m	✓
1105	ULMUS AMERICANA	0.12m	✓
1106	TILIA FLAVESCENS	0.07m	✓



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Calgary, Alberta, T2H 0G4
403 253 2853, 403 253 3078 Fax

**DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN**

AMENDED DRAWINGS

DP No: DP2025-0302
Date Received: 02.02.2026
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

Project:

**PROPOSED
MIXED USE
DEVELOPMENT**

**1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA**

Revisions:
DEC 4/25 REVISED LANDSCAPING, ADDED PLANTERS, WIDENED SIDEWALK
TO W & R
JAN 21/26 REVISED PROPOSED LAND USE, SIDEWALK, SURFACE AROUND
MOLOK, SETBACKS

Drawing Title:

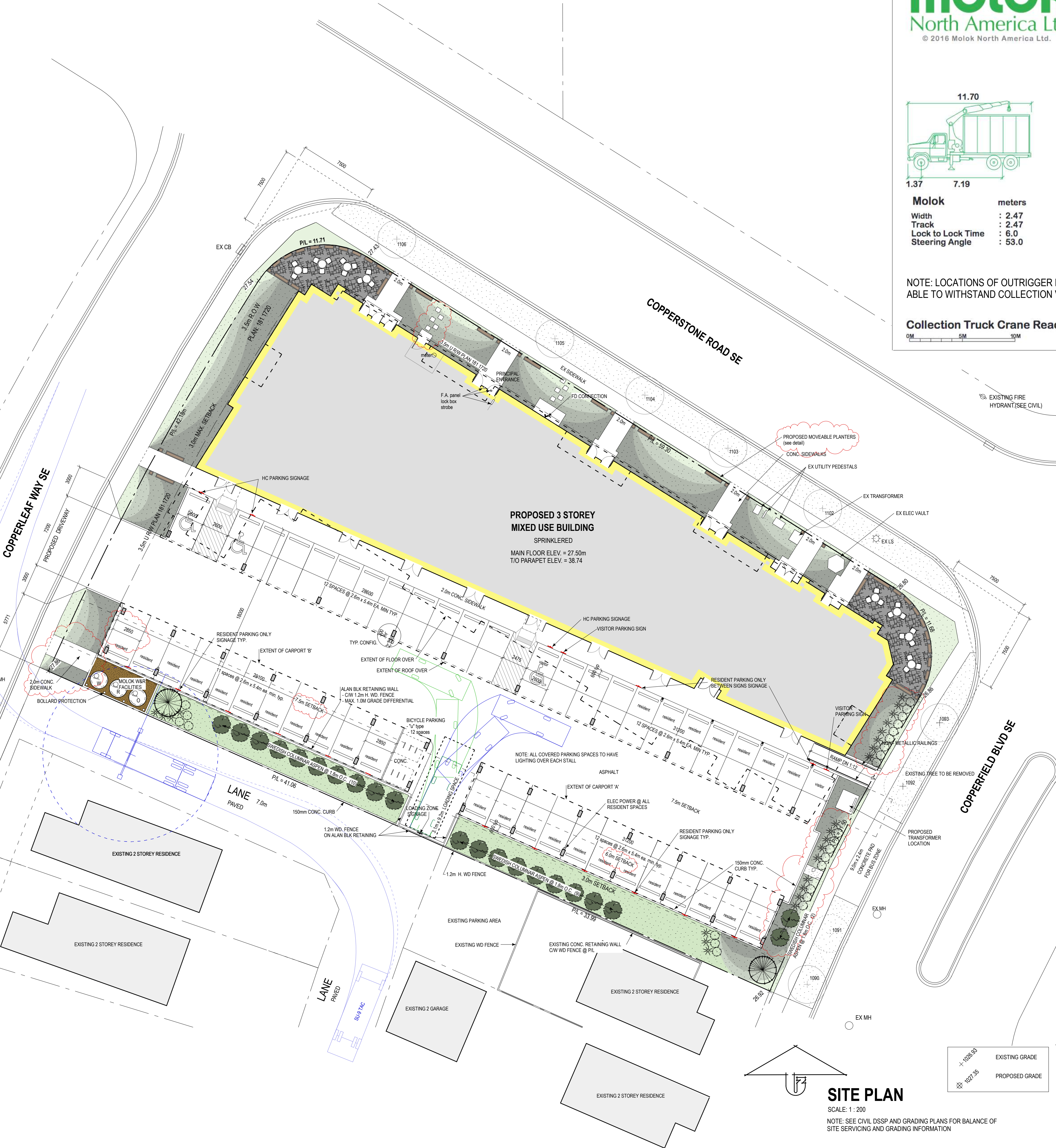
Site Plan

JOB No. 24-145
DATE: May 7/25
DRAWN: MM

DP -1.0

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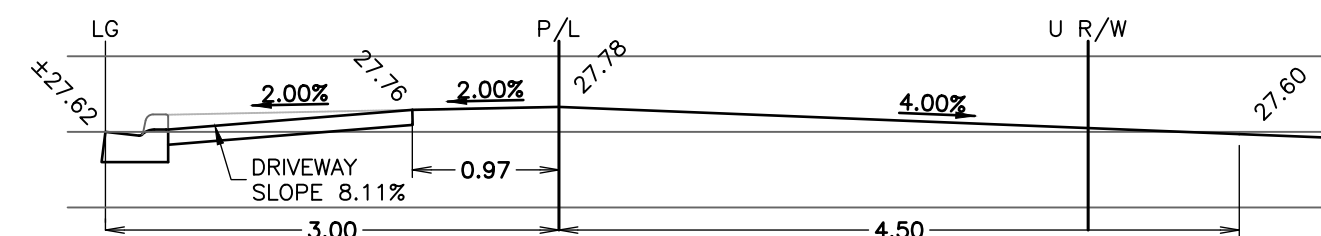
SITE PLAN

SCALE: 1: 200

NOTE: SEE CIVIL, DSSP AND GRADING PLANS FOR BALANCE OF
SITE SERVICING AND GRADING INFORMATION

DRIVEWAY SECTION

SCALE: 1: 50



SECTION 'A'
SCALE: 1: 50



BUILDING MOUNTED SIGNAGE

- SHOWN FOR REFERENCE ONLY - NOT INCLUDED IN THIS APPLICATION
- MESSAGE & LOGO AS PER TENANT
- INTERNALLY ILLUMINATED
- CONCEALED FASTENERS AND POWER SUPPLY
- 450mm MAXIMUM LETTER/LOGO HEIGHT

EXTERIOR FINISHES

1. SMART BOARD - PAINTED - WHITE
2. PREFIN. HORIZONTAL VINYL SIDING - IRON ORE C/W WHITE VINYL TRIM
3. SMARTBOARD - PAINTED - COLOUR TO MATCH IRON ORE
4. PREFIN. HORIZONTAL. WOOD LOOK METAL SIDING - CEDAR
5. STOREFRONT - CLEAR GLAZING C/W CLEAR ANODIZED ALUMINIUM FRAMES
6. CLEAR GLAZING, PVC FRAMES, SMART BOARD TRIM PAINTED - WHITE
7. ALUMINUM RAILING - BLACK
8. PREFIN. METAL FLASHING - BLACK/WHITE
9. CONCRETE COLUMNS - PAINTED TO MATCH IRON ORE

NORTH ELEVATION

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 100



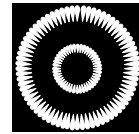
EAST ELEVATION

SCALE: 1 : 100



SOUTH ELEVATION

SCALE: 1 : 100



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AMENDED DRAWINGS

DP No. Date Received
DP2025-0302 02.02.2026
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Project:

**PROPOSED
MIXED USE
DEVELOPMENT**

**1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA**

Revisions:

FEB 14/25: REVISED METER RM. AND PRINCIPAL ENTRANCE
LOCATION. ADDED GRADING INFO.
APR 22/25: REVISED EXTERIOR DESIGN
JAN 21/26: ADDED GLAZING WEST ELEVATION

Drawing Title:

Elevations

JOB No. 24-145
DATE: May 7/25
DRAWN: MM

DP - 6.0

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AMENDED DRAWINGS
DP No: DP2025-0302 Date Received: 02.02.2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

Project:

**PROPOSED
MIXED USE
DEVELOPMENT**

**1210 COPPERFIELD BOULEVARD
CALGARY, ALBERTA**

Revisions:

JAN 21/26 REVISED END STALL CLEARANCE, CORRECTED COLUMN LOCATION

Drawing Title:

**Carport Plan
& Elevations**

JOB No. 24-145
DATE: May 8/25
DRAWN: MM

DP - 7.0

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