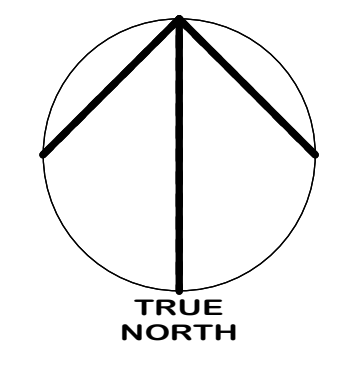


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AMENDED DRAWINGS
DP No DP2024-08395 Date Received June 9, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B
2025-12-18	DEVELOPMENT PERMIT REVISION 2	C
2026-03-19	DEVELOPMENT PERMIT REVISION 3	D
2026-06-08	ISSUED FOR DR4 RESPONSE	F



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Project Component
ISSUED FOR PRICING EXERCISE
Key Plan

Consultants

Survey: VISTA GEOMATICS
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
Structural: GLOTMAN-SIMPSON
Mechanical: SMITH & ANDERSON
Electrical: SMITH & ANDERSON
Interiors: SCATLIFF MILLER MURRAY

Seal(s)

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Chris Hall, P. Eng., APEGA

Project Manager
J. Lackman
Project Leader
N. HARNER

Drawn
Author
Checked
Checker

Client
TRUMAN
2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB

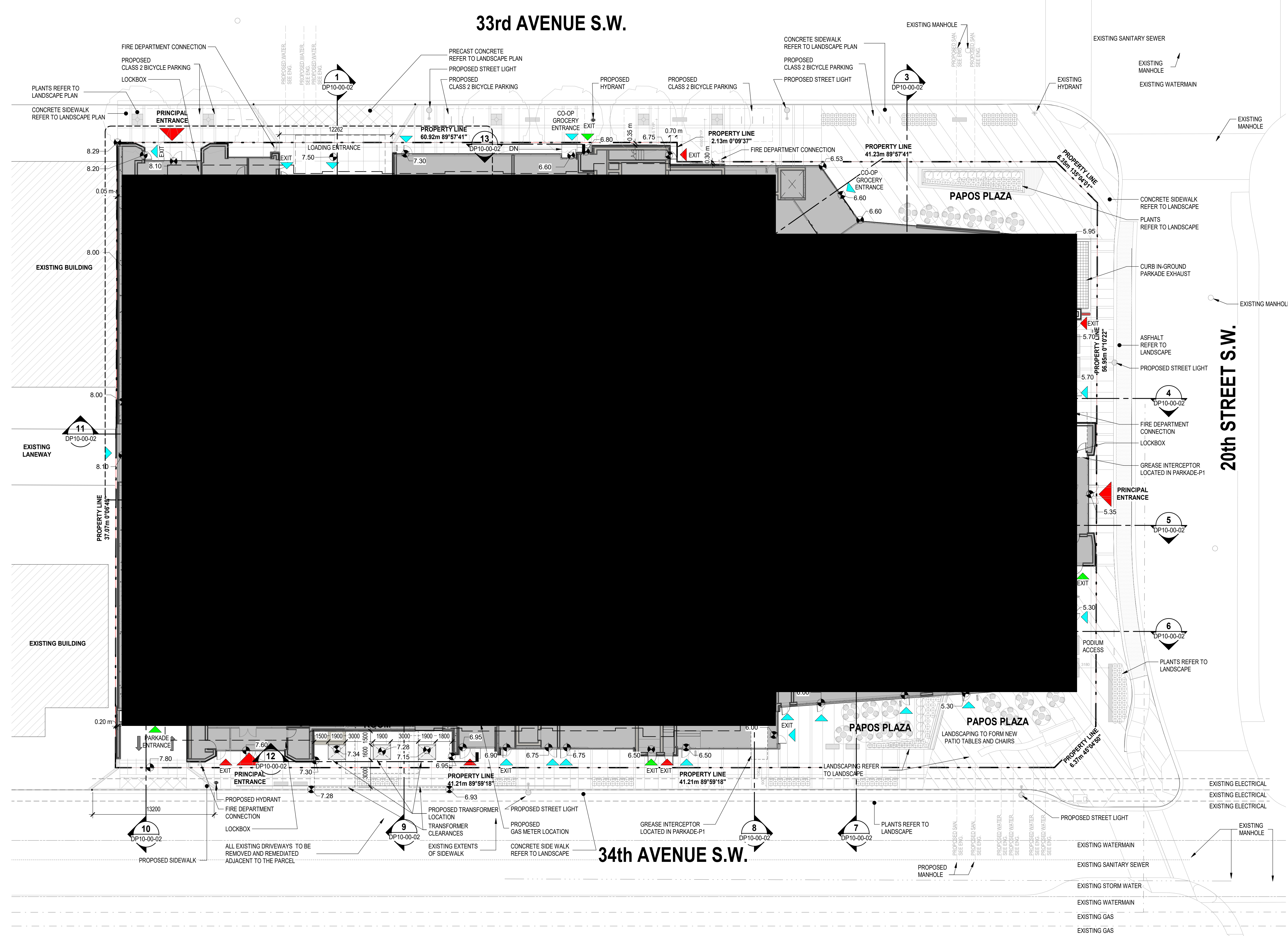
Drawing Title
OVERALL SITE PLAN - STREET LEVEL

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP10-00-01

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- SITE GENERAL NOTES**
- ALL BUILT ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE.
 - WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP).
 - NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION.
 - NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE.
 - LANDSCAPE SHOWN FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS.
 - SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS.
 - FOR PROPOSED SITE LIGHTING - REFER TO ELECTRICAL DRAWINGS.
 - SITE SERVICES, PEDESTALS, CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS.
 - ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT.
 - REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION.
 - PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION (F.D.C.) IS 3m AND 15m FROM PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED.
 - ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL.
 - IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN, IF REQUIRED.
 - CAST IN PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CIVIL.
 - PROPOSED LOCATIONS FOR FIRE ALARM CONTROL PANEL AND LOCKBOX INDICATED.
 - UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING.
 - REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS.
 - INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED.
 - AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEMNIFIED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE(S).
 - ALL EXISTING DRIVEWAYS TO BE REMOVED AND ALL SITE WORK TO BE REBUILT TO MEET OR EXCEED MAINSTREETS STANDARDS.

- SITE LEGEND**
- FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lbs) LOAD & NFPA 1901-POINT LOAD OF 517kPA OVER 24x24" AREA
 - UTILITY RIGHT-OF-WAY - REFER TO CIVIL
 - LANDSCAPING - REFER TO LANDSCAPE DRAWINGS
 - RAISED PLANTER BEDS - REFER TO LANDSCAPE DRAWINGS
 - CONCRETE (SIDEWALK / CURB / WALKWAY / PAVERS) - REFER TO LANDSCAPE DRAWINGS
 - HEATED CONCRETE RAMP DOWN TO PARKADE C/W TROVELED HERRINGBONE FINISH
 - ASPHALT
 - 6" C.I.P. CONCRETE RAISED PLANTER WALLS / CURBS - REFER TO LANDSCAPE DRAWINGS
 - LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55 000 lbs / 25 000 kg (SYMBOL PAINTED ON CONCRETE)
 - BARRIER-FREE RAMP
 - PROPOSED BARRIER-FREE PARKING - SYMBOL PAINTED ON ASPHALT
 - BIKE RACK - REFER TO LANDSCAPE DRAWINGS
 - FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL
 - DIRECTION OF TRAVEL
 - WATER METER, ELECTRIC METER, GAS METER LOCATIONS - REFER TO CIVIL
 - MANHOLE / CATCH BASIN / AREA DRAIN - REFER TO CIVIL
 - SITE ELECTRICAL, MAY REQUIRE CONCRETE BASE - REFER TO ELECTRICAL
 - ELECTRIC VEHICLE (EV) CHARGING STATION - REFER TO ELECTRICAL
 - FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
 - PROPERTY LINE - DELINEATES SCOPE OF WORK
 - EXTENTS OF PARKADE WALLS BELOW GRADE
 - PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
 - LINE OF BUILDING OVERHEAD
 - RESIDENTIAL TOWER ACCESS
 - RETAIL / COMMERCIAL ACCESS
 - PARKADE ACCESS

NOTE:
ALL OFFSITE LOCATIONS SHOWN OF EXISTING INFRASTRUCTURE INCLUDING TREES, EXISTING UG SERVICE LINES, EXISTING ELECTRICAL EQUIPMENT, EXISTING FIRE HYDRANTS, EXISTING BUS ZONES AND EXISTING LIGHTS NOTED FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS AND SURVEY

1 SITE PLAN - STREET LEVEL OVERALL
DP10-00-01 SCALE: 1:200



① SOUTH EAST CORNER

AMENDED DRAWINGS
 DP No Date Received
 DP2024-08395 June 9, 2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



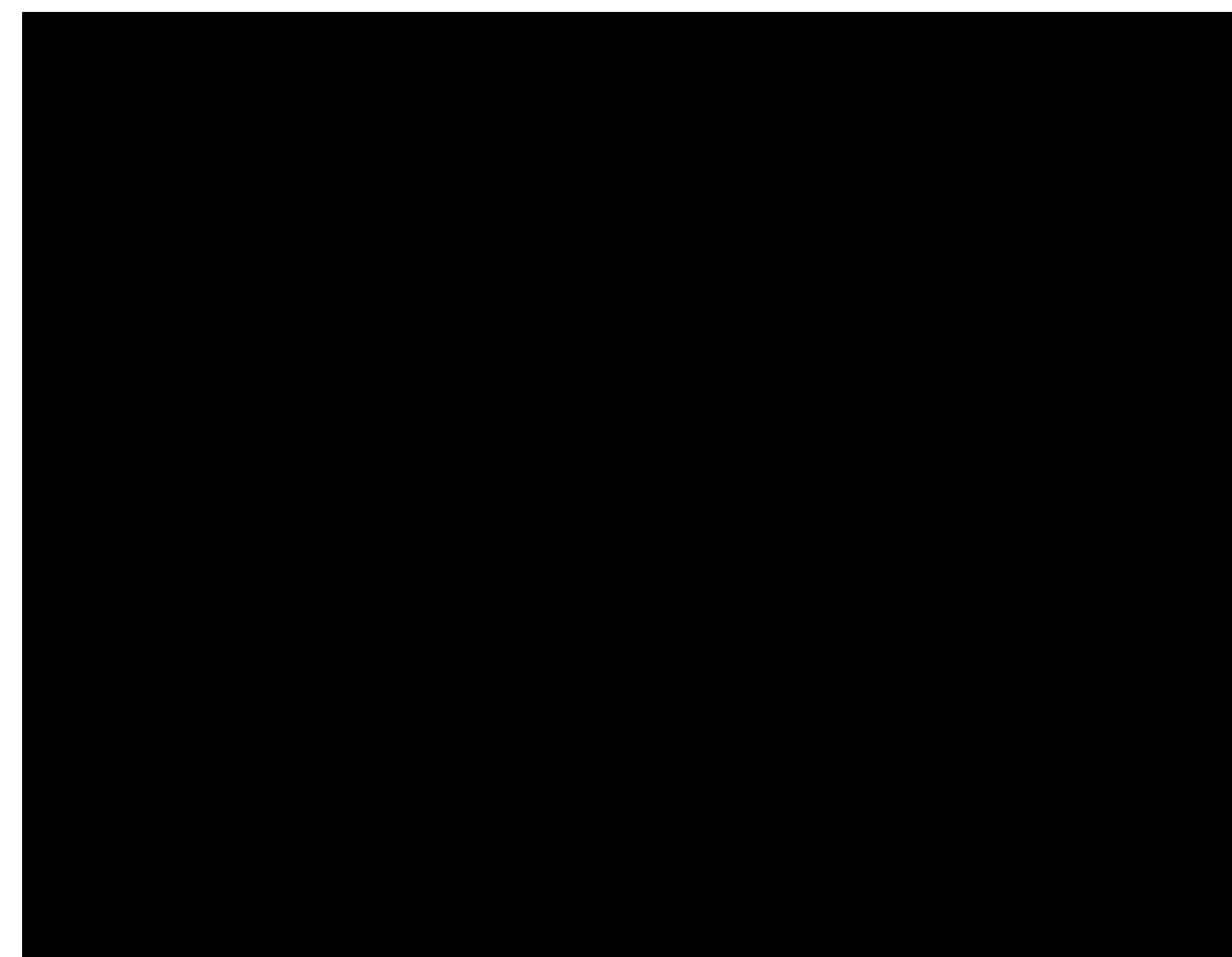
② NORTH EAST CORNER PLAZA



③ SECOND FLOOR AMENITY & NORTH EAST CORNER PLAZA



④ SOUTH EAST CORNER



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2026-03-19	DEVELOPMENT PERMIT REVISION 3	D
2026-06-08	ISSUED FOR DR4 RESPONSE	F

TRUMAN



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Project Component
ISSUED FOR PRICING EXERCISE

Key Plan

Consultants
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 Structural: GLOTMAN-SIMPSON
 Mechanical: SMITH & ANDERSON
 Electrical: SMITH & ANDERSON
 Interiors:
 Landscape: SCATLIFF MILLER MURRAY

Seal(s)

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 (Formerly NORR Architects Engineers Planners Inc. and NORR Architects Engineers Planners Ltd.)

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 Adam Toleda, P.Eng., APEGA
 Chris Hill, P.Eng., APEGA

Project Manager J. Lackman	Author
Project Leader N. HARNER	Checked Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB
 Drawing Title
3D RENDERINGS

Scale
 1 : 500

Project No.
 NCCA22-0058

Drawing No.
DP10-00-13

AMENDED DRAWINGS

DP No Date Received
 DP2024-08395 June 9, 2026
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 ABOVE DEVELOPMENT PERMIT NO.**



④ SOUTHEAST VIEW



③ EAST PEDESTRIAN VIEW



① NORTH PEDESTRIAN VIEW



② SOUTH EAST PEDESTRIAN VIEW

DATE	ISSUED FOR	REV
2025-09-15	DEVELOPMENT PERMIT REVISION	B
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2026-03-19	DEVELOPMENT PERMIT REVISION 3	D
2026-06-08	ISSUED FOR DR4 RESPONSE	F



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 Chris Pao, P.Eng., ARE/CA

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Project Leader N.HARNER	Checked Checker

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TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA
 2101 33 AVE SW, CALGARY, AB

Drawing Title
3D RENDERINGS

Scale
 1 : 500

Project No.
 NCCA22-0058

Drawing No.
DP10-00-14



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AMENDED DRAWINGS
 DP No Date Received
 DP2024-08395 June 9, 2026
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LEGEND

	AREA OF FAÇADE BETWEEN 6M AND 2.4M
	AREA OF GLAZING

% OF GLAZING

	EAST FAÇADE	SOUTH FAÇADE	NORTH FAÇADE
TOTAL FAÇADE LENGTH	87.103	187.169	198.116
TOTAL GLAZING LENGTH	52.636	105.227	115.657
	60%	56%	58%

DATE	ISSUED FOR	REV
2025-12-18	DEVELOPMENT PERMIT REVISION 2	C
2026-03-19	DEVELOPMENT PERMIT REVISION 3	D
2026-04-28	DEVELOPMENT PERMIT REVISION 4	E
2026-06-08	ISSUED FOR DR4 RESPONSE	F



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 Adam Toleda, P. Eng., APEGA
 Chris Hill, P. Eng., APEGA

Project Manager	J. LACKMAN	Author
Project Leader	N. HARNER	Checked
Client		Checker

TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA
 2101 33 AVE SW, CALGARY, AB T2T 1Z7

Drawing Title
PODIUM ELEVATIONS - PERCENTAGE OF GLAZING

Scale
 As indicated
 Project No.
 NCCA22-0058
 Drawing No.
DP10-00-16

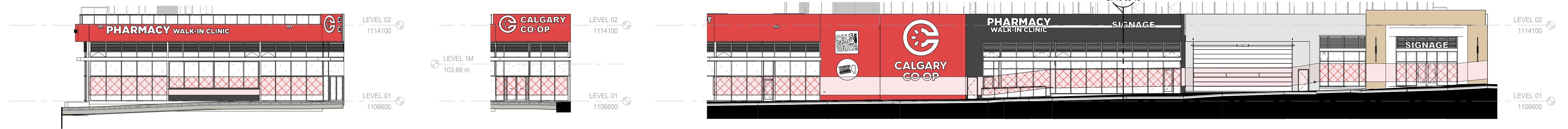


3 PODIUM ELEVATION - EAST
 DP10-00-16 SCALE: 1:200



2 PODIUM ELEVATION - SOUTH 1
 DP10-00-16 SCALE: 1:200

4 PODIUM ELEVATION - SOUTH 2
 DP10-00-16 SCALE: 1:200



5 PODIUM ELEVATION - NORTH 1
 DP10-00-16 SCALE: 1:200

6 PODIUM ELEVATION - NORTH 2
 DP10-00-16 SCALE: 1:200

1 PODIUM ELEVATION - NORTH 3
 DP10-00-16 SCALE: 1:200

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AMENDED DRAWINGS

DP No Date Received
DP2024-08395 June 9, 2026
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DATE	ISSUED FOR	REV
2026-03-19	DEVELOPMENT PERMIT REVISION 3	D
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J. LACKMAN	
Project Leader	Checked
N. HARNER	

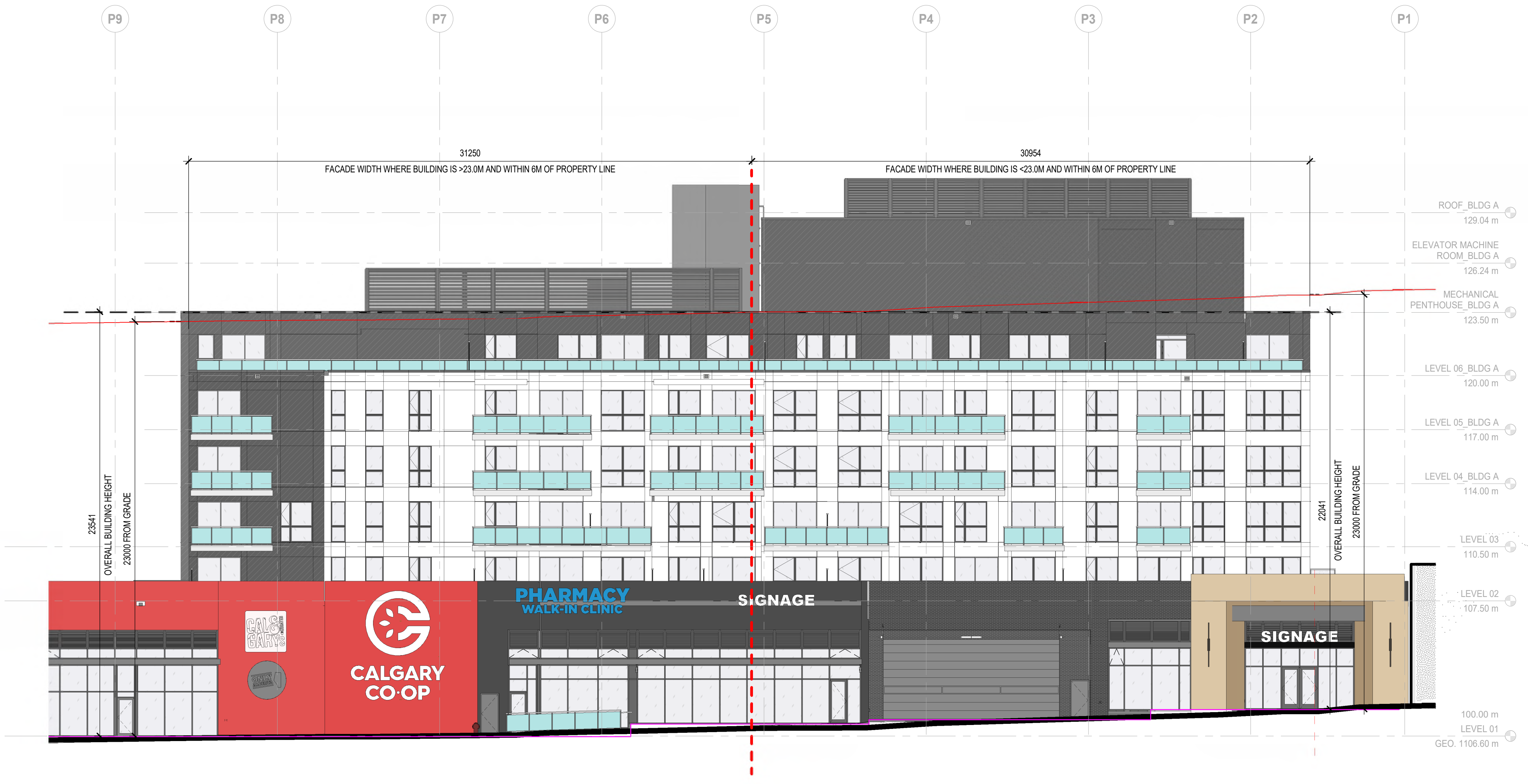
Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB
 Drawing Title
TOWER 1 SETBACK ELEVATION

Scale
 1 : 150

Project No.
 NCCA22-0058
 Drawing No.
DP10-00-17

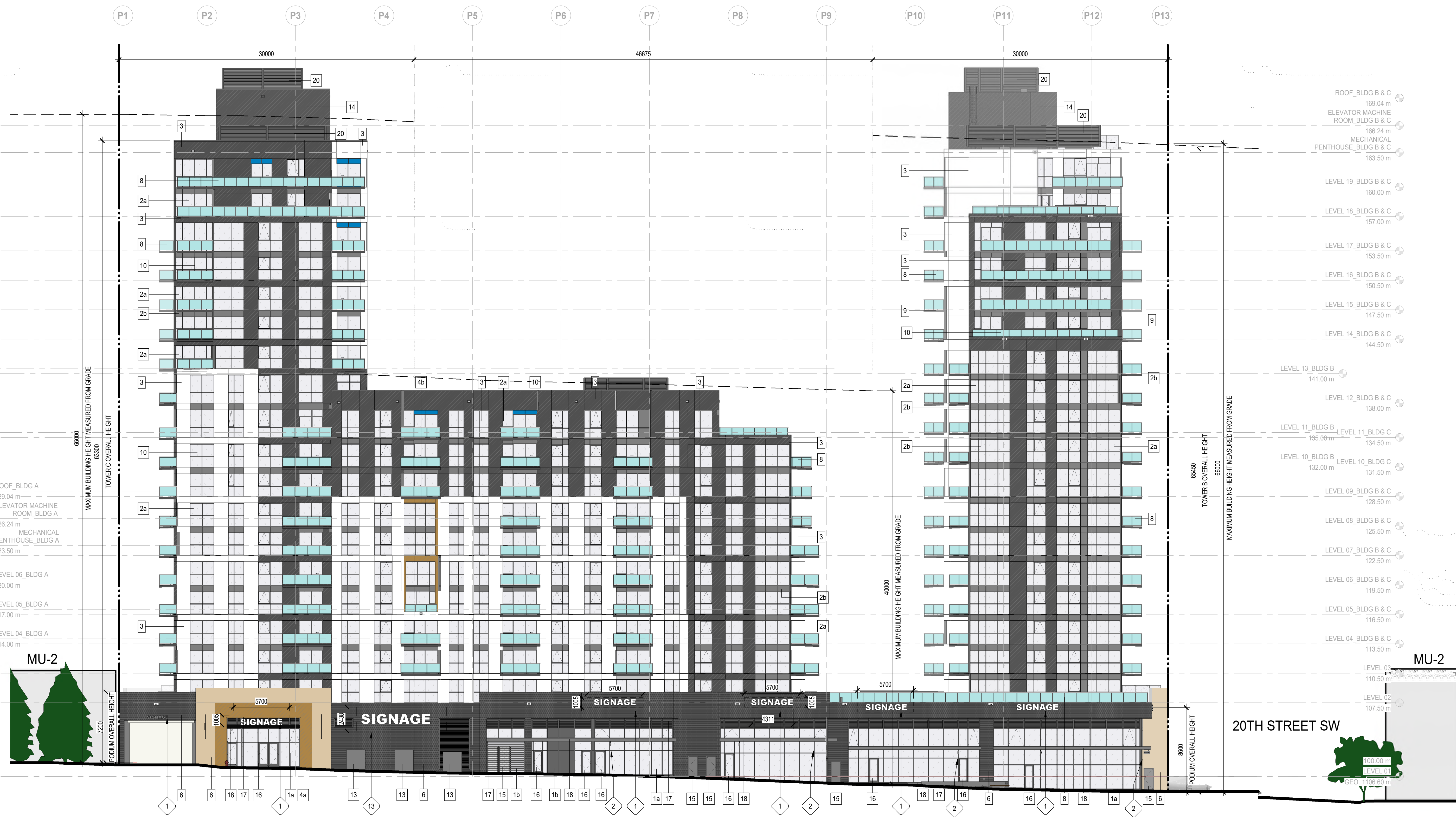


PORTION OF TOWER ABOVE 23M = 31,250
 PORTION OF TOWER ABOVE 23M WITHIN 2M SETBACK = 1,622
 PORTION OF TOWER ABOVE 23M SETBACK 2M = 95%

1 TOWER A - BUILDING ELEVATION - NORTH
 DP10-00-17 SCALE: 1 : 150

03/2025 1:48:59 PM

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B
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Seal(s)
2

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N. HARNER
Checked
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TRUMAN
2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA
2101 33 AVE SW, CALGARY, AB

Drawing Title
BUILDING ELEVATIONS - OVERALL SOUTH

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP30-00-01

3 BUILDING ELEVATION - OVERALL SOUTH
DP30-00-01 SCALE: 1:200

AMENDED DRAWINGS
DP No Date Received
DP2024-08395 June 9, 2026
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

- ELEVATION NOTES**
- ALL RAILINGS TO BE FACE MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE
 - ALL BALCONY FACE OF SLABS AND UNDERSIDE TO BE PAINTED BLACK
 - ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL
 - PROPERTY LINES ARE FOR REFERENCE ONLY, REFER TO SITE PLAN FOR OVERALL EXTENTS

HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)

[Hatch]	GLAZING: CLEAR
[Hatch]	GLAZING: SPANDREL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (CO-OP RED)
[Hatch]	COMPOSITE METAL PANEL (GREEN)
[Hatch]	COMPOSITE METAL PANEL (WHITE)
[Hatch]	ALUMINIUM CLADDING (NATURAL WOOD TONE - WALNUT)
[Hatch]	ALUMINIUM CLADDING (NATURAL WOOD TONE - LIGHT MAPLE)
[Hatch]	BRICK MASONRY (BLACK)
[Hatch]	TRAVERTINE
[Hatch]	LOUVRE
[Hatch]	MULLIONS: BLACK ANODIZED ALUMINIUM

SIGNAGE KEYNOTE LEGEND

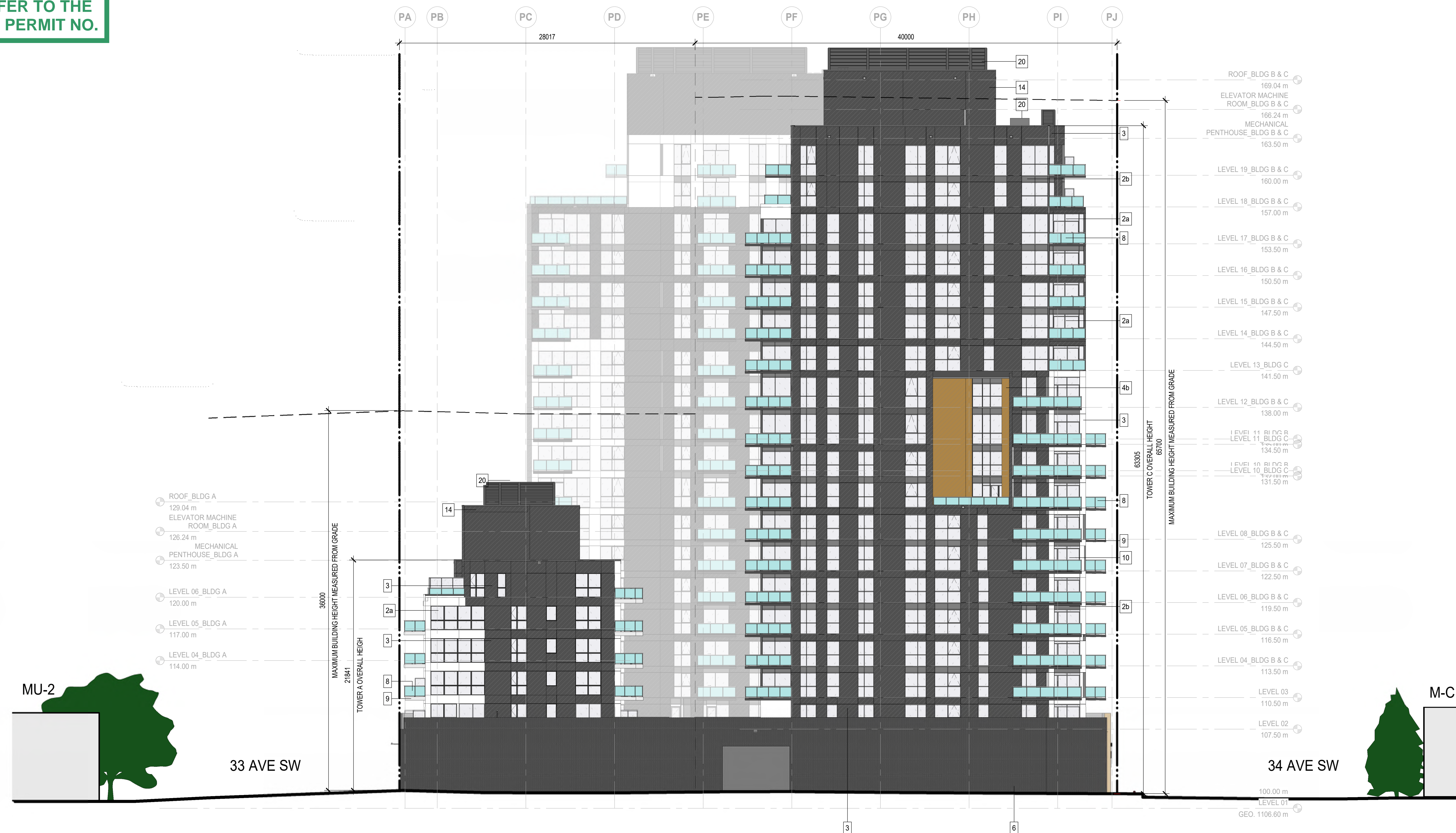
1	FUTURE SIGNAGE, W 5700 x H 1005	10	CAL & GARY LOGO, W 2286 X H 2286
2	BLADE SIGNAGE, W 609 x H 300	11	ONLY ALBERTA BEEF LOGO, D 2286
3	CO-OP BLADE SIGNAGE, W 1000 x H 1000	12	CALGARY CO-OP - PHARMACY LOGO, W 4485 X H 530
4	CALGARY CO-OP SIGNAGE, W 1790 x H 600	13	FUTURE SIGNAGE, W 9144 x H 2438
4a	CALGARY CO-OP SIGNAGE (STACKED), W 3140 x H 1136	14	PHARMACY WALK-IN CLINIC (BLADE SIGN), W 609 x H 300
5	M LOGO SIGNAGE, W 2350 x H 3060		
6	MARK & MADA BLOCK SIGNAGE, W 7400 X H 500		
7	BIG CO-OP LOGO, W 4340 x H 4340		
7a	BIG CO-OP LOGO (2), W 2156 x H 2156		
8	CO-OP LOGO + CALGARY CO-OP SIGNAGE (OVER ENTRY), W 6670 X H 1764		
8a	PHARMACY WALK-IN CLINIC, W 12126 X H 776		
8b	PHARMACY WALK-IN CLINIC, W 6330 X H 1418		
8c	PHARMACY WALK-IN CLINIC, W 7100 X H 450		

MATERIALS LEGEND

#	MATERIAL DESCRIPTION
1a	UNITIZED CURTAIN WALL SYSTEM - CLEAR ANODIZED, STANDARD CLEAR GLASS c/w LOW-E COATING
1b	CURTAIN WALL SYSTEM - SPANDREL GLAZING, COLOUR: REFER TO HATCH LEGEND
2a	WINDOW WALL SYSTEM - CLEAR GLAZING, STANDARD CLEAR GLASS c/w LOW E COATING; REFER TO HATCH LEGEND
2b	WINDOW WALL SYSTEM - SPANDREL GLAZING, COLOUR: REFER TO HATCH LEGEND
3	COMPOSITE METAL PANEL, COLOUR: REFER TO HATCH LEGEND
4a	ALUMINIUM SIDING, COLOUR: NATURAL WOOD TONE - WALNUT
4b	ALUMINIUM SIDING, COLOUR: NATURAL WOOD TONE - LIGHT MAPLE
5	ALUMINIUM PERFORATED SOFFIT TO UNDERSIDE OF OVERHANG, COLOUR TO MATCH ADJACENT VERTICAL FACE
6	BRICK MASONRY OR STONE, COLOUR: REFER TO HATCH LEGEND
7	SMOOTH-FINISHED CONCRETE WALL
8	GUARDRAIL - 1070mm HIGH - FACE MOUNTED, CLEAR GLASS & PRE-FINISHED ALUMINIUM, FRAMES: CLEAR ANODIZED
9	EXPOSED CONCRETE BALCONY; PAINT EDGES AND UNDERSIDE BLACK
10	RESIDENTIAL BALCONY DOOR
11	OPERABLE AWNING WINDOW
12	SITE CIRCULATION STAIRS
13	PEDMOUNT TRANSFORMER
14	MECHANICAL PENTHOUSE - SEE MECHANICAL
15	EXTERIOR HOLLOW METAL DOOR; COLOUR TO MATCH ADJACENT CLADDING
16	STOREFRONT GLAZED DOOR
17	MECHANICAL LOUVERS FOR VENTING; COLOUR TO MATCH MULLION
18	METAL CANOPY; COLOUR TO MATCH MULLION
19	STOREFRONT SLIDING WINDOWS; COLOUR TO MATCH MULLION
20	MECHANICAL SCREENING, COLOR TO MATCH METAL PANEL

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AMENDED DRAWINGS
 DP No Date Received
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2 BUILDING ELEVATION - OVERALL WEST
 DP30-00-02 SCALE: 1:200

SIGNAGE KEYNOTE LEGEND	
1	FUTURE SIGNAGE; W 5700 x H 1005
2	BLADE SIGNAGE; W 609 x H 300
3	CO-OP BLADE SIGNAGE; W 1000 x H 1000
4	CALGARY CO-OP SIGNAGE; W 1790 x H 600
4a	CALGARY CO-OP SIGNAGE (STACKED); W 3140 x H 1136
5	M LOGO SIGNAGE; W 2350 x H 3060
6	MARK & MADA BLOCK SIGNAGE; W 7400 x H 500
7	BIG CO-OP LOGO; W 4340 x H 4340
7a	BIG CO-OP LOGO (2); W 2156 x H 2156
8	CO-OP LOGO + CALGARY CO-OP SIGNAGE (OVER ENTRY); W 6670 x H 1764
8a	PHARMACY WALK-IN CLINIC; W 12126 x H 776
8b	PHARMACY WALK-IN CLINIC; W 6330 x H 1418
8c	PHARMACY WALK-IN CLINIC; W 7100 x H 450
10	CAL & GARY LOGO; W 2286 x H 2286
11	ONLY ALBERTA BEEF LOGO; D 2286
12	CALGARY CO-OP - PHARMACY LOGO; W 4485 x H 530
13	FUTURE SIGNAGE; W 9144 x H 2438
14	PHARMACY WALK-IN CLINIC (BLADE SIGN); W 609 x H 300

ELEVATION NOTES	
<ul style="list-style-type: none"> ALL RAILINGS TO BE FACE MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE ALL BALCONY FACE OF SLABS AND UNDERSIDE TO BE PAINTED BLACK ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL PROPERTY LINES ARE FOR REFERENCE ONLY, REFER TO SITE PLAN FOR OVERALL EXTENTS 	
HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)	
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[Hatch]	GLAZING: SPANDREL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (CO-OP RED)
[Hatch]	COMPOSITE METAL PANEL (GREEN)
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[Hatch]	ALUMINIUM CLADDING (NATURAL WOOD TONE - LIGHT MAPLE)
[Hatch]	BRICK MASONRY (BLACK)
[Hatch]	TRAVERTINE
[Hatch]	LOUVRE
[Hatch]	MULLIONS: BLACK ANODIZED ALUMINIUM

MATERIALS LEGEND	
#	MATERIAL DESCRIPTION
1a	UNITIZED CURTAIN WALL SYSTEM - CLEAR ANODIZED, STANDARD CLEAR GLASS c/w LOW-E COATING
1b	CURTAIN WALL SYSTEM - SPANDREL GLAZING; COLOUR: REFER TO HATCH LEGEND
2a	WINDOW WALL SYSTEM - CLEAR GLAZING; STANDARD CLEAR GLASS c/w LOW E COATING; REFER TO HATCH LEGEND
2b	WINDOW WALL SYSTEM - SPANDREL GLAZING; COLOUR: REFER TO HATCH LEGEND
3	COMPOSITE METAL PANEL; COLOUR: REFER TO HATCH LEGEND
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4b	ALUMINIUM SIDING; COLOUR: NATURAL WOOD TONE - LIGHT MAPLE
5	ALUMINIUM PERFORATED SOFFIT TO UNDERSIDE OF OVERHANG; COLOUR TO MATCH ADJACENT VERTICAL FACE
6	BRICK MASONRY OR STONE; COLOUR: REFER TO HATCH LEGEND
7	SMOOTH-FINISHED CONCRETE WALL
8	GUARDRAIL - 1070mm HIGH - FACE MOUNTED, CLEAR GLASS & PRE-FINISHED ALUMINIUM FRAMES; CLEAR ANODIZED
9	EXPOSED CONCRETE BALCONY; PAINT EDGES AND UNDERSIDE BLACK
10	RESIDENTIAL BALCONY DOOR
11	OPERABLE AWNING WINDOW
12	SITE CIRCULATION STAIRS
13	PEDMOUNT TRANSFORMER
14	MECHANICAL PENTHOUSE - SEE MECHANICAL
15	EXTERIOR HOLLOW METAL DOOR; COLOUR TO MATCH ADJACENT CLADDING
16	STOREFRONT GLAZED DOOR
17	MECHANICAL LOUVERS FOR VENTING; COLOUR TO MATCH MULLION
18	METAL CANOPY; COLOUR TO MATCH MULLION
19	STOREFRONT SLIDING WINDOWS; COLOUR TO MATCH MULLION
20	MECHANICAL SCREENING; COLOR TO MATCH METAL PANEL

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B
2025-12-18	DEVELOPMENT PERMIT REVISION 2	C
2026-03-19	DEVELOPMENT PERMIT REVISION 3	D
2026-06-08	ISSUED FOR DR4 RESPONSE	F



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Project Component
 ISSUED FOR PRICING EXERCISE

Key Plan

Consultants
 Survey: VISTA GEOMATICS
 Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
 Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
 Structural: GLOTMAN-SIMPSON
 Mechanical: SMITH & ANDERSON
 Electrical: SMITH & ANDERSON
 Interiors:
 Landscape: SCATLIFF MILLER MURRAY

Seal(s)

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 2300, 411 - 1st Street SE
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 Jonathan Hughes, Architect, AIA, OAA, AIBC, SAA, AAIB, AAPE
 Adam Toleda, P. Eng., APEGA
 Chris Paik, P. Eng., APEGA

Project Manager J. Lackman	Drawn Author
Project Leader N. HARNER	Checked Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

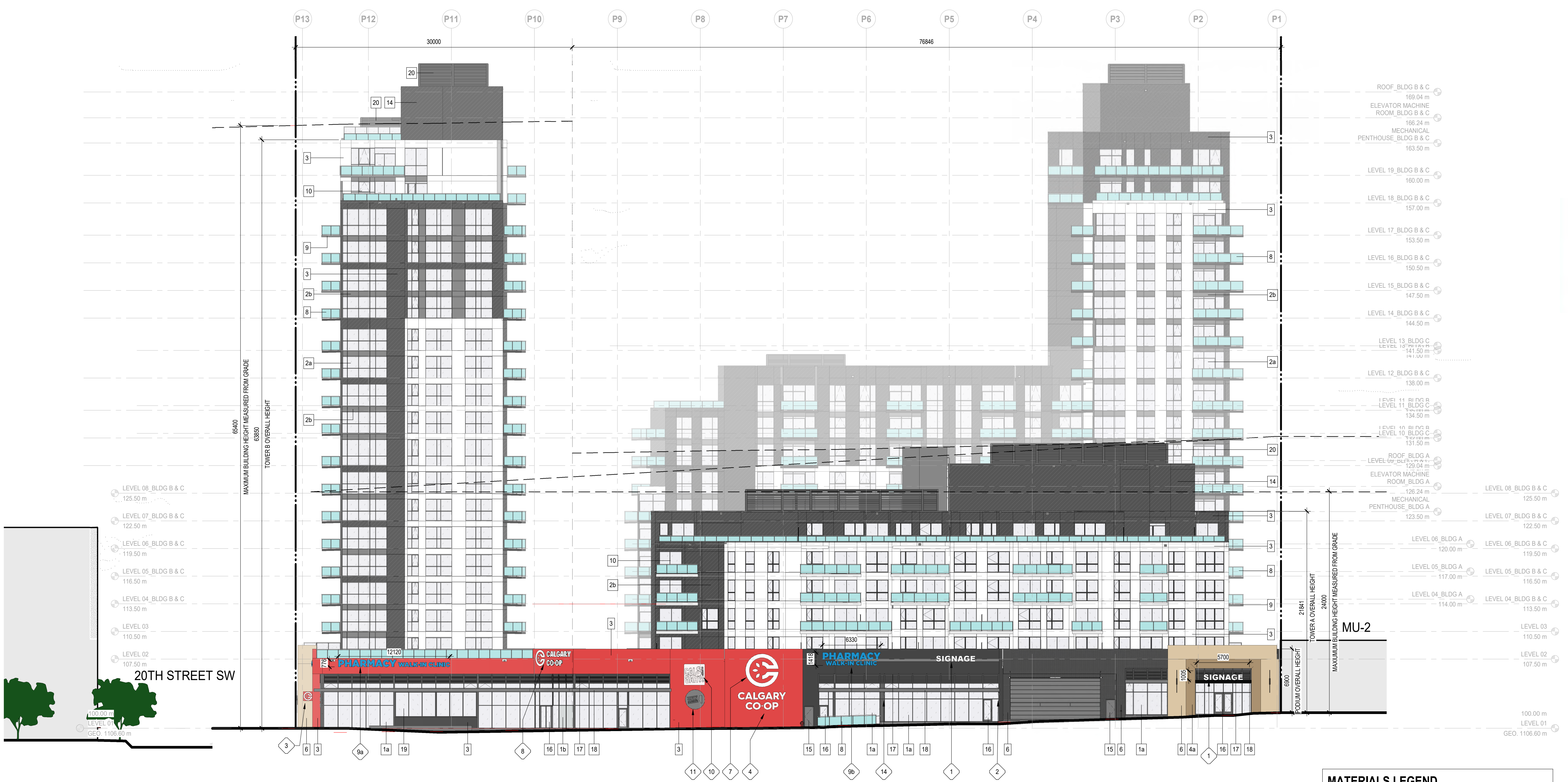
Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB
 Drawing Title
BUILDING ELEVATIONS - OVERALL WEST

Scale
 As indicated
 Project No.
 NCCA22-0058
 Drawing No.
DP30-00-02

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DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B
2025-12-18	DEVELOPMENT PERMIT REVISION 2	C
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Project Manager J. Lackman	Author
Project Leader N. HARNER	Checked Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB
 Drawing Title
BUILDING ELEVATIONS - OVERALL NORTH

Scale
 As indicated

Project No.
 NCCA22-0058

Drawing No.
DP30-00-03

1 BUILDING ELEVATION - OVERALL NORTH
 DP30-00-03 SCALE: 1:200

AMENDED DRAWINGS
 DP No Date Received
 DP2024-08395 June 9, 2026
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

SIGNAGE KEYNOTE LEGEND	
1	FUTURE SIGNAGE; W 5700 x H 1005
2	BLADE SIGNAGE; W 609 x H 300
3	CO-OP BLADE SIGNAGE; W 1000 x H 1000
4	CALGARY CO-OP SIGNAGE; W 1790 x H 600
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AMENDED DRAWINGS
 DP No **DP2024-08395** Date Received **June 9, 2026**
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DATE	ISSUED FOR	REV
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2026-03-19	DEVELOPMENT PERMIT REVISION 3	D
2026-06-08	ISSUED FOR DR# RESPONSE	F



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Project Manager J. Lackman	Drawn Author
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Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB
 Drawing Title
BUILDING ELEVATIONS - OVERALL EAST

Scale
 As indicated

Project No.
 NCCA22-0058

Drawing No.
DP30-00-04



1 BUILDING ELEVATION - OVERALL EAST
 DP30-00-04 SCALE: 1:200

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