

ARCHITECTURAL SHEET LIST

SHEET NUMBER	SHEET NAME
DP00-00-00	COVER SHEET
DP10-00-01	OVERALL SITE PLAN - STREET LEVEL
DP10-00-02	SITE SECTIONS
DP10-00-03	PROJECT INFORMATION & STATISTICS
DP10-00-04	AREA PLANS
DP10-01-04	TOWER 1 - AREA PLANS GROSS FLOOR AREA
DP10-02-04	TOWER 2 - AREA PLANS GROSS FLOOR AREA
DP10-03-04	TOWER 3 - AREA PLANS GROSS FLOOR AREA
DP10-00-05	SITE PHOTOS
DP10-00-06	SWEEP PATHS, LOADING STALLS, AND SITE DETAILS
DP10-00-07a	WASTE & RECYCLING PLANS AND DETAILS
DP10-00-07b	WASTE & RECYCLING PLANS
DP10-00-08	BIKE STORAGE ENLARGED PLANS
DP10-00-09	SHADOW STUDY
DP10-00-10	SURVEY (REFERENCE)
DP10-00-11	PHASING PLANS
DP10-00-12	FIRE ACCESS PLAN
DP10-00-13	3D RENDERINGS
DP20-00-P1	LEVEL P1 PARKADE
DP20-00-P2	LEVEL P2 PARKADE
DP20-00-P3	LEVEL P3 PARKADE
DP20-00-P4	LEVEL P4 PARKADE
DP22-00-01	LEVEL 1 FLOOR PLAN
DP22-00-02	LEVEL 2 FLOOR PLAN
DP22-01-01	TOWER 1 - LEVEL 2-3, 4-6 FLOOR PLAN
DP22-01-02	TOWER 1 - LEVEL 7-8, MECH. PENTHOUSE FLOOR PLAN
DP22-01-03	TOWER 1 - ROOF PLAN
DP22-02-01	TOWER 2 - LEVEL 2, 3-9, 14-17 FLOOR PLANS
DP22-02-02	TOWER 2 - LEVEL 10-13, 18-19 FLOOR PLANS
DP22-02-03	TOWER 2 - MECHANICAL PENTHOUSE FLOOR PLAN, ROOF PLAN
DP22-03-01	TOWER 3 - LEVEL 2 FLOOR PLAN
DP22-03-02	TOWER 3 - LEVEL 3-7 FLOOR PLAN
DP22-03-03	TOWER 3 - LEVEL 8 FLOOR PLAN
DP22-03-04	TOWER 3 - LEVEL 9-12 FLOOR PLAN
DP22-03-05	TOWER 3 - LEVEL 13-19, MECHANICAL PENTHOUSE ROOM FLOOR PLAN
DP22-03-06	TOWER 3 - ROOF PLAN
DP30-00-01	BUILDING ELEVATIONS - OVERALL SOUTH
DP30-00-02	BUILDING ELEVATIONS - OVERALL WEST
DP30-00-03	BUILDING ELEVATIONS - OVERALL NORTH
DP30-00-04	BUILDING ELEVATIONS - OVERALL EAST
DP31-00-01	BUILDING SECTIONS
DP31-01-01	TOWER 1 - BUILDING SECTIONS
DP31-02-01	TOWER 2 - BUILDING SECTIONS
DP31-03-01	TOWER 3 - BUILDING SECTIONS

ELECTRICAL SHEET LIST

SHEET NUMBER	SHEET NAME
E10-00-01	OVERALL SITE PLAN - STREET LEVEL - SITE LIGHTING LAYOUT
E10-00-02	PODIUM PLAN - SITE LIGHTING LAYOUT
E10-00-03	BUILDING ELEVATIONS - LIGHTING LAYOUT

LANDSCAPE SHEET LIST

SHEET NUMBER	SHEET NAME
DP-L-01	LANDSCAPE PLAN

ARTIST RENDERING. FOR REFERENCE ONLY.



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 2101 33 AVE SW, CALGARY, AB T2T 1Z7

 **TRUMAN**

NORR PROJECT NUMBER: NCCA22-0058

DEVELOPMENT PERMIT - NOVEMBER 15, 2024

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
VISTA GEOMATICS 28, 2015 32 AVENUE NE CALGARY, ALBERTA, T2E 6Z3 PHONE: 403.333.3707	JUBILEE ENGINEERING CONSULTANTS LTD. 3702 EDMONTON TRAIL NE CALGARY, ALBERTA, T2E 3P4 PHONE: 403.276.1001	NORR 2300, 411 1ST STREET SE CALGARY, ALBERTA, T2G 4Y5 PHONE: 403.264.4000	ENTUITIVE 150 9 AVE SW #1650 CALGARY, ALBERTA, T2P 3E8 PHONE: 403.879.1270
MECHANICAL TLJ ENGINEERING #301, 301 14TH STREET NW CALGARY, ALBERTA, T2N 2A1 PHONE: 403.289.8852	ELECTRICAL TLJ ENGINEERING #301, 301 14TH STREET NW CALGARY, ALBERTA, T2N 2A1 PHONE: 403.289.8852	INTERIORS - ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	LANDSCAPE SCATLIFF MILLER MURRAY 604-815 1 ST SW CALGARY, ALBERTA, T2P 1N3 PHONE: 403.262.9744

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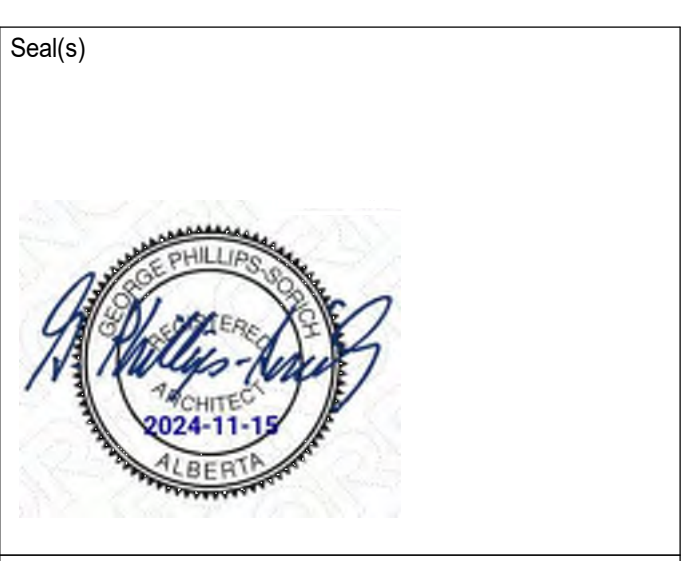


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Project Component
DEVELOPMENT PERMIT
Key Plan

Consultants
Survey: VISTA GEOMATICS
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
Structural: ENTUJIVE
Mechanical: TLJ ENGINEERING LTD.
Electrical: TLJ ENGINEERING LTD.
Interiors:
Landscape: SCATLIF MILLER MURRAY



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Adam Toles, P. Eng., AREG
Chris Hill, P. Eng., AREG

Project Manager	J. Lackman	Author
Project Leader	B. TEZUKA	Checked
Client	TRUMAN	Checked

Client
TRUMAN
2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
151 86 AVE SE #10, CALGARY, AB T2H 3A5

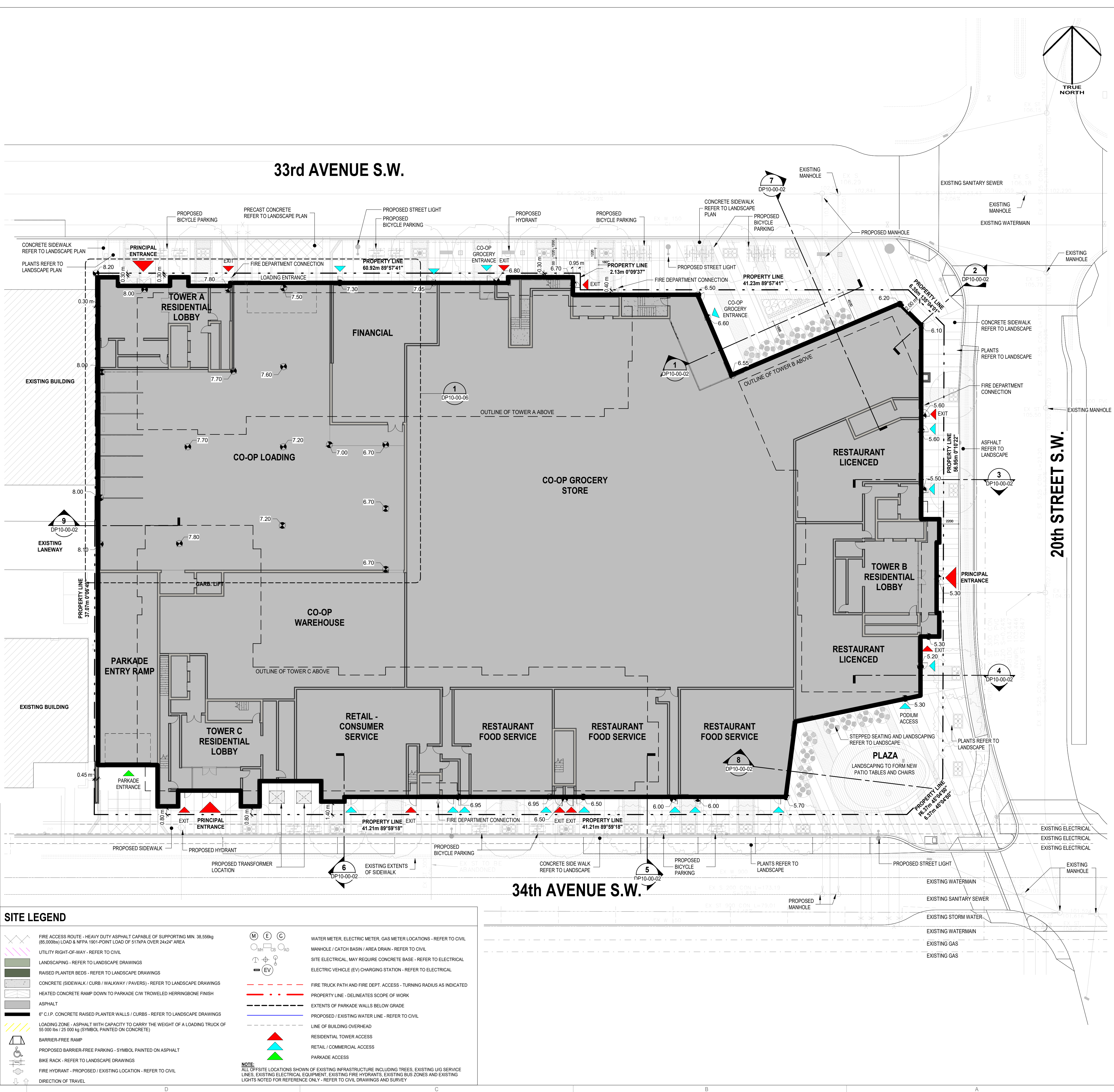
2101 33 AVE SW, CALGARY, AB
Drawing Title

OVERALL SITE PLAN - STREET LEVEL

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP10-00-01



1 SITE PLAN - STREET LEVEL OVERALL
DP10-00-01 SCALE: 1:200

SITE GENERAL NOTES

- ALL BUILT ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.)
- NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION
- NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE
- LANDSCAPE SHOWN FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS
- SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS
- FOR PROPOSED SITE LIGHTING - REFER TO ELECTRICAL DRAWINGS
- SITE SERVICES, PEDESTALS, CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS
- ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT
- REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION
- PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION (F.D.C.) IS 8" BW 3" AND 15" FROM PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED
- UTILITY RIGHT-OF-WAY - REFER TO CIVIL
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL
- IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN, IF REQUIRED
- CAST IN PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CIVIL
- PROPOSED LOCATIONS FOR FIRE ALARM CONTROL PANEL AND LOCKBOX INDICATED
- UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING
- REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED
- AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEMNIFIED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE(S)

SITE LEGEND

	FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lb) LOAD & NFPA 1901-POINT LOAD OF 517kPA OVER 24x24" AREA		WATER METER, ELECTRIC METER, GAS METER LOCATIONS - REFER TO CIVIL
	UTILITY RIGHT-OF-WAY - REFER TO CIVIL		MANHOLE / CATCH BASIN / AREA DRAIN - REFER TO CIVIL
	LANDSCAPING - REFER TO LANDSCAPE DRAWINGS		SITE ELECTRICAL, MAY REQUIRE CONCRETE BASE - REFER TO ELECTRICAL
	RAISED PLANTER BEDS - REFER TO LANDSCAPE DRAWINGS		ELECTRIC VEHICLE (EV) CHARGING STATION - REFER TO ELECTRICAL
	CONCRETE (SIDEWALK / CURB / WALKWAY / PAVERS) - REFER TO LANDSCAPE DRAWINGS		FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
	HEATED CONCRETE RAMP DOWN TO PARKADE C/W TROWELED HERRINGBONE FINISH		PROPERTY LINE - DELINEATES SCOPE OF WORK
	ASPHALT		EXTENTS OF PARKADE WALLS BELOW GRADE
	6" C.I.P. CONCRETE RAISED PLANTER WALLS / CURBS - REFER TO LANDSCAPE DRAWINGS		PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
	LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55 000 lbs / 25 000 kg (SYMBOL PAINTED ON CONCRETE)		LINE OF BUILDING OVERHEAD
	BARRIER-FREE RAMP		RESIDENTIAL TOWER ACCESS
	PROPOSED BARRIER-FREE PARKING - SYMBOL PAINTED ON ASPHALT		RETAIL / COMMERCIAL ACCESS
	BIKE RACK - REFER TO LANDSCAPE DRAWINGS		PARKADE ACCESS
	FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL		
	DIRECTION OF TRAVEL		

NOTE: ALL OF SITE LOCATIONS SHOWN OF EXISTING INFRASTRUCTURE INCLUDING TREES, EXISTING UG SERVICE LINES, EXISTING ELECTRICAL EQUIPMENT, EXISTING FIRE HYDRANTS, EXISTING BUS ZONES AND EXISTING LIGHTS NOTED FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS AND SURVEY



① SOUTH EAST CORNER



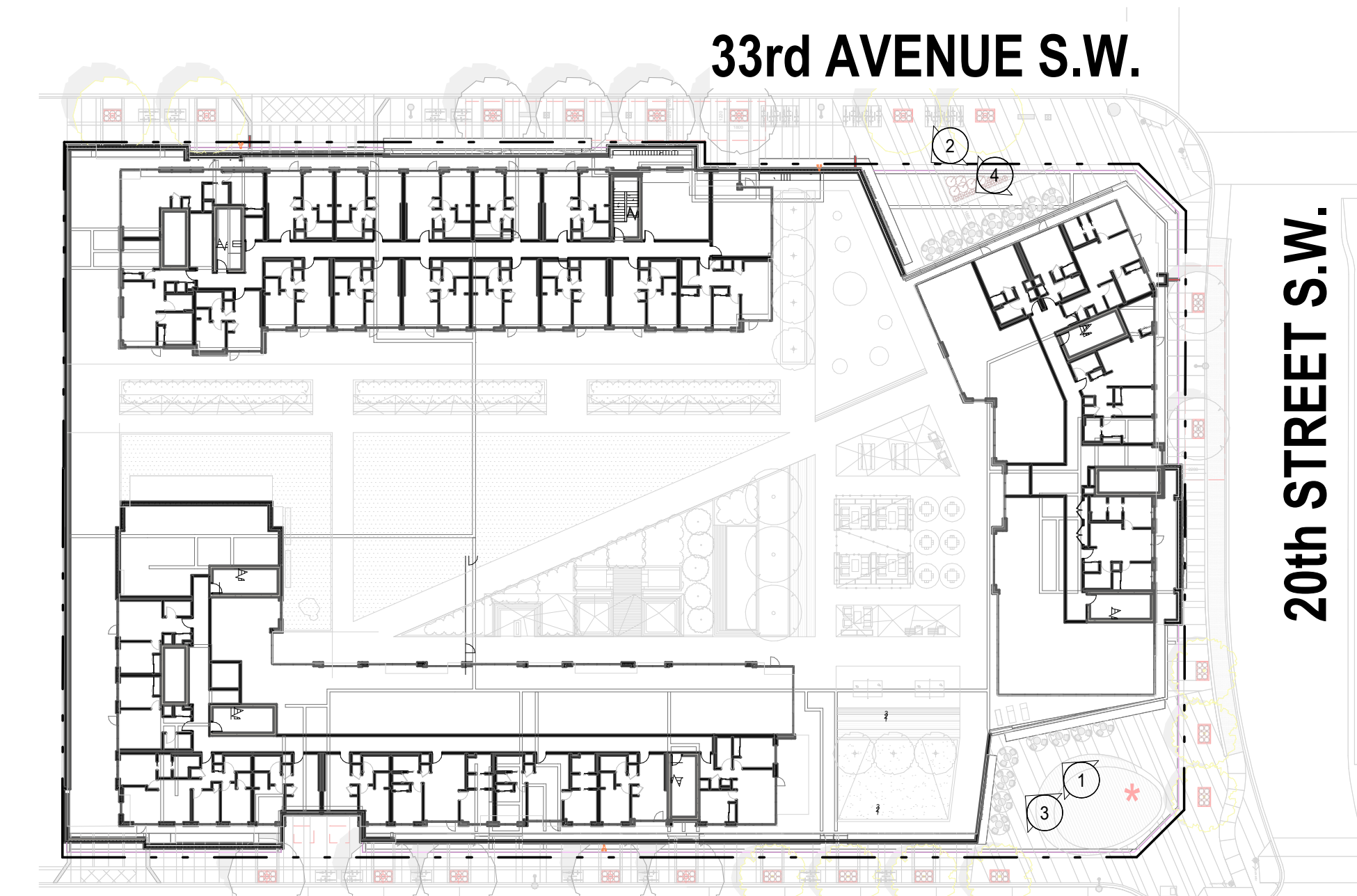
② NORTH EAST CORNER PLAZA



③ SECOND FLOOR AMENITY & SOUTH EAST CORNER PLAZA



④ NORTH EAST CORNER



KEY PLAN
SCALE: 1 : 500

34th AVENUE S.W.

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TRUMAN



CALGARY CO-OP

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Project Component
DEVELOPMENT PERMIT

Key Plan

Consultants

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 Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
 Structural: ENTUJITIVE
 Mechanical: TLJ ENGINEERING LTD.
 Electrical: TLJ ENGINEERING LTD.
 Interiors:
 Landscape: SCATLIFF MILLER MURRAY

Seal(s)



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Adam Toleda, P. Eng., A.P.E.G.A.
Chris Hill, P. Eng., A.P.E.G.A.

Project Manager J. Lackman	Drawn Author
Project Leader B. TEZUKA	Checked Checker

Client
TRUMAN

2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3

CALGARY CO-OP

151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project

2101 33 AVE SW, CALGARY, AB

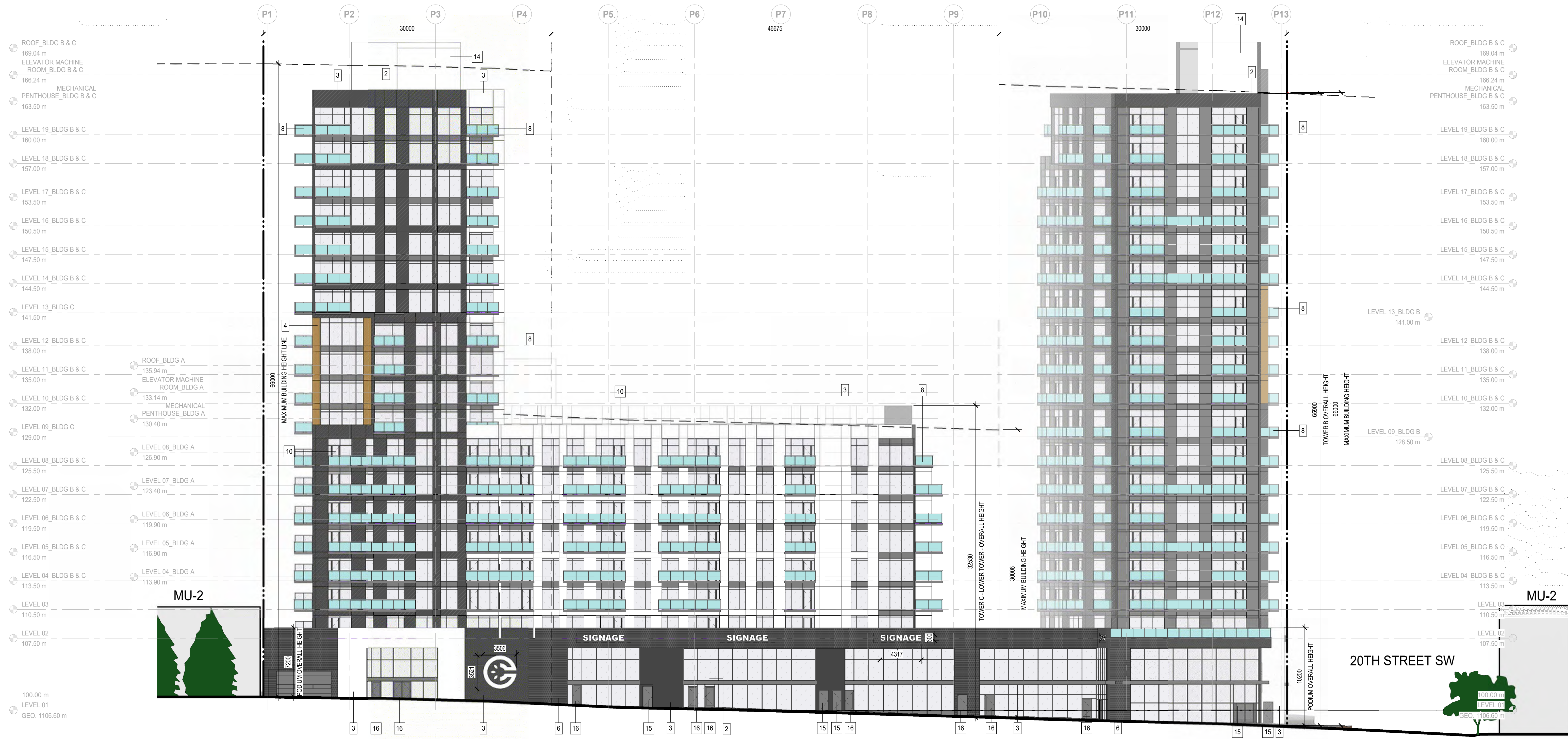
Drawing Title
3D RENDERINGS

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP10-00-13

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3 BUILDING ELEVATION - OVERALL SOUTH
 DP30-00-01 SCALE: 1:200

- ELEVATION NOTES**
- ALL RAILINGS TO BE FACE MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE
 - ALL BALCONY FACE OF SLABS TO BE PAINTED WHITE, UNDERSIDE OF BALCONY TO BE PAINTED SOLID SHADE OF NATURAL WOOD COLOUR
 - ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL
 - PROPERTY LINES ARE FOR REFERENCE ONLY, REFER TO SITE PLAN FOR OVERALL EXTENTS

HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)

	GLAZING: CLEAR
	GLAZING: SPANDREL PANEL (BLACK)
	COMPOSITE METAL PANEL (BLACK)
	COMPOSITE METAL PANEL (CO-OP RED)
	ALUMINIUM CLADDING (NATURAL WOOD TONE)
	BRICK MASONRY (WHITE)
	BRICK MASONRY (BLACK)
	BRICK MASONRY (RED BROWN)
	MULLIONS: BLACK ANODIZED ALUMINIUM

MATERIALS LEGEND

#	MATERIAL DESCRIPTION
1a	UNITIZED CURTAIN WALL SYSTEM - CLEAR ANODIZED, STANDARD CLEAR GLASS c/w LOW-E COATING
1b	TRADITIONAL CURTAIN WALL SYSTEM, STANDARD CLEAR GLASS c/w LOW-E COATING
2	CURTAIN WALL SYSTEM - SPANDREL GLAZING, COLOUR: REFER TO HATCH LEGEND
3	COMPOSITE METAL PANEL, COLOUR: REFER TO HATCH LEGEND
4	ALUMINIUM SIDING, COLOUR: NATURAL WOOD TONE
5	ALUMINIUM PERFORATED SOFFIT TO UNDERSIDE OF OVERHANG, COLOUR TO MATCH ADJACENT VERTICAL FACE
6	BRICK MASONRY, COLOUR: REFER TO HATCH LEGEND
7	SMOOTH-FINISHED CONCRETE WALL
8	GUARDRAIL - 1070mm HIGH - FACE MOUNTED, CLEAR GLASS & PRE-FINISHED ALUMINIUM, FRAMES: CLEAR ANODIZED
9	EXPOSED CONCRETE BALCONY: PAINT EDGES WHITE AND UNDERSIDE SOLID SHADE NATURAL WOOD COLOUR
10	RESIDENTIAL BALCONY DOOR
11	OPERABLE AWNING WINDOW
12	SITE CIRCULATION STAIRS
13	PEDMOUNT TRANSFORMER
14	MECHANICAL PENTHOUSE - SEE MECHANICAL
15	EXTERIOR HOLLOW METAL DOOR: COLOUR TO MATCH ADJACENT CLADDING
16	STOREFRONT GLAZED DOOR

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A



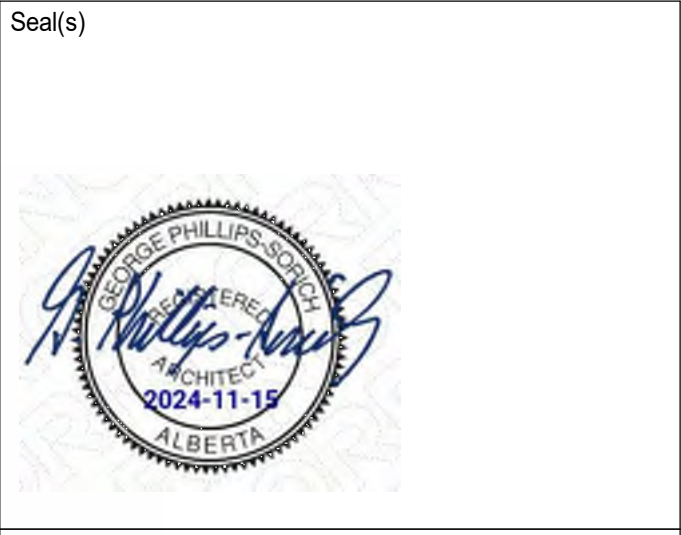
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Project Component
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Key Plan

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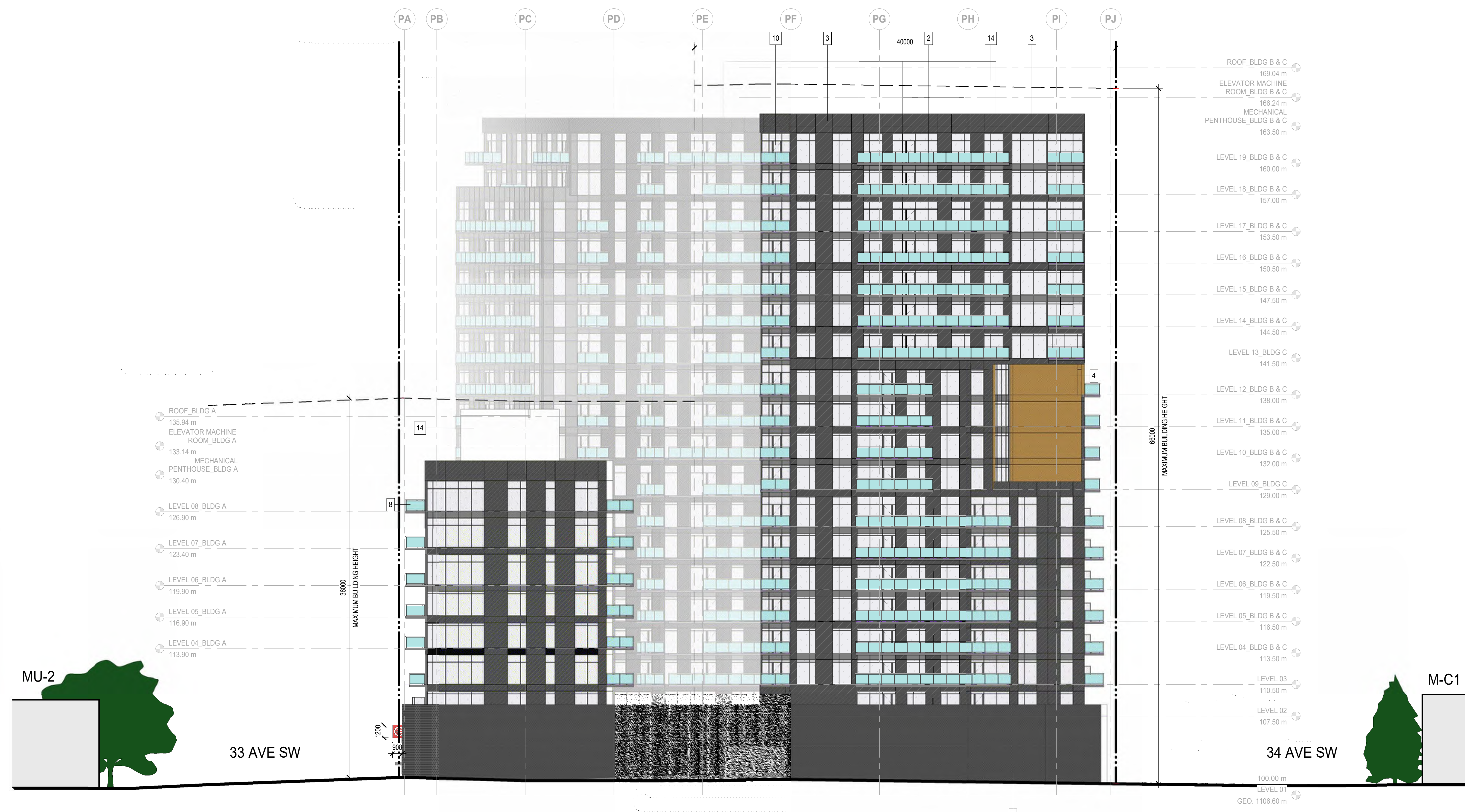
Project Manager J. Lackman	Author
Project Leader B. TEZUKA	Checked Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5
 Project

2101 33 AVE SW, CALGARY, AB
 Drawing Title
BUILDING ELEVATIONS - OVERALL SOUTH
 Scale
 As indicated
 Project No.
 NCCA22-0058
 Drawing No.
DP30-00-01

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2 BUILDING ELEVATION - OVERALL WEST
 DP30-00-02 SCALE: 1: 200

ELEVATION NOTES

- ALL RAILINGS TO BE FACE MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE
- ALL BALCONY FACE OF SLABS TO BE PAINTED WHITE, UNDERSIDE OF BALCONY TO BE PAINTED SOLID SHADE OF NATURAL WOOD COLOUR
- ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL
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HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)

	GLAZING: CLEAR
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	COMPOSITE METAL PANEL (BLACK)
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	MULLIONS: BLACK ANODIZED ALUMINIUM

MATERIALS LEGEND

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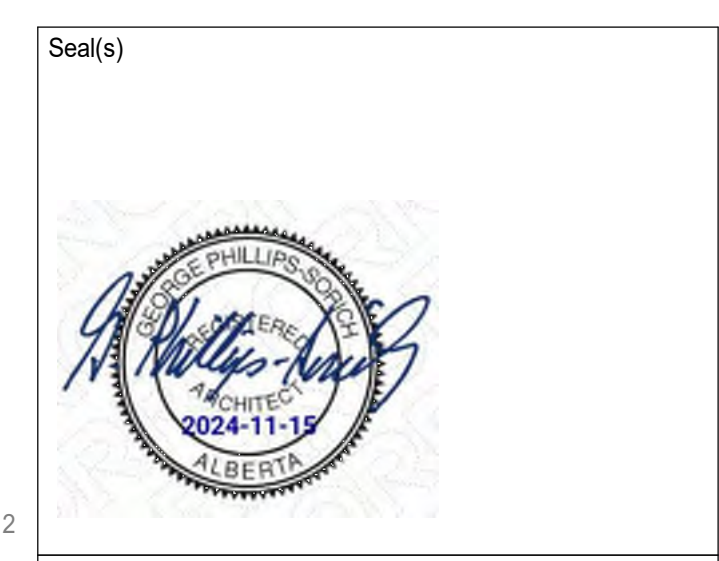
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Project
 [Redacted]

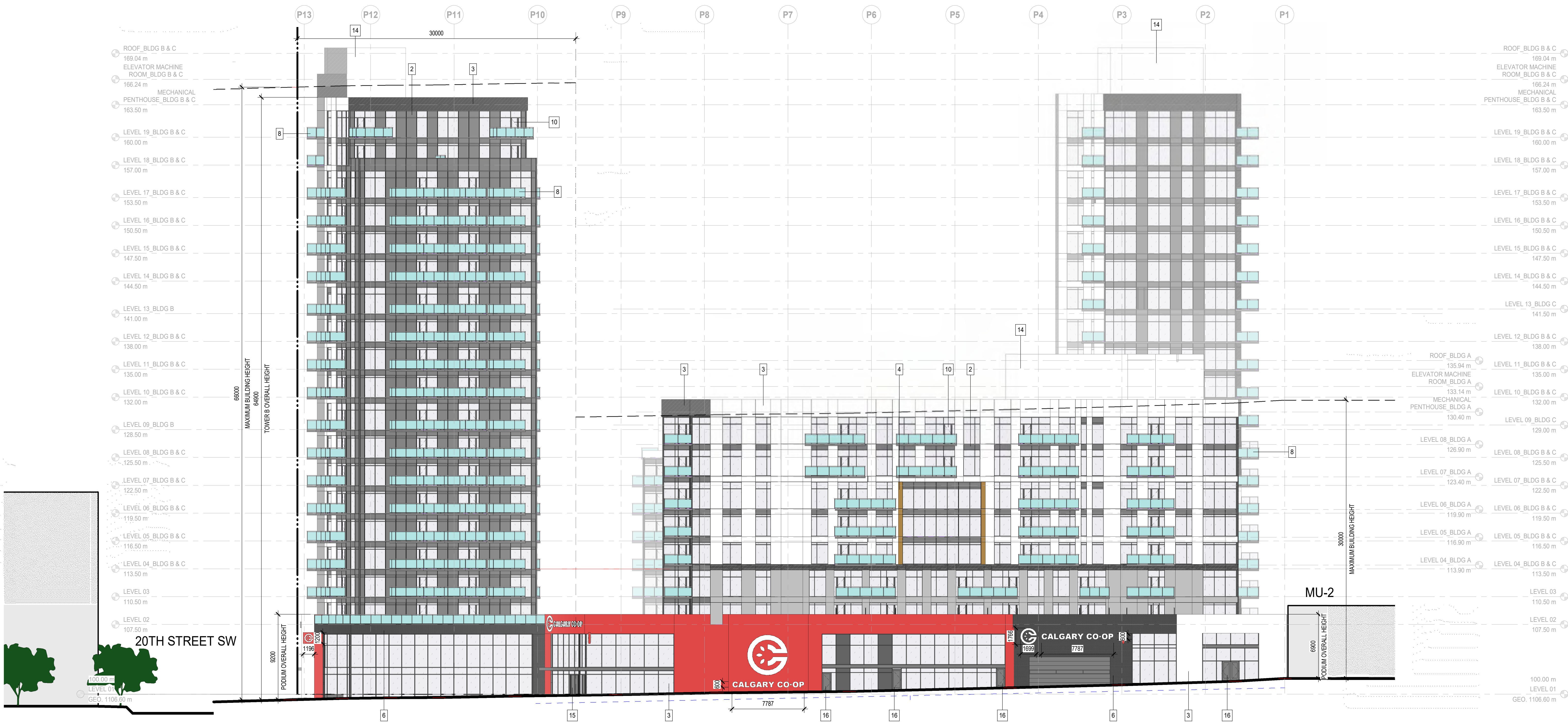
2101 33 AVE SW, CALGARY, AB
 Drawing Title
BUILDING ELEVATIONS - OVERALL WEST

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP30-00-02

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1 BUILDING ELEVATION - OVERALL NORTH
 DP30-00-03 SCALE: 1:200

ELEVATION NOTES

- ALL RAILINGS TO BE FACE MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE
- ALL BALCONY FACE OF SLABS TO BE PAINTED WHITE, UNDERSIDE OF BALCONY TO BE PAINTED SOLID SHADE OF NATURAL WOOD COLOUR
- ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL
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8	GUARDRAIL - 1070mm HIGH - FACE MOUNTED, CLEAR GLASS & PRE-FINISHED ALUMINIUM, FRAMES: CLEAR ANODIZED
9	EXPOSED CONCRETE BALCONY: PAINT EDGES WHITE AND UNDERSIDE SOLID SHADE NATURAL WOOD COLOUR
10	RESIDENTIAL BALCONY DOOR
11	OPERABLE AWNING WINDOW
12	SITE CIRCULATION STAIRS
13	PEDMOUNT TRANSFORMER
14	MECHANICAL PENTHOUSE - SEE MECHANICAL
15	EXTERIOR HOLLOW METAL DOOR, COLOUR TO MATCH ADJACENT CLADDING
16	STOREFRONT GLAZED DOOR

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A



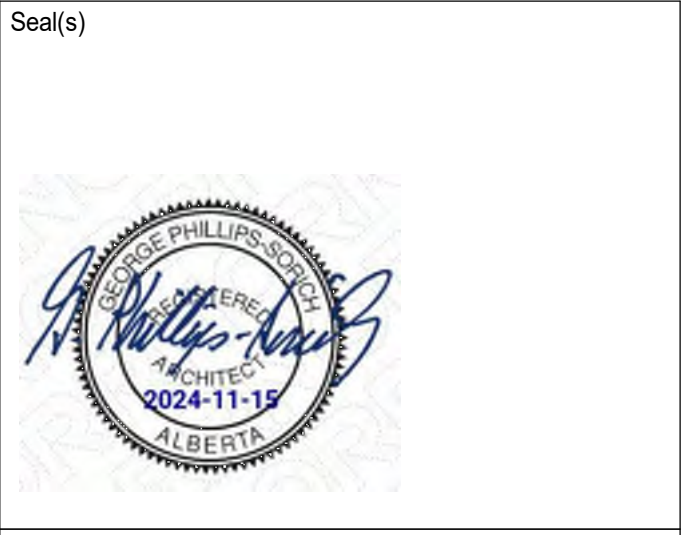
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Project Component
DEVELOPMENT PERMIT

Key Plan

Consultants
 Survey: VISTA GEOMATICS
 Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
 Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
 Structural: ENTUITIVE
 Mechanical: TLJ ENGINEERING LTD.
 Electrical: TLJ ENGINEERING LTD.
 Interiors:
 Landscape: SCATFIELD MILLER MURRAY



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Project Manager J. Lackman	Author
Project Leader B. TEZUKA	Checked Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
 [Redacted]

2101 33 AVE SW, CALGARY, AB
 Drawing Title
BUILDING ELEVATIONS - OVERALL NORTH

Scale
 As indicated

Project No.
 NCCA22-0058

Drawing No.
DP30-00-03

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DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A



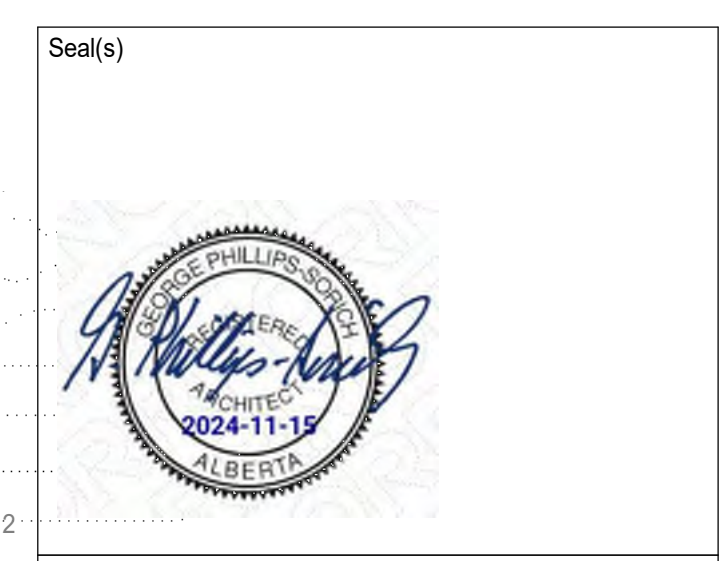
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Project Component
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Project Leader B. TEZUKA	Checked Checker

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CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

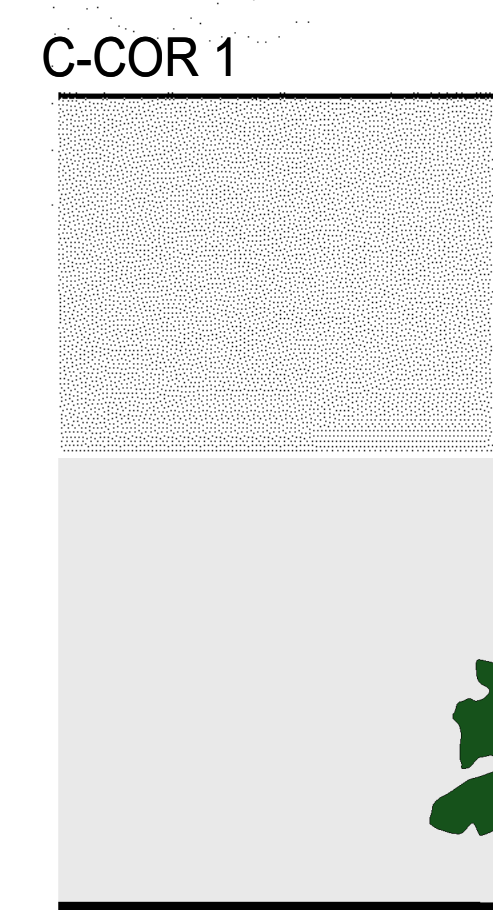
Project
 2101 33 AVE SW, CALGARY, AB

Drawing Title
BUILDING ELEVATIONS - OVERALL EAST

Scale
 As indicated

Project No.
 NCCA22-0058

Drawing No.
DP30-00-04



1 BUILDING ELEVATION - OVERALL EAST
 DP30-00-04 SCALE: 1:200

ELEVATION NOTES

- ALL RAILINGS TO BE FACE MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE
- ALL BALCONY FACE OF SLABS TO BE PAINTED WHITE, UNDERSIDE OF BALCONY TO BE PAINTED SOLID SHADE OF NATURAL WOOD COLOUR
- ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL
- PROPERTY LINES ARE FOR REFERENCE ONLY, REFER TO SITE PLAN FOR OVERALL EXTENTS

HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)

	GLAZING: CLEAR
	GLAZING: SPANDELR PANEL (BLACK)
	COMPOSITE METAL PANEL (BLACK)
	COMPOSITE METAL PANEL (CO-OP RED)
	ALUMINIUM CLADDING (NATURAL WOOD TONE)
	BRICK MASONRY (WHITE)
	BRICK MASONRY (BLACK)
	BRICK MASONRY (RED BROWN)
	MULLIONS: BLACK ANODIZED ALUMINIUM

MATERIALS LEGEND

#	MATERIAL DESCRIPTION
1a	UNITIZED CURTAIN WALL SYSTEM - CLEAR ANODIZED, STANDARD CLEAR GLASS c/w LOW-E COATING
1b	TRADITIONAL CURTAIN WALL SYSTEM, STANDARD CLEAR GLASS c/w LOW-E COATING
2	CURTAIN WALL SYSTEM - SPANDELR GLAZING, COLOUR: REFER TO HATCH LEGEND
3	COMPOSITE METAL PANEL, COLOUR: REFER TO HATCH LEGEND
4	ALUMINIUM SIDING, COLOUR: NATURAL WOOD TONE
5	ALUMINIUM PERFORATED SOFFIT TO UNDERSIDE OF OVERHANG, COLOUR TO MATCH ADJACENT VERTICAL FACE
6	BRICK MASONRY, COLOUR: REFER TO HATCH LEGEND
7	SMOOTH-FINISHED CONCRETE WALL
8	GUARDRAIL - 1070mm HIGH - FACE MOUNTED, CLEAR GLASS & PRE-FINISHED ALUMINIUM FRAMES, CLEAR ANODIZED
9	EXPOSED CONCRETE BALCONY: PAINT EDGES WHITE AND UNDERSIDE SOLID SHADE NATURAL WOOD COLOUR
10	RESIDENTIAL BALCONY DOOR
11	OPERABLE AWNING WINDOW
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16	STOREFRONT GLAZED DOOR

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ADDRESS + LEGAL DESCRIPTION
 PLAN: 4479P, BLOCK 70, LOT 1-14
 201 33 AVE. SW., CALGARY, AB

PROJECT DATA
 ZONING: MJH-3
 SITE AREA: 7,142.31M² 1.76 ACRES

LANDSCAPE CALCULATIONS

TOTAL TREES PROVIDED	X
DECIDUOUS: 1 XXX, 1 XX TREES (XX LARGE)	
CONIFEROUS: 1 XXX, 1 X TREES (X LARGE)	
TOTAL SHRUBS REQUIRED	X
TOTAL SHRUBS PROVIDED	X

GENERAL NOTES

- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS.
- ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
- ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADE ASSOCIATION AND BE TRUE TO TYPE AND SPECIES. ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
- ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS.
- ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY LOW WATER UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.
- RAISED PLANTERS ABOVE PARKADE AS FOLLOWS:
 - TREE PLANTERS: 1200MM MIN SOIL DEPTH
 - SHRUB PLANTERS: 600MM SOIL DEPTH
 - TURF AND GRASSES: 300MM SOIL DEPTH

LEGEND

- SITE**
- PROPERTY LINE
 - EXTENT OF PARKADE BELOW GRADE

STREETSCAPE PAVING

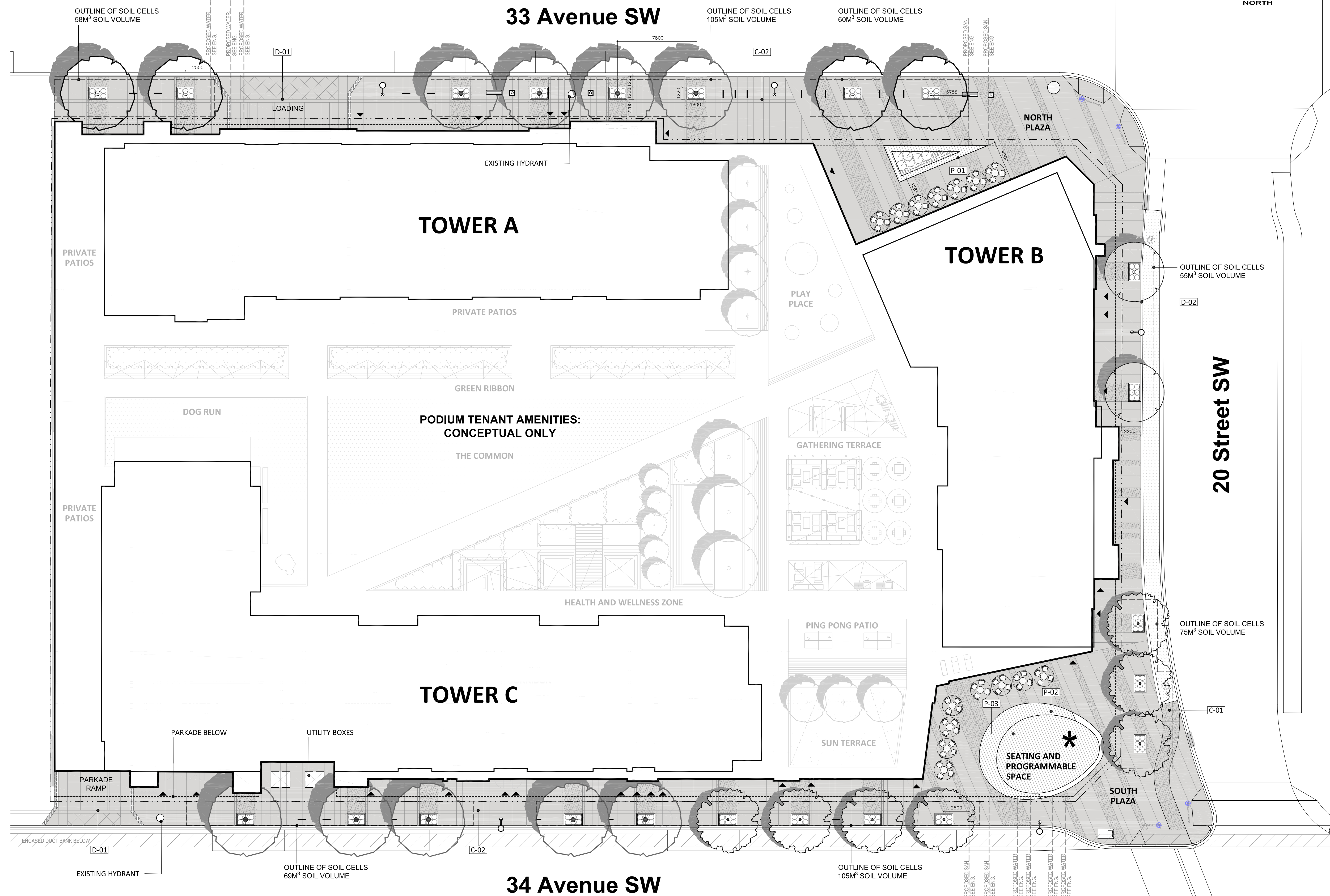
- CONCRETE SIDEWALK
NATURAL GREY / JOINTING PER SHEET LA 860
- TREE GRATE BANDING
FRAGMENTED CONCRETE PER DETAIL 65A 960
- ASPHALT MID-BLOCK CYCLE TRACK
PER MAIN STREETS 33 AND 34 AVENUE PLAN
- C-01 CIP CONCRETE- INTERSECTION CYCLE TRACK
PER MAIN STREETS 33 AND 34 AVENUE PLAN
- C-02 URBAN BRAILLE
TACTILE STRIP PER DETAIL 10LA 861
- D-01 TYPICAL DRIVEWAY TREATMENT
CIP CONCRETE / COMBED CONCRETE EDGES / JOINTING PER DETAIL 10LA 861
- D-02 TACTILE DELINEATOR STRIP

STREETSCAPE SITE FURNISHINGS AND ELEMENTS

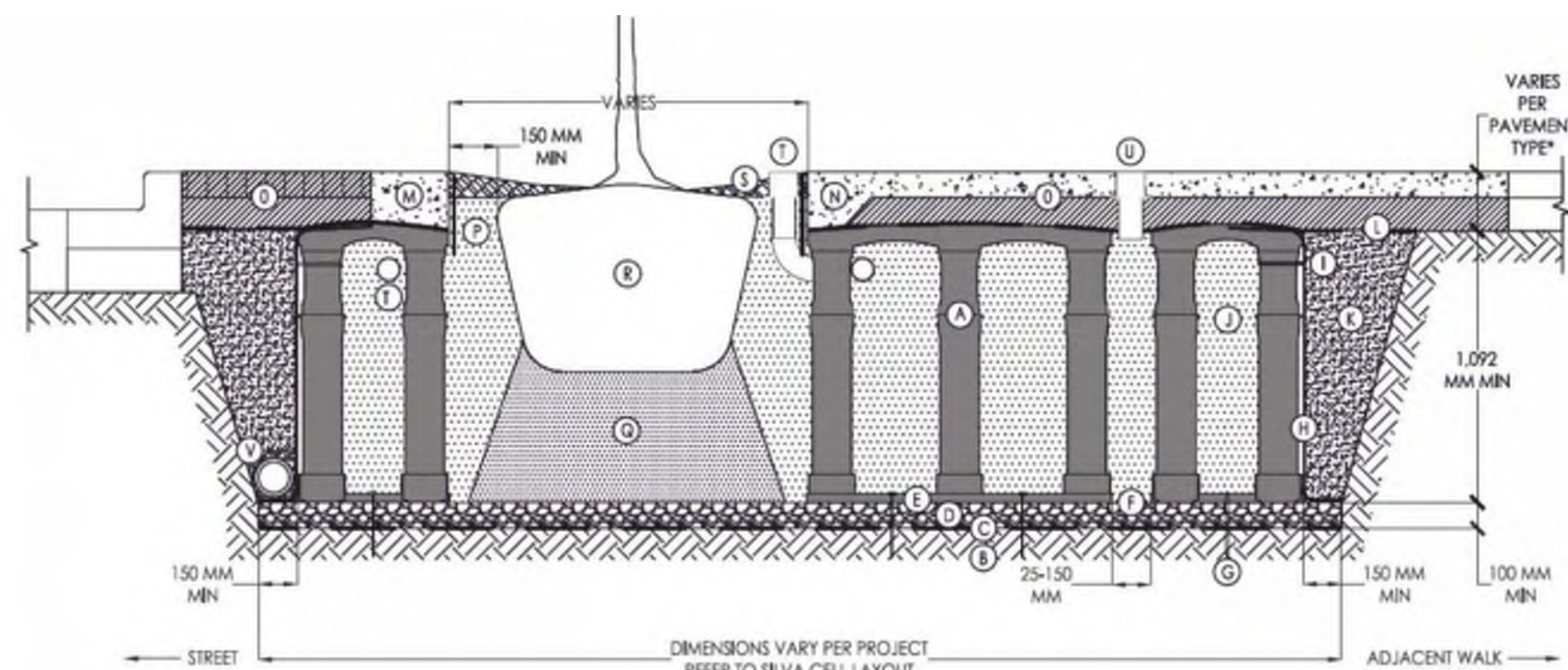
- BENCH
- BIKE STANDS
MARRA LOOP CUSTOM PER DETAIL 10LA 865
- P-01 RAISED PLANTER WITH TIMBER SEAT
- P-02 MULTI-DIRECTIONAL TIMBER SEAT
- P-03 STAGE / GATHERING SPACE
TIMBER SURFACING
- PATIO TABLES AND CHAIRS
- LOCATION FOR PUBLIC ART
- TRASH CONTAINER
- STREET LIGHT
SEE ELEC.
- STREET NAME STAMP
STENCIL PER DETAIL 10LA 861
- DROP CURB AND TACTILE
- DOORS

STREETSCAPE PLANTING

- DECIDUOUS TREES**
- 9 ELM 85MM CAL.
 - 4 LINDEN 85MM CAL.
 - 2 PRAIRIE SPIRE GREEN ASH 85MM CAL.
 - 7 HOT WINGS MAPLE 85MM CAL.
- SHRUBS - 600MM HT**
- 6 ARCTIC FIRE RED TWIGGED DOGWOOD
- GRASSES, PERENNIALS & CLIMBERS**
- 12 KARL FOERSTER GRASS
 - 132 BLUE LYME GRASS



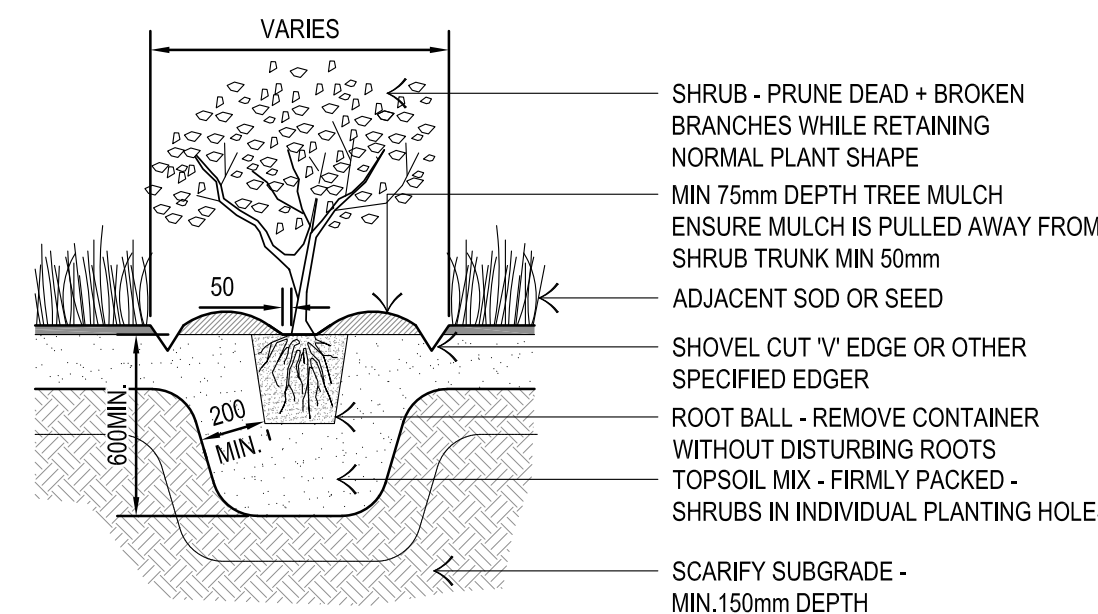
1 LANDSCAPE PLAN
 SCALE: 1:200



2 TYPICAL SILVA CELLS BY DEEP ROOT INFRASTRUCTURE OR SIMILAR
 SCALE: NTS

- KEY PLAN**
- SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - SUBGRADE, COMPACTED
 - GEOTEXTILE FABRIC, PLACED ABOVE SUBGRADE
 - 100 MM MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
 - SILVA CELL BASE SLOPE, 10% MAX
 - 25 TO 150 MM SPACING BETWEEN SILVA CELLS AT BASE
 - ANCHORING SPIKES - CONTACT DEEPROOF FOR ALTERNATIVE
 - GEORGID, WRAPPED AROUND PERIMETER OF SYSTEM WITH 150 MM TOE (OUTWARD FROM BASE) AND 300 MM EXCESS (OVER TOP OF DECK)
 - CABLE TIE, ATTACHING GEORGID TO SILVA CELL AT BASE OF UPPER LEG FLARE, AS NEEDED
- PLANTING SOIL, PER PROJECT SPECIFICATIONS, PLACED IN LIFTS AND WALK-IN COMPACTED TO 75-85% PROCTOR**
- COMPACTED BACKFILL, PER PROJECT SPECIFICATIONS
 - GEOTEXTILE FABRIC TO EDGE OF EXCAVATION
 - RIBBON CURB AT TREE OPENING (TO BE USED WITH PAVERS OR ASPHALT)
 - THICK PAVEMENT EDGE AT TREE OPENING (TO BE USED WITH CONCRETE)
 - PAVEMENT AND AGGREGATE BASE PER PROJECT*
- *MINIMUM PAVEMENT PROFILE OPTIONS TO MEET CSA-S6 87.5M PAVEMENT**
- | | |
|-----------------|-----------------------|
| 75 MM PAVEMENT | AGGREGATE BASE COURSE |
| 100 MM CONCRETE | + 100 MM |
| AGGREGATE | + 300 MM |
| 75 MM PAVEMENT | AGGREGATE |
| 100 MM ASPHALT | + 300 MM |
| AGGREGATE | + 300 MM |
| 65 MM PAVER | + 125 MM CONCRETE |

- DEEPROOF ROOT BARRIER, 300 OR 450 MM DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT
 - PLANTING SOIL BELOW ROOT BALL, COMPACTED WELL TO PREVENT SETTLING
 - ROOT BALL
 - TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
 - DEEPROOF WATER AND AIR VENT-ROOTBALL, WHEN REQUIRED
 - DEEPROOF WATER AND AIR VENT, WHEN REQUIRED
 - UNDERDRAIN SYSTEM, WHEN REQUIRED (LOCATION AND DETAILS BY OTHERS)
- NOTES**
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 - REGULATIONS TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - PROVIDE SUPPLEMENTAL IRRIGATION.
 - DO NOT SCALE DRAWINGS.



3 TYPICAL SHRUB PLANTING
 SCALE: 1:25

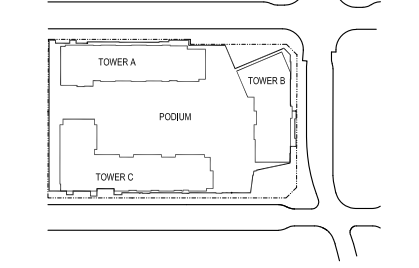
2024.10.25 COORDINATION
 2024.11.15 DEVELOPMENT PERMIT

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Project Component

Key Plan



Consultants

Survey: JUBILEE ENGINEERING CONSULTANTS LTD.
 Architecture: NORR
 Structural: ENTUITIVE
 Mechanical: TLJ ENGINEERING
 Electrical: TLJ ENGINEERING
 Interiors: TLJ ENGINEERING
 Landscape: SCATFILL MILLER MURRAY

Seal(s)

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 Adam Tomlin, P.Eng., AREG
 Chris de Felice, AREG

Project Manager J. LACKMAN	Drawn CHRIS VERES
Project Leader B. TEZUKA	Checked DERON MILLER

Client

TRUMAN

2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3

2101 33 AVE SW, CALGARY, AB T2T 1Z7

Drawing Title
LANDSCAPE PLAN

Scale
1:200

Project No.
NCCA22-0058

Drawing No.
DP-L-01