

Contemporary Calgary

ISSUED FOR DR1



CLIENT
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350 140 10 Avenue SE Calgary, AB, T2G 0R1
Phone: 403.233.2000 Fax: 403.264.2077

BOW TRAIL S.W

6th AVENUE S.W

11TH STREET S.W

7TH AVENUE S.W

BLOCK 2
PLAN 3445JK

BLOCK 1A
PLAN A1

- NOTES:**
- Dimension to face of stud (interior partitions), concrete, concrete block, exterior wall sheathing - unless noted otherwise.
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 - Verify all dimensions, elevations, and datum; report any errors and/or discrepancies to the architect prior to construction.
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KEYNOTE LEGEND

1. REMOVE EXISTING CURB.
- 2.
3. REMOVE EXISTING LIGHT STANDARD.
4. REMOVE EXISTING GARBAGE ENCLOSURE.
5. REMOVE EXISTING SIGNAGE.
6. REMOVE EXISTING FENCE.
7. REMOVE EXISTING CURB.
8. REMOVE + RELOCATE EXISTING UTILITY BOX + ASSOCIATED INFRASTRUCTURE
9. REMOVE EXISTING FLAGPOLE.
10. REMOVE EXISTING PARKPLUS METER.
11. REMOVE EXISTING MAN-HOLE.
12. REMOVE EXISTING CATCH BASIN.
13. REMOVE EXISTING BOLLARDS.
14. REMOVE EXISTING RETAINING WALL.
15. REMOVE EXISTING CLASS 2 BICYCLE PARKING.
16. REMOVE EXISTING ART LOCATION.

SITE PLAN LEGEND

- EXTENT OF CONSTRUCTION
- PROPERTY LINE
- EASEMENT/SETBACK LINE
- EXISTING LEASE BOUNDARY
- OVERHEAD UTILITY LINE
- OVERHEAD SETBACK (3.0m)
- EXISTING SIDEWALK TO BE REMOVED
- EXISTING PARKING LOT TO BE REMOVED
- EXISTING TO REMAIN TREE - REFER TO L2.01 FOR PROTECTION
- EXISTING TREE TO BE REMOVED - REFER TO L2.01 FOR PROTECTION

DR 1
DEVELOPMENT PERMIT
2026-08-18
2024-12-20

No. Description
Project
Project Number: 24026

Issued For / Revisions
Contemporary Calgary

701 11TH STREET S.W. CALGARY AB, T2P 2C4

Legal Description
PLAN 3445JK, BLOCK 2/3

Building Permit No.
123-001

Development Permit No.
DP 2024-09081

DSSP No.

350, 140-10 Ave SE
Calgary, Alberta
T2G 0R1
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Fax: 403.264.2077

GGA-ARCHITECTURE

KP
MB

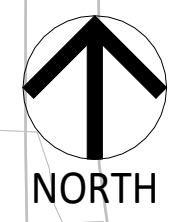
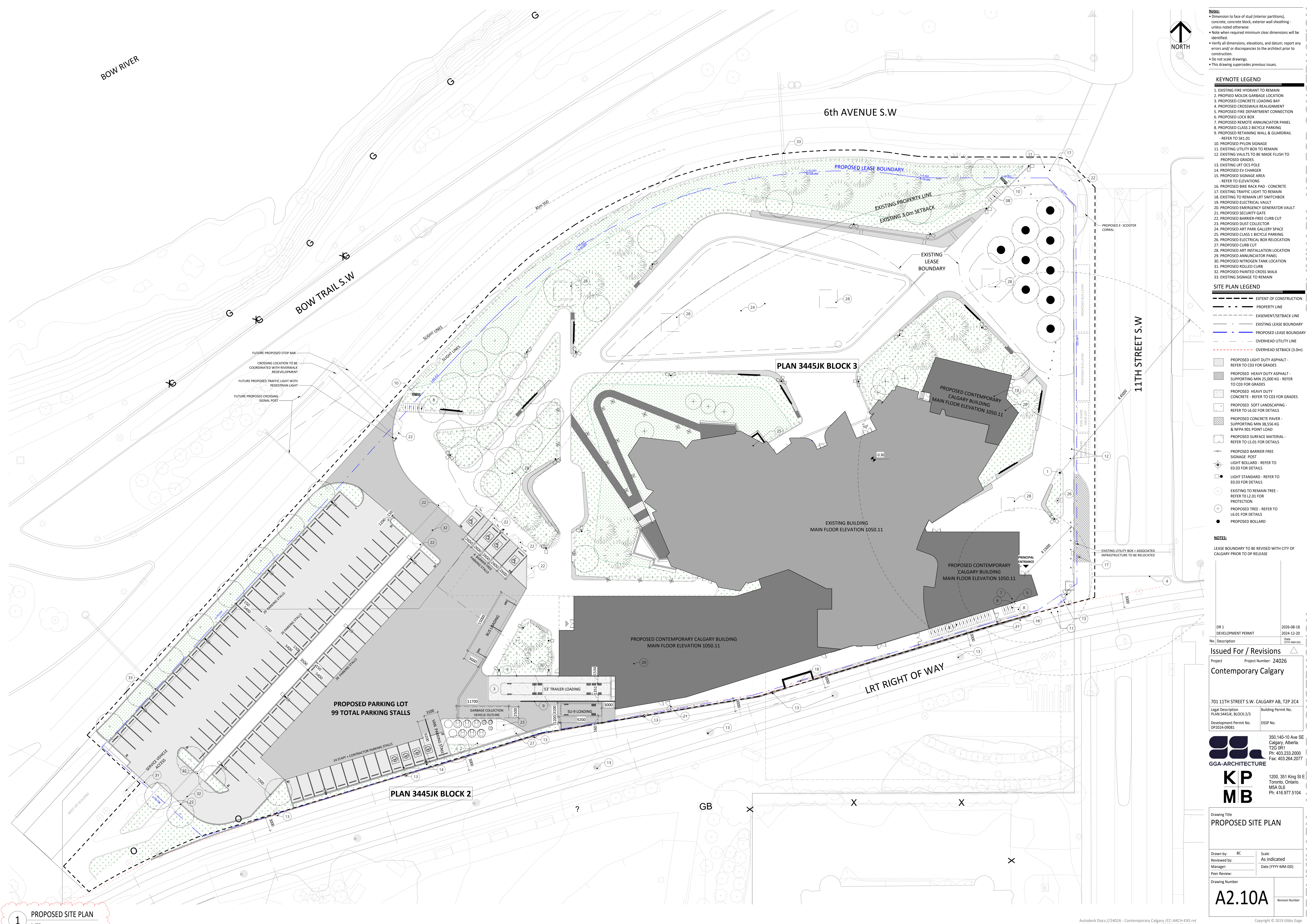
1200, 351 King St E
Toronto, Ontario
M5A 0L6
Ph: 416.977.5104

Drawing Title
GROUND FLOOR
DEMOLITION PLAN

Drawn by: BC
Reviewed by: As indicated
Manager: Date (YYYY-MM-DD)
Peer Review:

Drawing Number
AD1.001

Revision Number



- NOTES:**
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- KEYNOTE LEGEND**
1. EXISTING FIRE HYDRANT TO REMAIN
 2. PROPOSED MOLOK GARBAGE LOCATION
 3. PROPOSED CONCRETE LOADING BAY
 4. PROPOSED CROSSWALK REALIGNMENT
 5. PROPOSED FIRE DEPARTMENT CONNECTION
 6. PROPOSED LOCK BOX
 7. PROPOSED REMOTE ANNUNCIATOR PANEL
 8. PROPOSED CLASS 2 BICYCLE PARKING
 9. PROPOSED RETAINING WALL & GUARDRAIL - REFER TO SK1.01
 10. PROPOSED PYLON SIGNAGE
 11. EXISTING UTILITY BOX TO REMAIN
 12. EXISTING VAULTS TO BE MADE FLUSH TO PROPOSED GRADES
 13. EXISTING LRT OCS POLE
 14. PROPOSED EV CHARGER
 15. PROPOSED SIGNAGE AREA - REFER TO ELEVATIONS
 16. PROPOSED BIKE RACK PAD - CONCRETE
 17. EXISTING TRAFFIC LIGHT TO REMAIN
 18. EXISTING TO REMAIN LRT SWITCHBOX
 19. PROPOSED ELECTRICAL VAULT
 20. PROPOSED EMERGENCY GENERATOR VAULT
 21. PROPOSED SECURITY GATE
 22. PROPOSED BARRIER-FREE CURB CUT
 23. PROPOSED DUST COLLECTOR
 24. PROPOSED ART PARK GALLERY SPACE
 25. PROPOSED CLASS 1 BICYCLE PARKING
 26. PROPOSED ELECTRICAL BOX RELOCATION
 27. PROPOSED CURB CUT
 28. PROPOSED ART INSTALLATION LOCATION
 29. PROPOSED ANNUNCIATOR PANEL
 30. PROPOSED NITROGEN TANK LOCATION
 31. PROPOSED ROLLED CURB
 32. PROPOSED PAINTED CROSS WALK
 33. EXISTING SIGNAGE TO REMAIN

- SITE PLAN LEGEND**
- EXTENT OF CONSTRUCTION
 - - - PROPERTY LINE
 - - - EASEMENT/SETBACK LINE
 - - - EXISTING LEASE BOUNDARY
 - - - PROPOSED LEASE BOUNDARY
 - - - OVERHEAD UTILITY LINE
 - - - OVERHEAD SETBACK (3.0m)
 - PROPOSED LIGHT DUTY ASPHALT - REFER TO C03 FOR GRADES
 - PROPOSED HEAVY DUTY ASPHALT - SUPPORTING MIN 25,000 KG - REFER TO C03 FOR GRADES
 - PROPOSED HEAVY DUTY CONCRETE - REFER TO C03 FOR GRADES
 - PROPOSED SOFT LANDSCAPING - REFER TO L6.02 FOR DETAILS
 - PROPOSED CONCRETE PAVEMENT - SUPPORTING MIN 38,556 KG & NFPA 901 POINT LOAD
 - PROPOSED SURFACE MATERIAL - REFER TO L5.01 FOR DETAILS
 - PROPOSED BARRIER FREE SIGNAGE POST
 - LIGHT BOLLARD - REFER TO E0.03 FOR DETAILS
 - PROPOSED TREE - REFER TO E0.03 FOR DETAILS
 - EXISTING TO REMAIN TREE - REFER TO L2.01 FOR PROTECTION
 - PROPOSED TREE - REFER TO L6.01 FOR DETAILS
 - PROPOSED BOLLARD

NOTES:

LEASE BOUNDARY TO BE REVISED WITH CITY OF CALGARY PRIOR TO DP RELEASE

DR 1	DEVELOPMENT PERMIT	2026-08-18
No.	Description	Date (YYYY-MM-DD)

Issued For / Revisions	
Project	Project Number: 24026
Contemporary Calgary	
701 11TH STREET S.W. CALGARY AB, T2P 2C4	
Legal Description	Building Permit No.
PLAN 3445JK, BLOCK 2/3	
Development Permit No.	DSSP No.
DP 2024-09081	

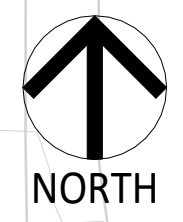


KP MB

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Drawing Title	
PROPOSED SITE PLAN	
Drawn by: BC	Scale
Reviewed by:	As indicated
Manager:	Date (YYYY-MM-DD)
Peer Review:	
Drawing Number	Revision Number
A2.10A	

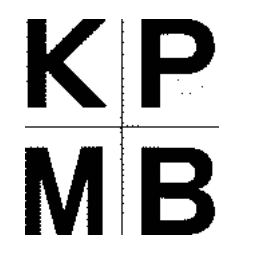


NOTES:

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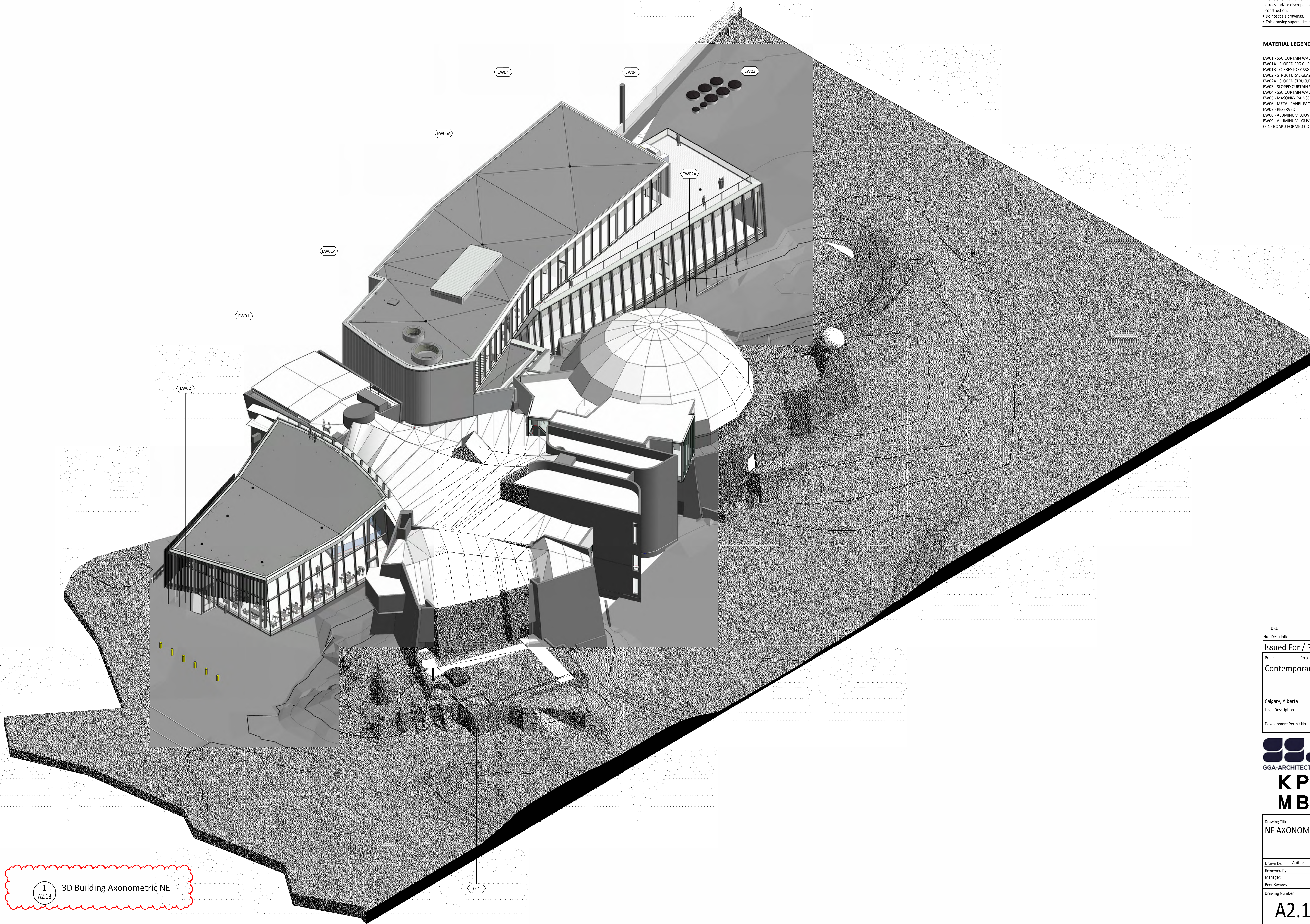
NOTES:

LEASE BOUNDARY TO BE REVISED WITH CITY OF CALGARY PRIOR TO DP RELEASE

DR 1 DEVELOPMENT PERMIT		2026-08-18 2024-12-20
No. / Description		Date (YYYY-MM-DD)
Issued For / Revisions		
Project Number: 24026		
Contemporary Calgary		
701 11TH STREET S.W. CALGARY AB, T2P 2C4		
Legal Description PLAN 3445JK, BLOCK 2/3	Building Permit No.	
Development Permit No. DP 2024-09081	DSSP No.	
		
350, 140-10 Ave SE Calgary, Alberta T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077		
		
1200, 351 King St E Toronto, Ontario M5A 0L6 Ph: 403.977.5104		
Drawing Title PROPOSED PHASING PLAN		
Drawn by: BC	Scale	
Reviewed by:	1 : 250	
Manager:	Date (YYYY-MM-DD)	
Peer Review:		
Drawing Number	Revision Number	
A2.10B		

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION



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MATERIAL LEGEND

EW01 - SSG CURTAIN WALL
EW01A - SLOPED SSG CURTAIN WALL
EW01B - CLERESTORY SSG CURTAIN WALL
EW02 - STRUCTURAL GLAZING
EW02A - SLOPED STRUCTURAL GLAZING
EW03 - SLOPED CURTAIN WALL WITH DECORATIVE CAPS
EW04 - SSG CURTAIN WALL
EW05 - MASONRY RAINSCREEN FACADE
EW06 - METAL PANEL FACADE
EW07 - RESERVED
EW08 - ALUMINUM LOUVRE FACADE
EW09 - ALUMINUM LOUVRE FACADE
CD1 - BOARD FORMED CONCRETE

No.	Description	Date
DR1		2026-05-15

Issued For / Revisions

Project: 2565
Contemporary Calgary

Calgary, Alberta	
Legal Description	Building Permit No.
Development Permit No.	DSP No.

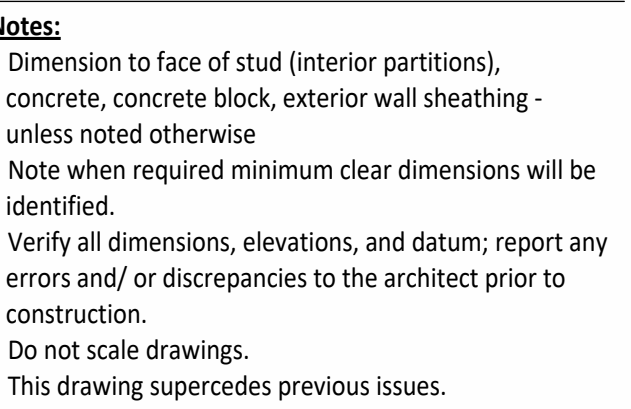
GGA-ARCHITECTURE
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Calgary, Alberta
T2G 0R1
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**K P
M B**
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M5A 0L6
Ph: 403.977.5104

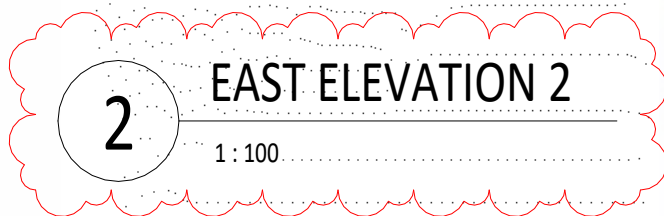
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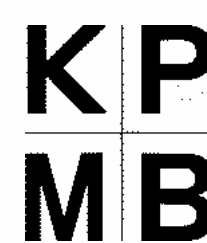
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Reviewed by:	1 : 1
Manager:	Date (YYYY-MM-DD)
Peer Review:	

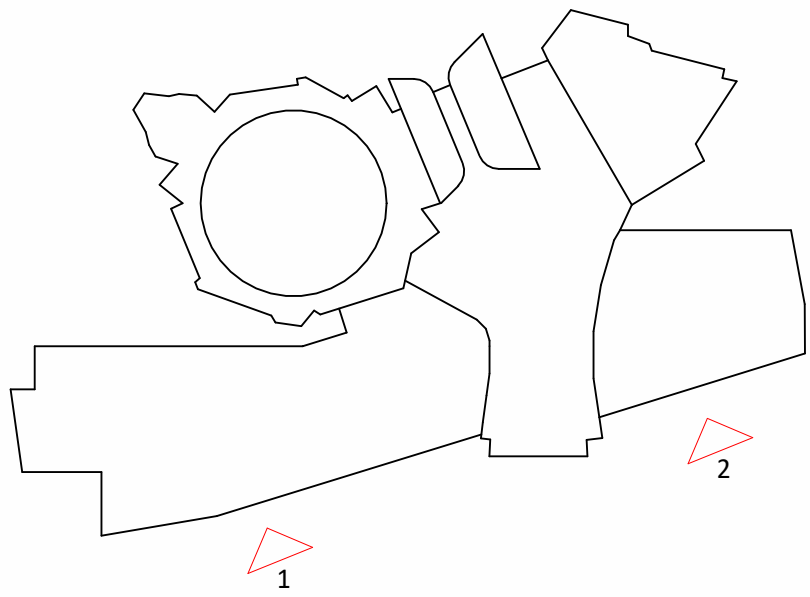
Drawing Number A2.18	Revision Number
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- W01 - SSG CURTAIN WALL
- W01A - SLOPED SSG CURTAIN WALL
- W01B - CLERESTORY SSG CURTAIN WALL
- W02 - STRUCTURAL GLAZING
- W02A - SLOPED STRUCTURAL GLAZING
- W03 - SLOPED CURTAIN WALL WITH DECORATIVE CAPS
- W04 - SSG CURTAIN WALL
- W05 - MASONRY RAINSCREEN FACADE
- W06 - METAL PANEL FACADE
 - W06.1 - GLASS RAILING
- W07 - BORD FORMED CONCRETE



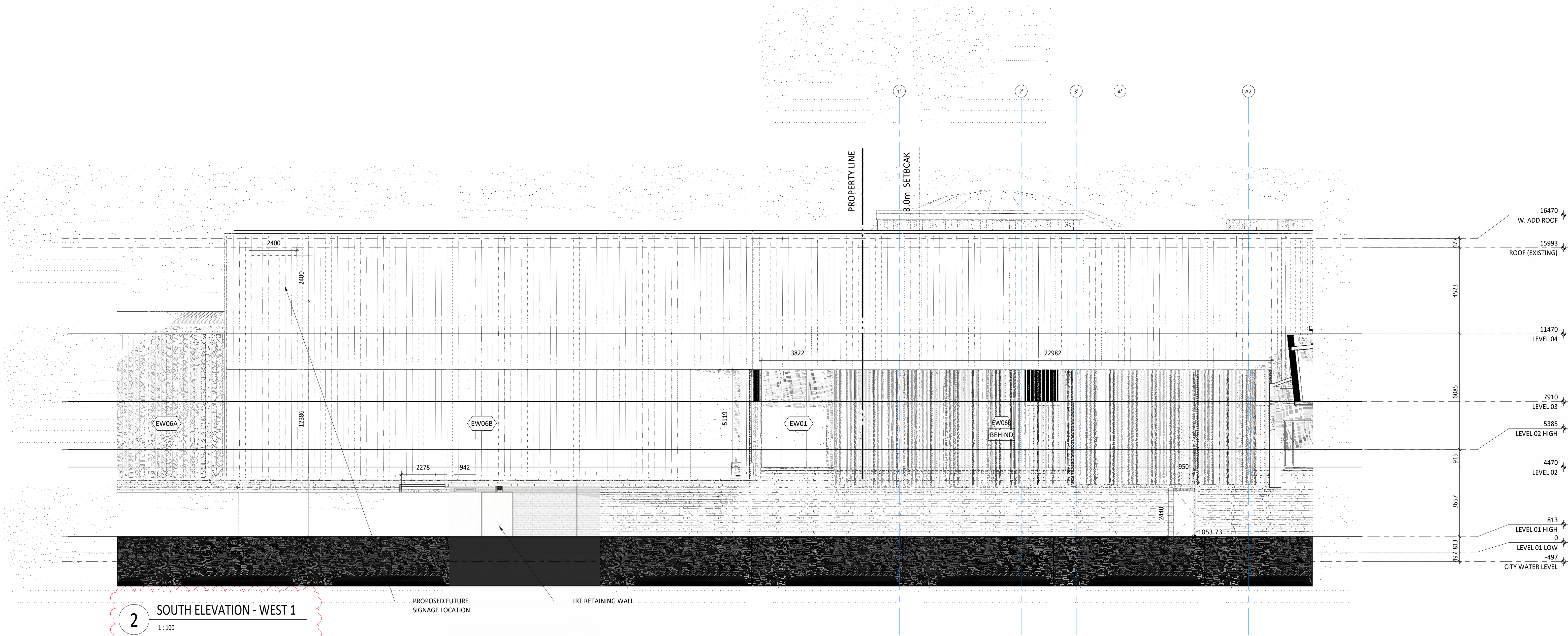
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No. / Description		Date (YYYY-MM-DD)	
Issued For / Revisions			
Project		Project Number: 24026	
Contemporary Calgary			
701. 11TH STREET S.W. CALGARY AB, T2P 2C4			
Legal Description R14N34459K, R10C02/3		Building Permit No.	
Development Permit No. D92024-09083		DSSP No.	
		350, 140-10 Ave SE Calgary, Alberta T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077	
		1200, 361 King St E Toronto, Ontario M5A 0L6 Ph: 416.977.5104	
Drawing Title			
BUILDING ELEVATIONS			
Drawn by: Author		Scale	
Reviewed by:		As indicated	
Manager:		Date (YYYY-MM-DD)	
Peer Review:			
Drawing Number			
A5.04		Revision Number	



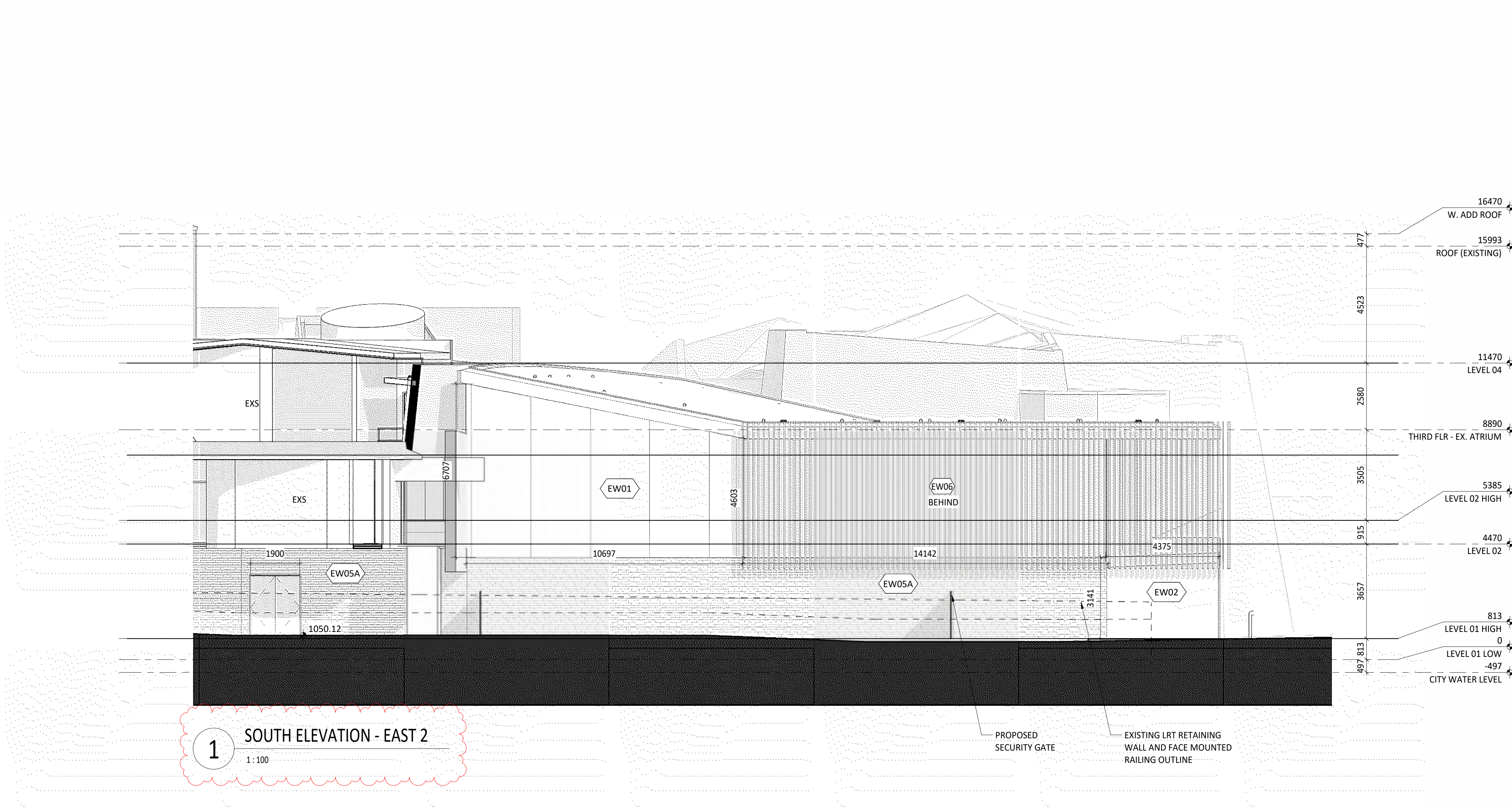
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EW03 - SLOPED CURTAIN WALL WITH DECORATIVE CAPS
EW04 - SSG CURTAIN WALL
EW05 - MASONRY RAINSCREEN FACADE
EW06 - METAL PANEL FACADE
RL1 - GLASS RAILING
C01 - BORD FORMED CONCRETE

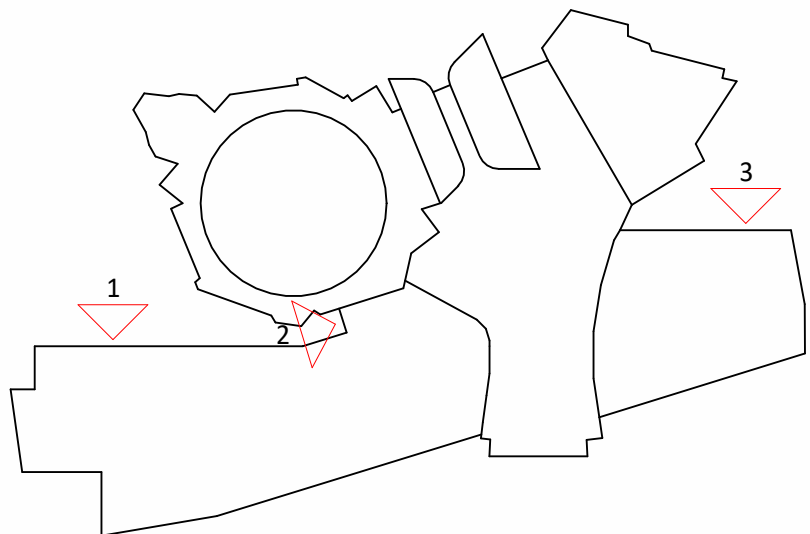


2 SOUTH ELEVATION - WEST 1
1:100



1 SOUTH ELEVATION - EAST 2
1:100

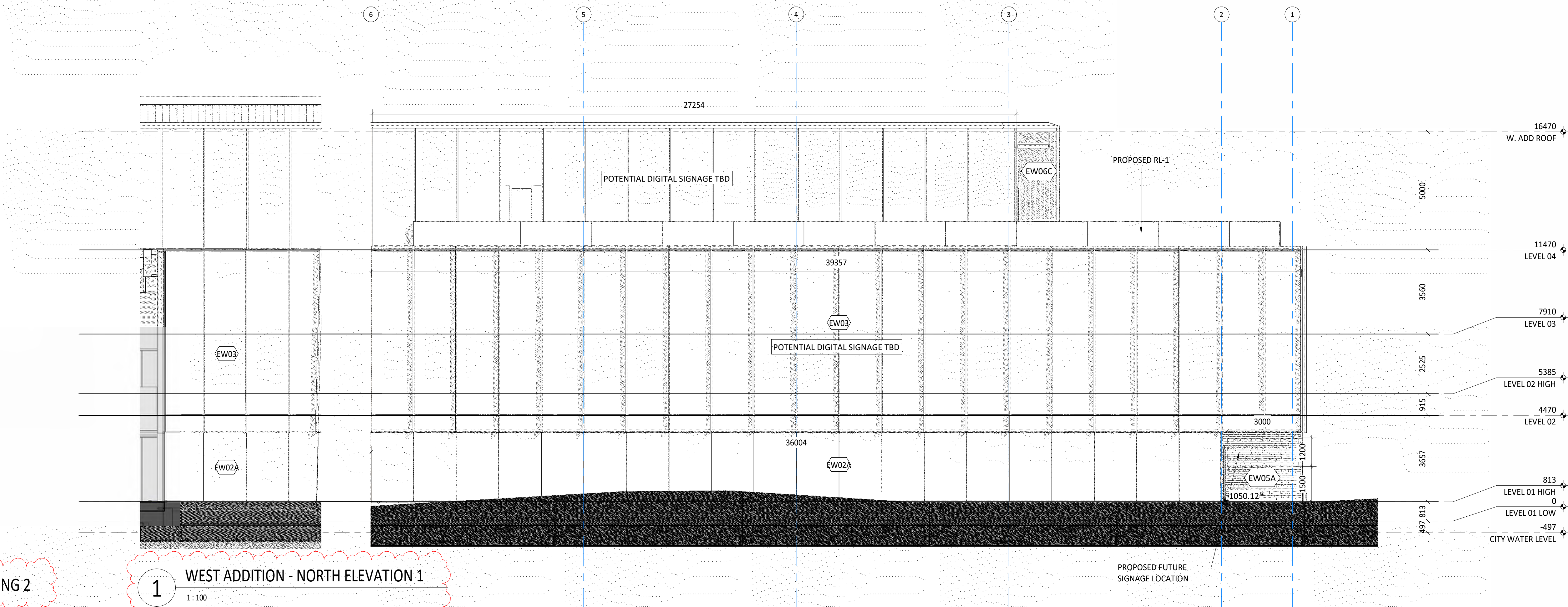
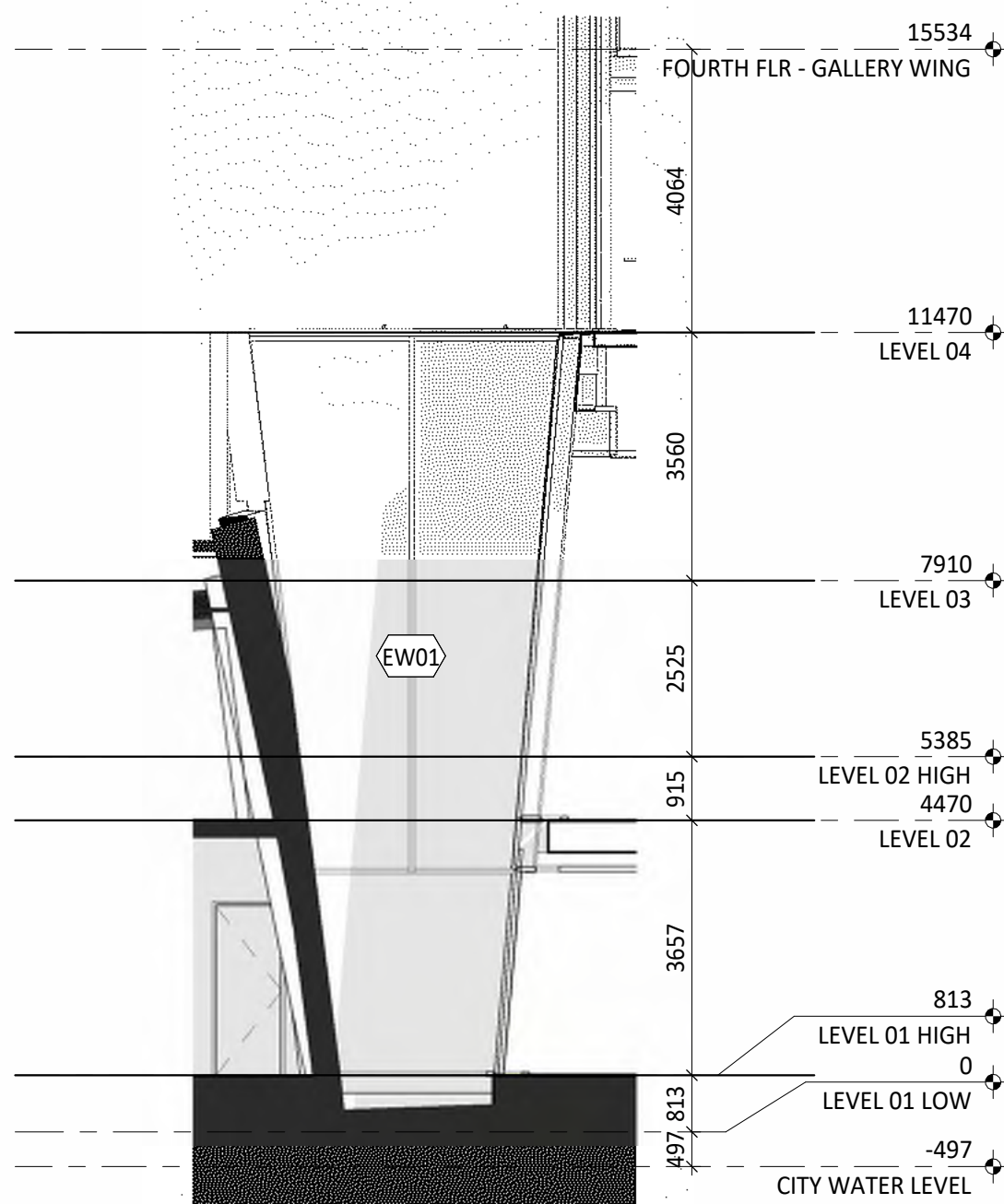
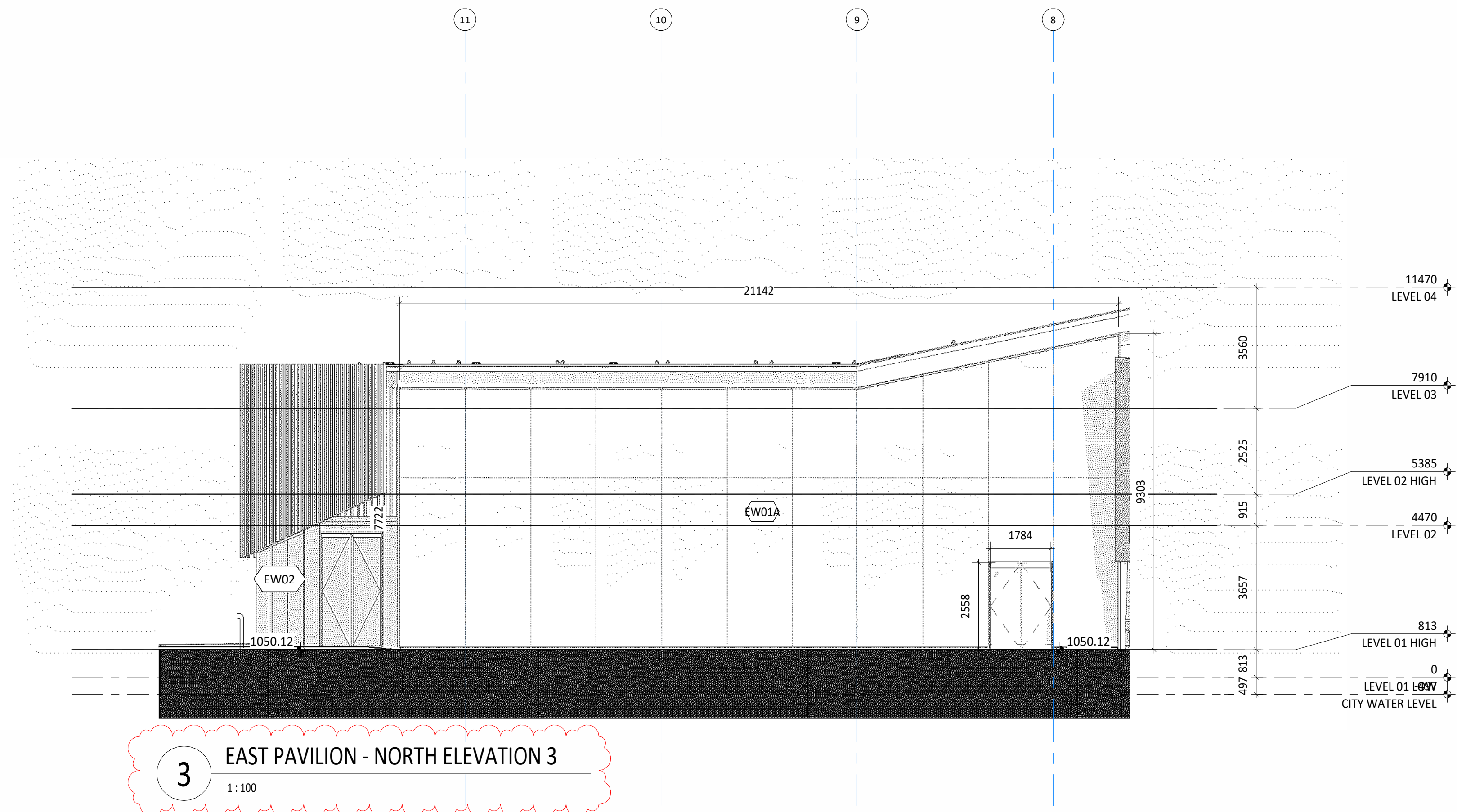
DR 1 DEVELOPMENT PERMIT	2026-08-18 2024-12-30
No. / Description	Date (YYYY-MM-DD)
Project Number: 24026	
Project Contemporary Calgary	
701 11TH STREET S.W. CALGARY AB, T2P 2C4	
Legal Description PLAN 3445JK, BLOCK 2/3	Building Permit No.
Development Permit No. DP 2024-09081	DSSP No.
350, 140-10 Ave SE Calgary, Alberta T2G 0R1 Ph: 403.233.2000 Fax: 403.264.2077	
1200, 351 King St E Toronto, Ontario M5A 0L6 Ph: 416.977.5104	
GGA-ARCHITECTURE	
KP MB	
Drawing Title BUILDING ELEVATIONS	
Drawn by: Author	Scale As indicated
Reviewed by:	Date (YYYY-MM-DD)
Manager:	
Peer Review:	
Drawing Number A5.05	Revision Number



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EW02A - SLOPED STRUCTURAL GLAZING
EW03 - SLOPED CURTAIN WALL WITH DECORATIVE CAPS
EW04 - SSG CURTAIN WALL
EW05 - MASONRY RAINSCREEN FACADE
EW06 - METAL PANEL FACADE
RL1 - GLASS RAILING
C01 - BORD FORMED CONCRETE



DR 1	2026-08-18
DEVELOPMENT PERMIT	2024-12-20
No. Description	Date (YYYY-MM-DD)

Issued For / Revisions	Project Number: 24026
Project	Contemporary Calgary
701 11TH STREET S.W. CALGARY AB, T2P 2C4	
Legal Description	Building Permit No.
PLAN:3445JK, BLOCK:2/3	1230 OR1
Development Permit No.	DSSP No.
DP:2024-09081	

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Drawing Title	BUILDING ELEVATIONS
Drawn by: Author	Scale
Reviewed by: Manager	As indicated
Peer Review:	Date (YYYY-MM-DD)
Drawing Number	Revision Number
A5.06	