

ARCHITECTURAL SHEET LIST

SHEET NUMBER	SHEET NAME
DP00-00-00	COVER SHEET
DP10-00-01	OVERALL SITE PLAN - STREET LEVEL
DP10-00-02	SITE SECTIONS
DP10-00-03	PROJECT INFORMATION & STATISTICS
DP10-00-04	AREA PLANS
DP10-01-04a	TOWER 1 - AREA PLANS GROSS FLOOR AREA
DP10-01-04b	TOWER 1 - AFFORDABLE UNITS & TAPOS AREA PLAN
DP10-02-04	TOWER 2 - AREA PLANS GROSS FLOOR AREA
DP10-03-04	TOWER 3 - AREA PLANS GROSS FLOOR AREA
DP10-00-05	SITE PHOTOS
DP10-00-06	SWEEP PATHS, LOADING STALLS, AND SITE DETAILS
DP10-00-07a	WASTE & RECYCLING PLANS AND DETAILS
DP10-00-07b	WASTE & RECYCLING PLANS
DP10-00-08	BIKE STORAGE ENLARGED PLANS
DP10-00-09	SHADOW STUDY
DP10-00-10	SURVEY (REFERENCE)
DP10-00-11	PHASING PLANS
DP10-00-12	FIRE ACCESS PLAN
DP20-00-13	3D RENDERINGS
DP10-00-14	3D RENDERINGS
DP20-00-P1	LEVEL P1 PARKADE
DP20-00-P2	LEVEL P2 PARKADE
DP20-00-P3	LEVEL P3 PARKADE
DP20-00-P4	LEVEL P4 PARKADE
DP22-00-01	LEVEL 1 FLOOR PLAN
DP22-00-02	LEVEL 2 FLOOR PLAN
DP22-01-01	TOWER 1 - LEVEL 2 & 3 FLOOR PLAN
DP22-01-02	TOWER 1 - LEVEL 4-5, & 6 FLOOR PLAN
DP22-01-03	TOWER 1 - MECH. PENTHOUSE & ROOF PLAN
DP22-02-01	TOWER 2 - LEVEL 2, 3-9 FLOOR PLANS
DP22-02-02	TOWER 2 - LEVEL 10-13, 14-17 FLOOR PLANS
DP22-02-03	TOWER 2 - LEVEL 18-19, MECHANICAL PENTHOUSE FLOOR PLAN
DP22-02-04	TOWER 2 - ROOF PLAN
DP22-03-01	TOWER 3 - LEVEL 2 FLOOR PLAN
DP22-03-02	TOWER 3 - LEVEL 3-4 FLOOR PLAN
DP22-03-03	TOWER 3 - LEVEL 5-7 FLOOR PLAN
DP22-03-04	TOWER 3 - LEVEL 8 FLOOR PLAN
DP22-03-05	TOWER 3 - LEVEL 9 FLOOR PLAN
DP22-03-06	TOWER 3 - LEVEL 10-11 FLOOR PLAN
DP22-03-07	TOWER 3 - LEVEL 12 FLOOR PLAN
DP22-03-08	TOWER 3 - LEVEL 13-17, 18 FLOOR PLAN
DP22-03-09	TOWER 3 - LEVEL 19 & MECHANICAL PENTHOUSE FLOOR PLAN
DP22-03-10	TOWER 3 - ROOF PLAN
DP30-00-01	BUILDING ELEVATIONS - OVERALL SOUTH
DP30-00-02	BUILDING ELEVATIONS - OVERALL WEST
DP30-00-03	BUILDING ELEVATIONS - OVERALL NORTH
DP30-00-04	BUILDING ELEVATIONS - OVERALL EAST
DP31-00-01	BUILDING SECTIONS
DP31-01-01	TOWER 1 - BUILDING SECTIONS
DP31-02-01	TOWER 2 - BUILDING SECTIONS
DP31-03-01	TOWER 3 - BUILDING SECTIONS

ELECTRICAL SHEET LIST

SHEET NUMBER	SHEET NAME
E10-00-01	OVERALL SITE PLAN - STREET LEVEL - SITE LIGHTING LAYOUT
E10-00-02	PODIUM PLAN - SITE LIGHTING LAYOUT
E10-00-03	BUILDING ELEVATIONS - LIGHTING LAYOUT

LANDSCAPE SHEET LIST

SHEET NUMBER	SHEET NAME
L-01	LANDSCAPE PLAN - GROUND LEVEL
L-02	LANDSCAPE PLAN - PODIUM
L-03	LANDSCAPE PLAN - PODIUM GARDENS LEVEL 5, 6, 10, 11, 19 & MECH. PENTHOUSE
L-04	LANDSCAPE DETAILS

ARTIST RENDERING - FOR REFERENCE ONLY.



AMENDED DRAWINGS
 DP No Date Received
 DP2024-08395 Sept. 16, 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

NORR

2300, 411 – 1st Street SE
 Calgary, AB, Canada T2G 4Y5
 norr.com
 NORR Architects Engineers Planners
 A Partnership of Corporations
Poon McKenzie Architects (Alberta) Inc. Poon McKenzie Holdings Inc.

Jonathan Hughes, Architect, AAA, OAA, AIBC, MAA, AANB, AAPE
 Adrian Todella, P.Eng., APEGA
 Chris Pal, P.Eng., APEGA

MARC & MADA

2101 33 AVE SW, CALGARY, AB T2T 1Z7

NORR PROJECT NUMBER: NCCA22-0058



	ISSUED FOR DP 2024-11-15	ISSUED FOR DP REVISION 2025-08-15
FAR	5,713	5,751
TOTAL RESIDENTIAL GFA	35,415	35,876
TOTAL COMMERCIAL GFA	5,390	5,200
TOTAL ABOVE GROUND GFA	40,805	41,076
TOTAL PROJECT GFA	68,559	68,715
TOTAL PARKING COUNT	662	628
TOTAL UNIT COUNT	441	379

BUILDING 1 UNIT COUNT	91	62
BUILDING 2 UNIT COUNT	184	132
BUILDING 3 UNIT COUNT	166	185

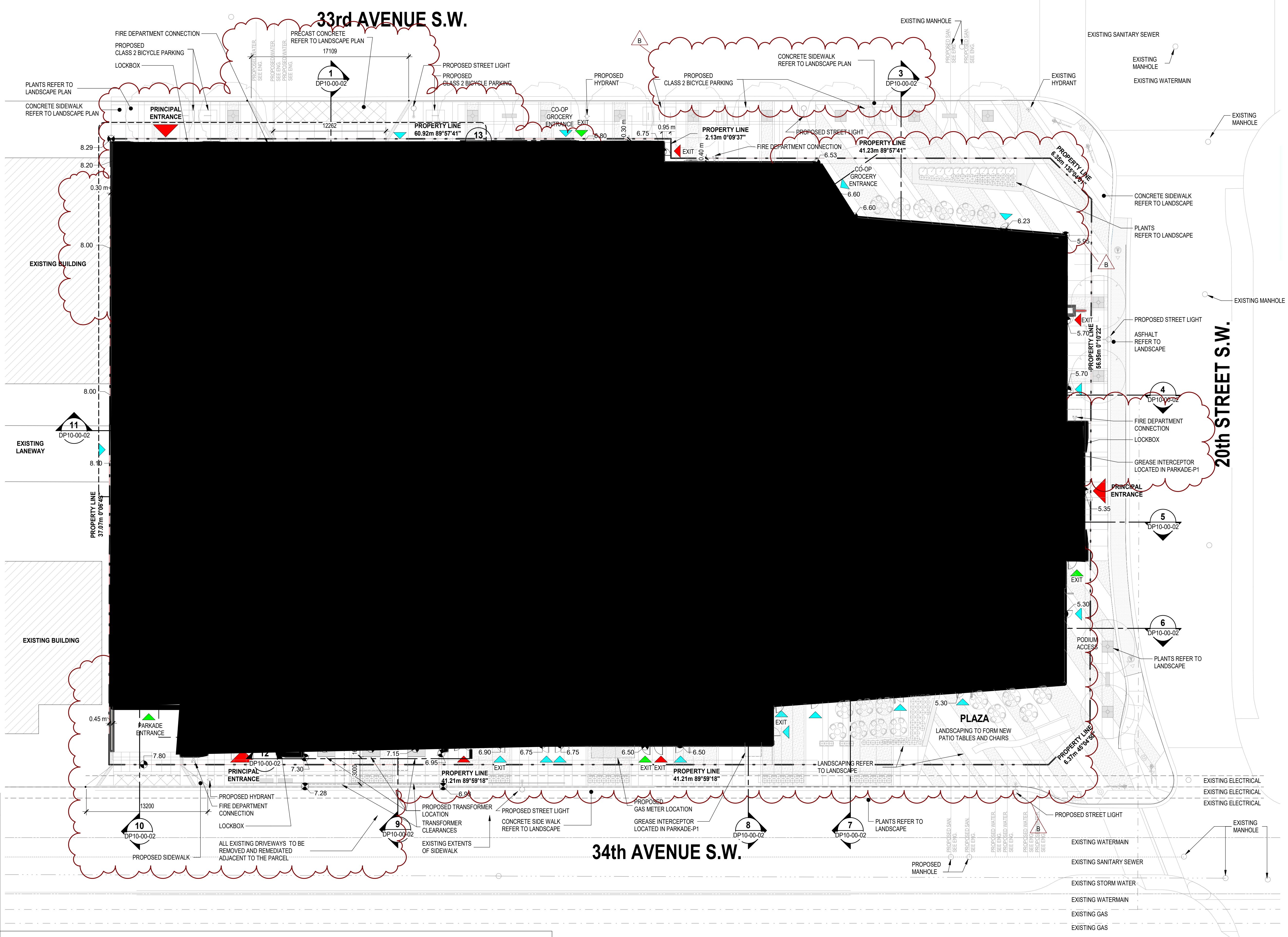
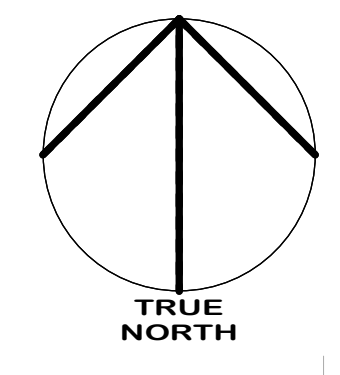
DTR#1 Response - SEPTEMBER 15, 2025

SURVEY	CIVIL	ARCHITECTURE	STRUCTURAL
VISTA GEOMATICS 28, 2015 32 AVENUE NE CALGARY, ALBERTA, T2E 6Z3 PHONE: 403.333.3707	JUBILEE ENGINEERING CONSULTANTS LTD. 3702 EDMONTON TRAIL NE CALGARY, ALBERTA, T2E 3P4 PHONE: 403.276.1001	NORR 2300, 411 1ST STREET SE CALGARY, ALBERTA, T2G 4Y5 PHONE: 403.264.4000	ENTUITIVE 150 9 AVE SW #1650 CALGARY, ALBERTA, T2P 3E8 PHONE: 403.879.1270
MECHANICAL TLJ ENGINEERING #301, 301 14TH STREET NW CALGARY, ALBERTA, T2N 2A1 PHONE: 403.289.8852	ELECTRICAL TLJ ENGINEERING #301, 301 14TH STREET NW CALGARY, ALBERTA, T2N 2A1 PHONE: 403.289.8852	INTERIORS - ADDRESS CITY, PROVINCE, POSTAL CODE PHONE NUMBER	LANDSCAPE SCATLIFF MILLER MURRAY 604-815 1 ST SW CALGARY, ALBERTA, T2P 1N3 PHONE: 403.262.9744

9/10/2025 1:08:54 PM

AMENDED DRAWINGS

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02 SITE PLAN - STREET LEVEL OVERALL
DP10-00-01 SCALE: 1:200

SITE GENERAL NOTES

- ALL BUILT ELEMENTS WITHIN PROPERTY LINE ARE PROPOSED UNLESS NOTED OTHERWISE
- WHEEL STOPS TO BE 100mm HIGH AND PLACED 600mm FROM FRONT OF PARKING STALL (TYP.)
- NO PARKING STALLS SHOULD EXCEED 4% SLOPE IN ANY DIRECTION
- NO PARKING ANYTIME / FIRE LANE SIGNAGE TO BE POSTED ON INTERNAL ROADWAY ON SITE
- LANDSCAPE SHOWN FOR REFERENCE ONLY - REFER TO LANDSCAPE DRAWINGS FOR ADDITIONAL DETAILS
- SITE SIGNAGE DETAILS SHOWN IN LANDSCAPE DRAWINGS
- FOR PROPOSED SITE LIGHTING - REFER TO ELECTRICAL DRAWINGS
- SITE SERVICES, PEDESTALS, CONDUITS, UTILITY RIGHT OF WAY AND GRADES SHOWN FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS
- ALL BUILDING AREAS AND COVERAGE CALCULATIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED BY A LAND SURVEYOR REGISTERED IN THE JURISDICTION OF THE PROJECT
- REFER TO BICYCLE STORAGE SITE DETAIL FOR ADDITIONAL INFORMATION
- PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION (F.D.C.) IS 8" B/W 3m AND 15m FROM PRINCIPAL ENTRANCE OF ALL BUILDINGS. INSTALL ON EXTERIOR WALL OF EACH BUILDING IN LOCATION INDICATED
- ARROWS SHOWN ON ASPHALT INDICATE DIRECTION OF TRAVEL
- IRRIGATION SYSTEM TO BE SUPPLIED AND INSTALLED BY OWNER'S CONTRACTOR. SEPARATE METERS WILL BE LOCATED AS PER DESIGN, IF REQUIRED
- CAST IN PLACE EXTERIOR CONCRETE RISERS IN WALKWAYS TO BE COMPLETED BY SITE CONTRACTOR. RISERS SHOWN ARE ESTIMATED BASED ON GRADES. ALL RISER COUNTS AND LOCATIONS TO BE CONFIRMED. REFER TO CIVIL
- PROPOSED LOCATIONS FOR FIRE ALARM CONTROL PANEL AND LOCKBOX INDICATED
- UNLESS OTHERWISE SPECIFIED, ALL SURFACE PARKING TO BE DESIGNATED AS VISITOR PARKING
- REFER TO LANDSCAPE PLANS FOR FINISHES AND MATERIALS SPECIFIED FOR ALL SIDEWALKS AND WALKWAYS
- INSTALL REGULAR ASPHALT AT PARKING STALL LOCATIONS, HEAVY DUTY ASPHALT WHERE INDICATED
- AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF ALL PROPOSED SERVICES TO MITIGATE ANY DAMAGE TO EXISTING ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPIES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED INDEPENDENT TREE CONTRACTOR AT APPLICANT'S EXPENSE. PLAN COMPENSATION FOR THE REMOVED TREES
- ALL EXISTING DRIVEWAYS TO BE REMOVED AND ALL SITE WORK TO BE REBUILT TO MEET OR EXCEED MANITRETS STANDARDS

SITE LEGEND

	FIRE ACCESS ROUTE - HEAVY DUTY ASPHALT CAPABLE OF SUPPORTING MIN. 38,556kg (85,000lb) LOAD & NFPA 1901-POINT LOAD OF 517kPa OVER 24x24" AREA		WATER METER, ELECTRIC METER, GAS METER LOCATIONS - REFER TO CIVIL
	UTILITY RIGHT-OF-WAY - REFER TO CIVIL		MANHOLE / CATCH BASIN / AREA DRAIN - REFER TO CIVIL
	LANDSCAPING - REFER TO LANDSCAPE DRAWINGS		SITE ELECTRICAL, MAY REQUIRE CONCRETE BASE - REFER TO ELECTRICAL
	RAISED PLANTER BEDS - REFER TO LANDSCAPE DRAWINGS		ELECTRIC VEHICLE (EV) CHARGING STATION - REFER TO ELECTRICAL
	CONCRETE (SIDEWALK / CURB / WALKWAY / PAVERS) - REFER TO LANDSCAPE DRAWINGS		FIRE TRUCK PATH AND FIRE DEPT. ACCESS - TURNING RADIUS AS INDICATED
	HEATED CONCRETE RAMP DOWN TO PARKADE C/W TROWELED HERRINGBONE FINISH		PROPERTY LINE - DELINEATES SCOPE OF WORK
	ASPHALT		EXTENTS OF PARKADE WALLS BELOW GRADE
	6" C.I.P. CONCRETE RAISED PLANTER WALLS / CURBS - REFER TO LANDSCAPE DRAWINGS		PROPOSED / EXISTING WATER LINE - REFER TO CIVIL
	LOADING ZONE - ASPHALT WITH CAPACITY TO CARRY THE WEIGHT OF A LOADING TRUCK OF 55 000 lbs / 25 000 kg (SYMBOL PAINTED ON CONCRETE)		LINE OF BUILDING OVERHEAD
	BARRIER-FREE RAMP		RESIDENTIAL TOWER ACCESS
	PROPOSED BARRIER-FREE PARKING - SYMBOL PAINTED ON ASPHALT		RETAIL / COMMERCIAL ACCESS
	BIKE RACK - REFER TO LANDSCAPE DRAWINGS		PARKADE ACCESS
	FIRE HYDRANT - PROPOSED / EXISTING LOCATION - REFER TO CIVIL		NOTE
	DIRECTION OF TRAVEL		ALL OFFSITE LOCATIONS SHOWN OF EXISTING INFRASTRUCTURE INCLUDING TREES, EXISTING UIC SERVICE LINES, EXISTING ELECTRICAL EQUIPMENT, EXISTING FIRE HYDRANTS, EXISTING BUS ZONES AND EXISTING LIGHTS NOTED FOR REFERENCE ONLY - REFER TO CIVIL DRAWINGS AND SURVEY

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B



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Project Component
DEVELOPMENT PERMIT
Key Plan

Consultants

Survey: VISTA GEOMATICS
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
Structural: ENTUJIVE
Mechanical: TLJ ENGINEERING LTD.
Electrical: TLJ ENGINEERING LTD.
Interiors:
Landscape: SCATLIF MILLER MURRAY

NORR

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NORR Architects Engineers Planners
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Adam Toles, P.Eng., AREG
Chris Hill, P.Eng., AREG

Project Manager
J. Lackman
Author

Project Leader
B. TEZUKA
Checked
Checker

Client
TRUMAN
2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3

CALGARY CO-OP
151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP10-00-01



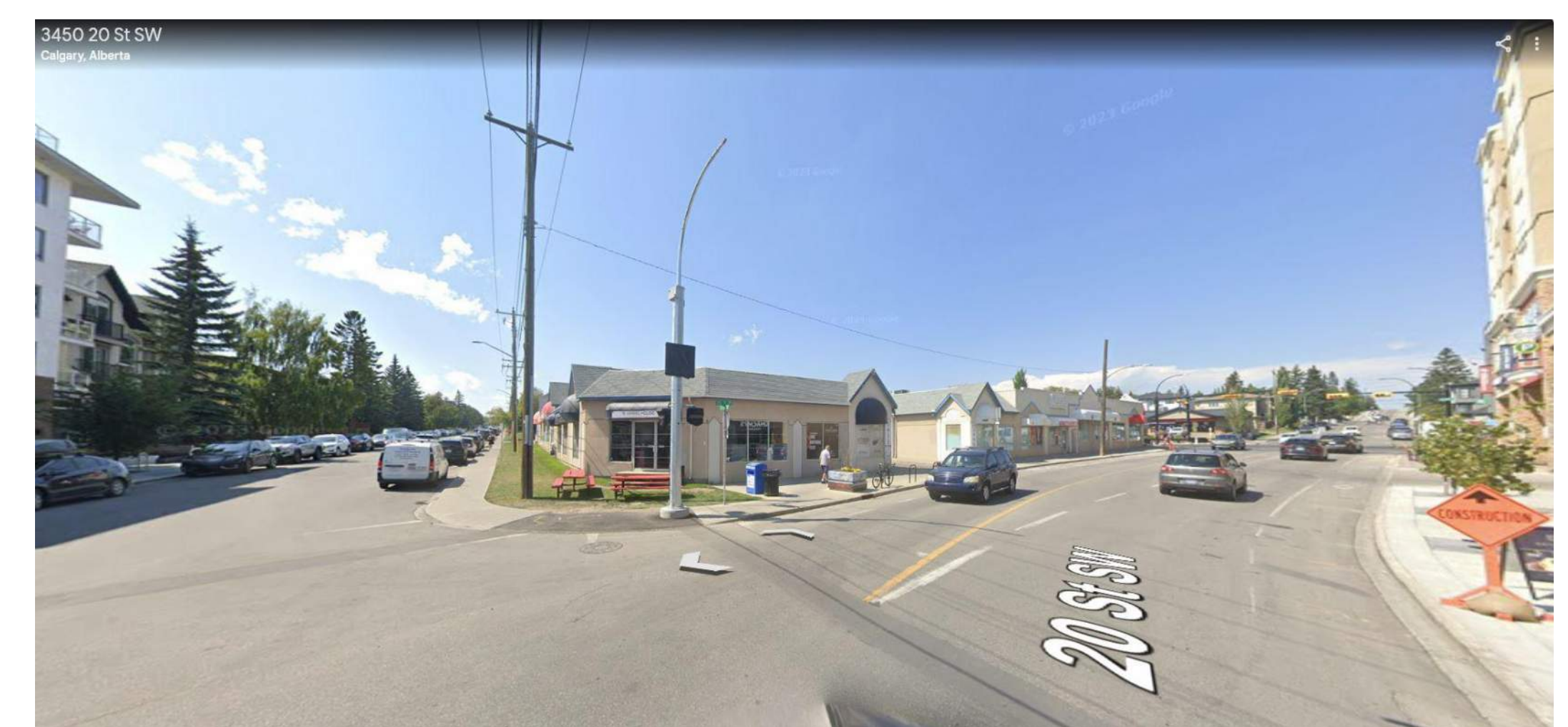
1 VIEW FROM NE LOOKING SW



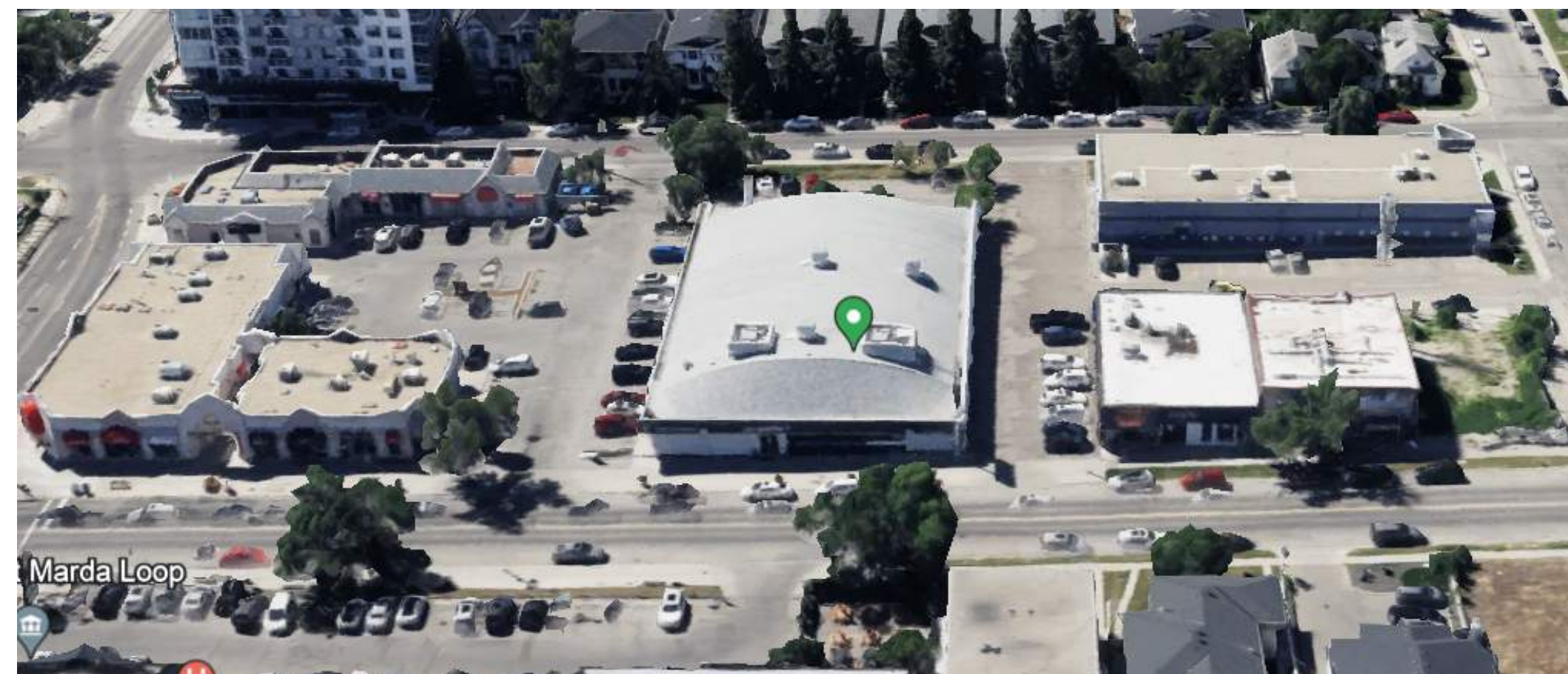
2 VIEW FROM NORTH LOOKING SOUTH



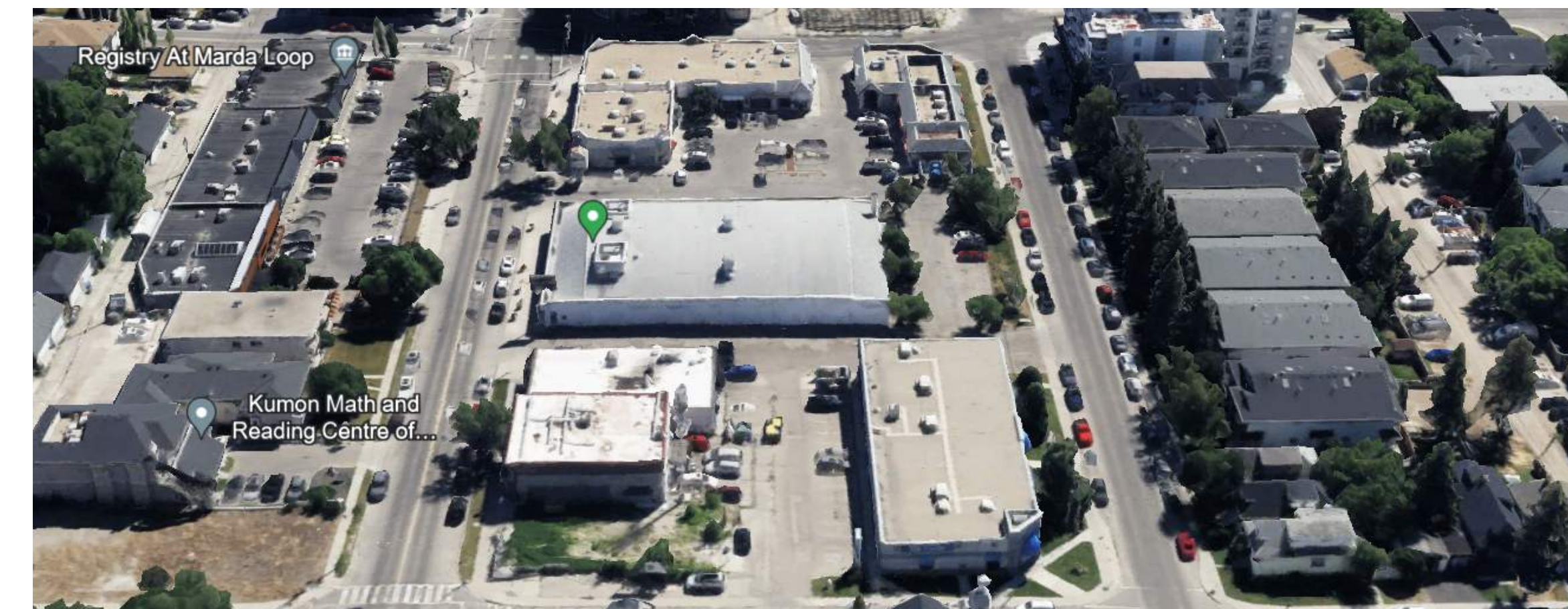
3 VIEW FROM SOUTH LOOKING NORTH



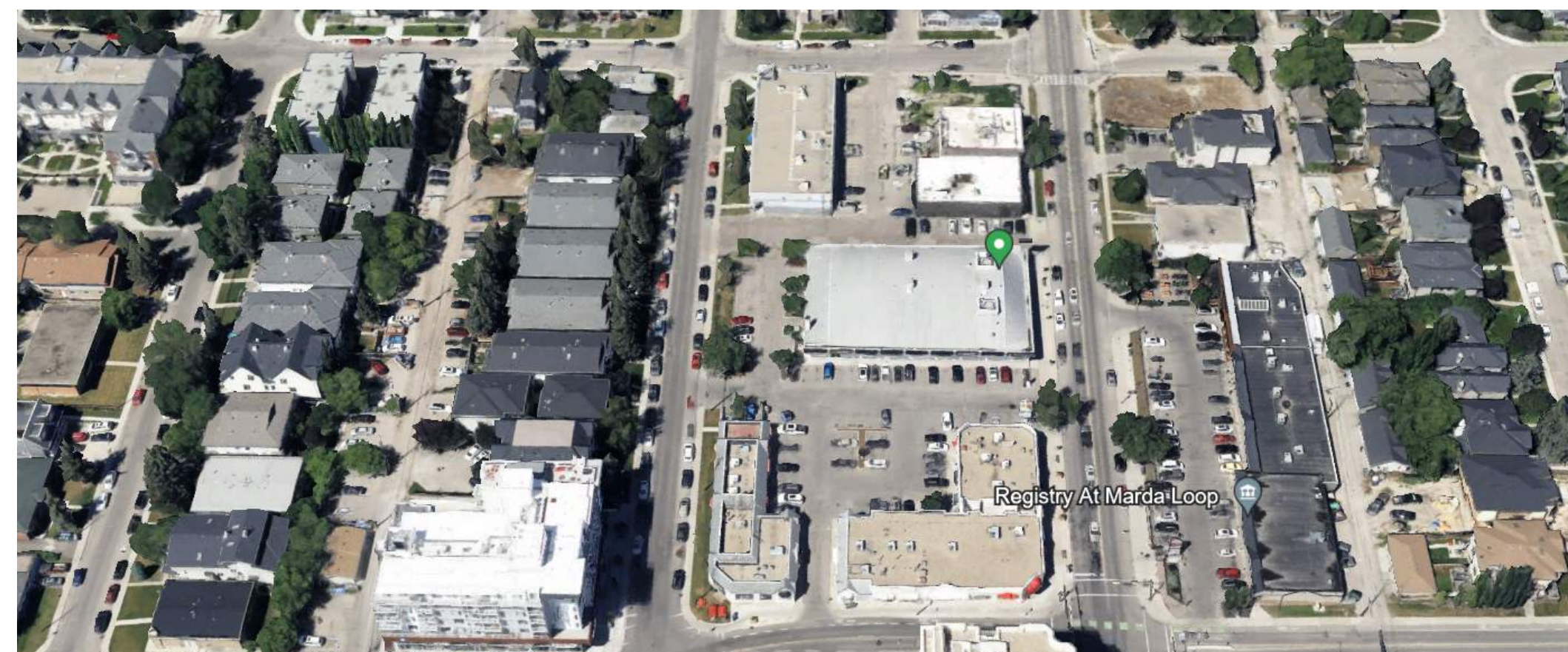
4 VIEW FROM SE LOOK NW



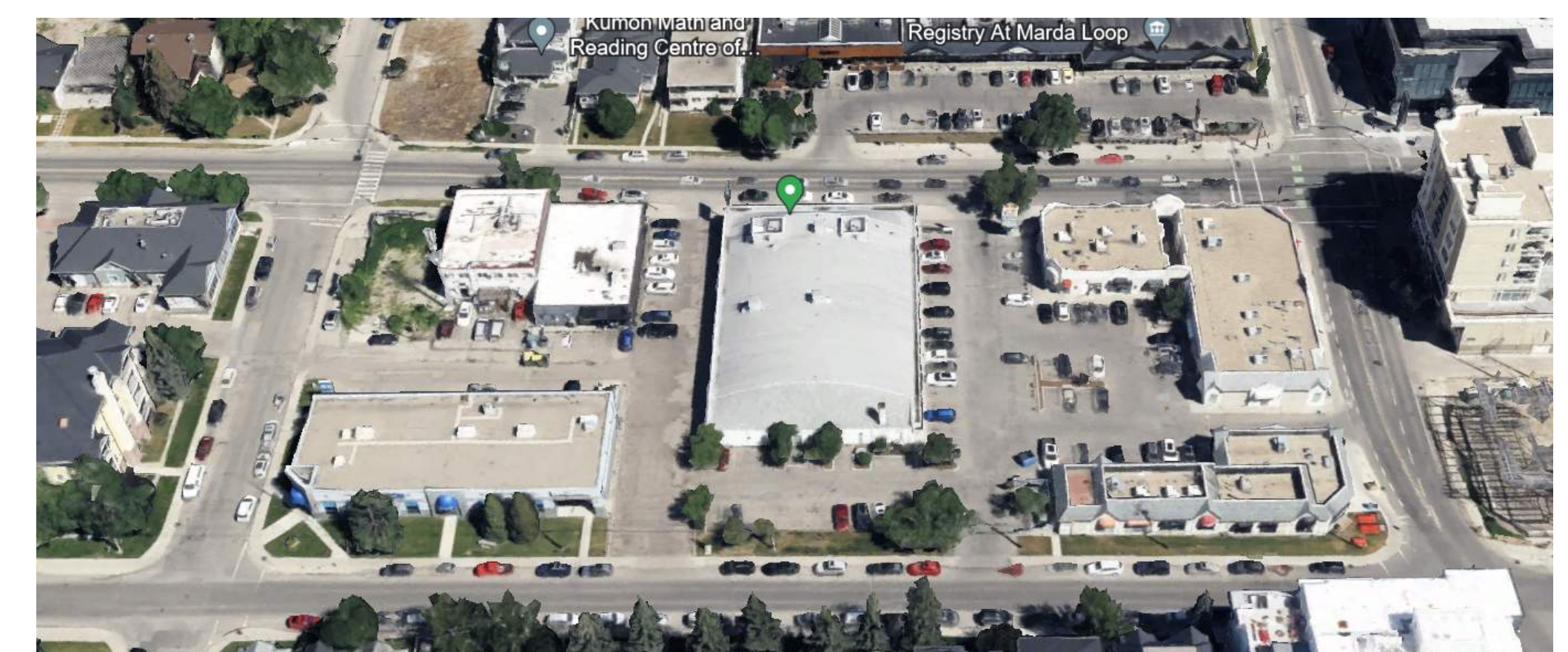
5 VIEW FROM NORTH LOOKING SOUTH



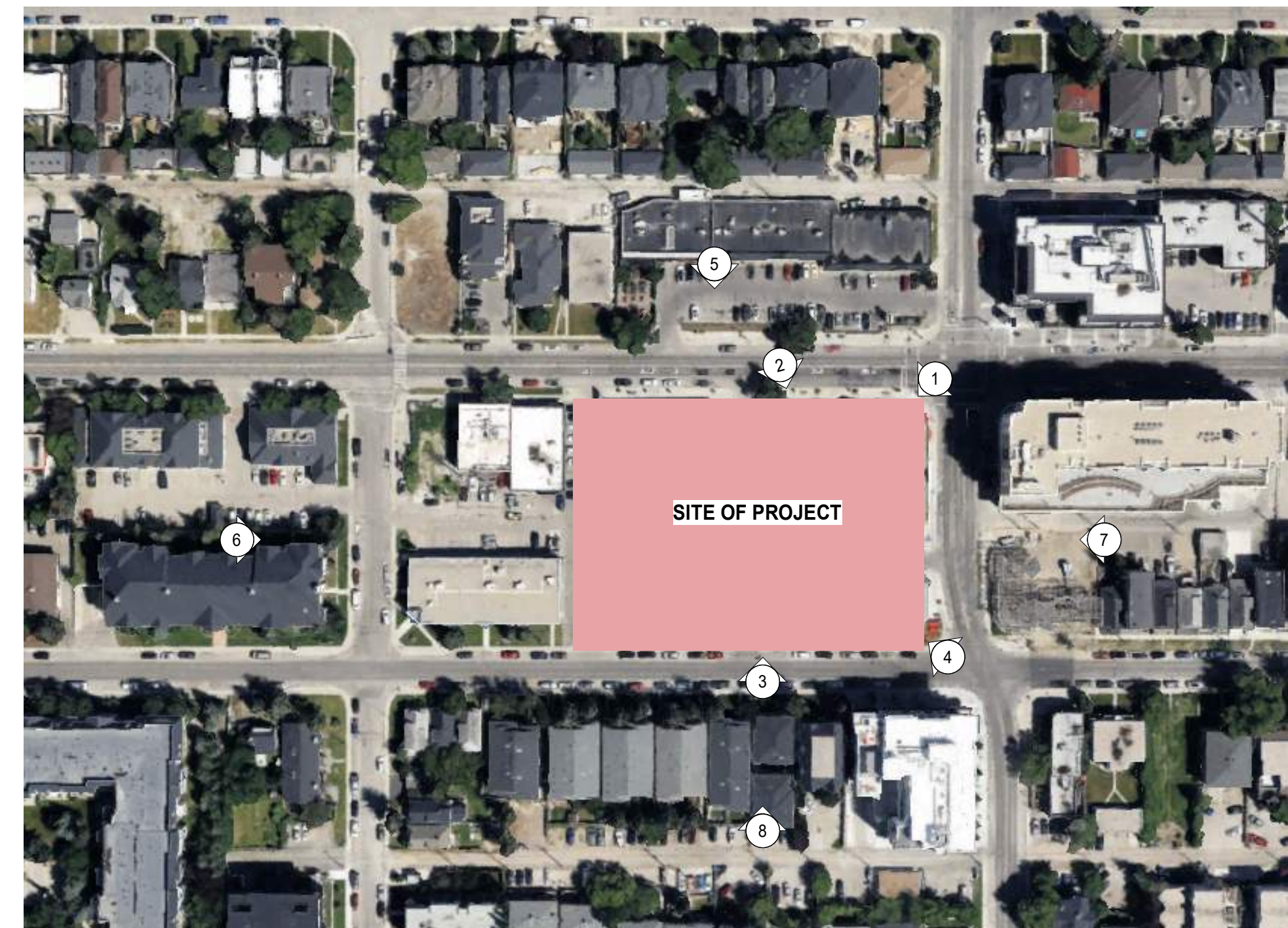
6 VIEW FROM WEST LOOKING EAST



7 VIEW FROM EAST LOOKING WEST



8 VIEW FROM SOUTH LOOKING NORTH



KEY PLAN

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 DP2024-08395 Sept. 16, 2025
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2024-11-14	DEVELOPMENT PERMIT	A



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Seal(s)

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For more details please refer to the NORR website.
 Jonathan Hughes, Architect, AAA, CAA, OAA, ABC, SAA, AANA, AAPE
 Adam Toleda, P. Eng., ARE/CA
 Chris Hill, P. Eng., ARE/CA

Project Manager J. Lackman	Author
Project Leader B. TEZUKA	Checked Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA

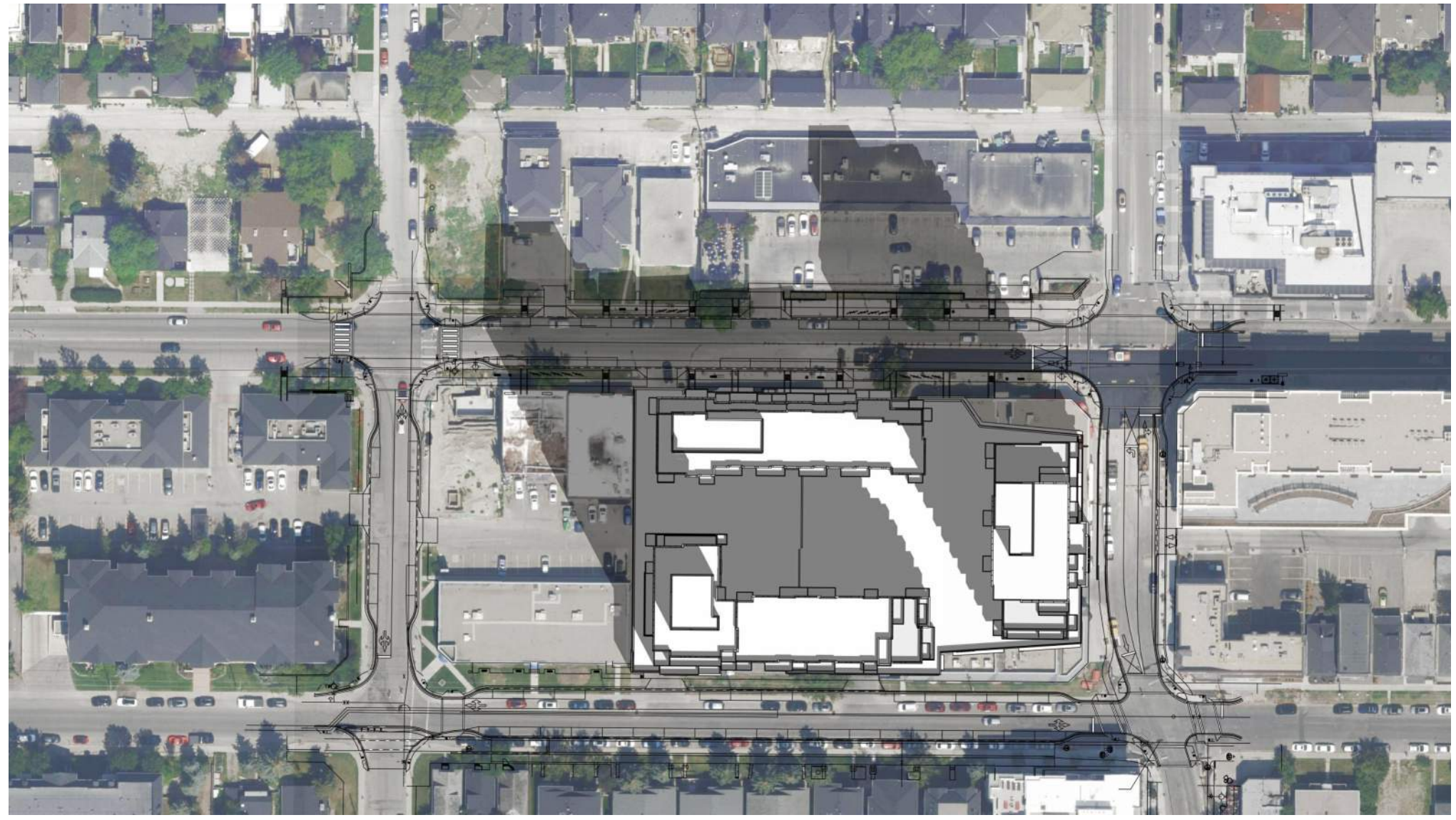
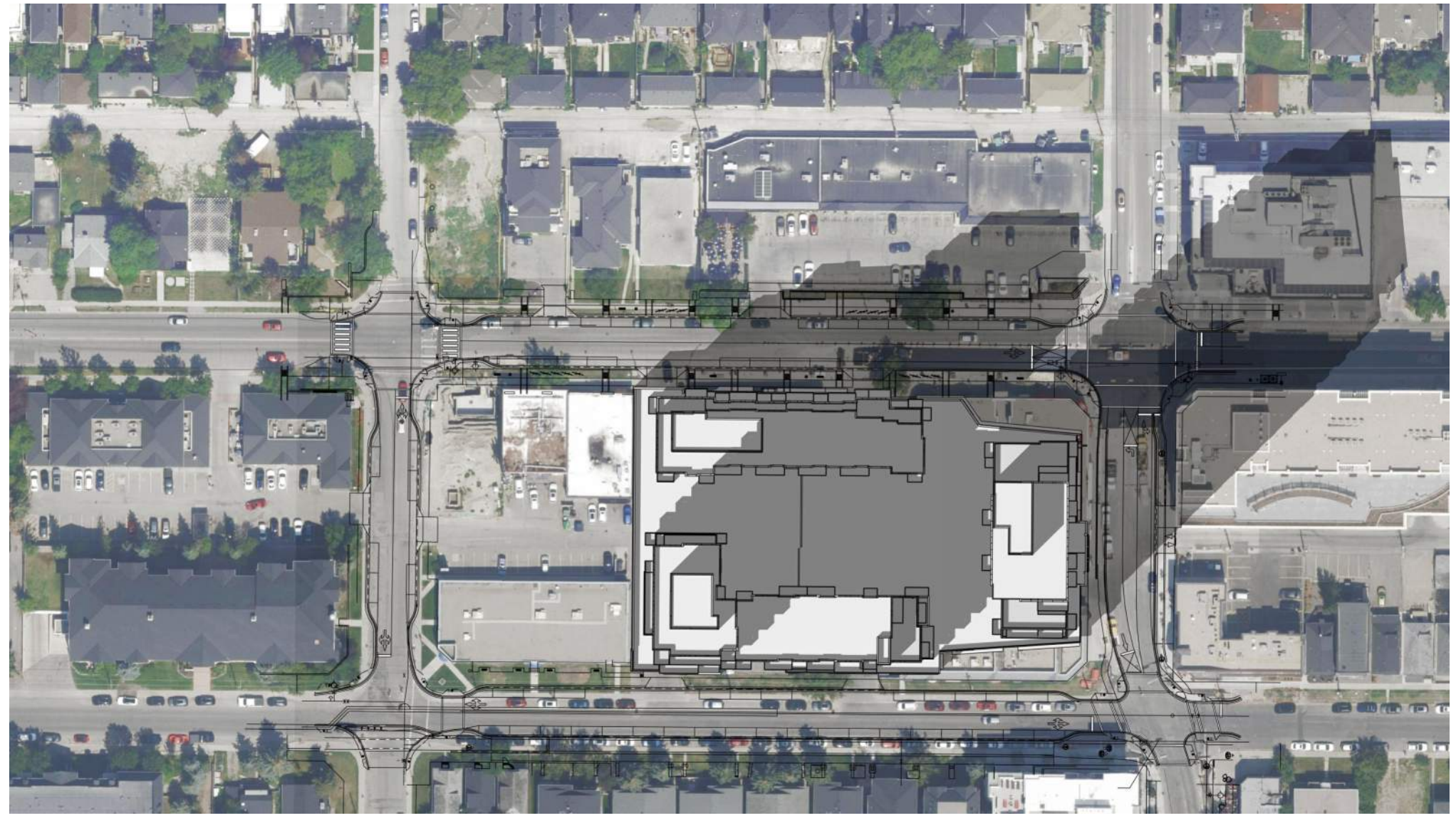
2101 33 AVE SW, CALGARY, AB
 Drawing Title
SITE PHOTOS

Scale
 1 : 10

Project No.
 NCCA22-0058

Drawing No.
DP10-00-05

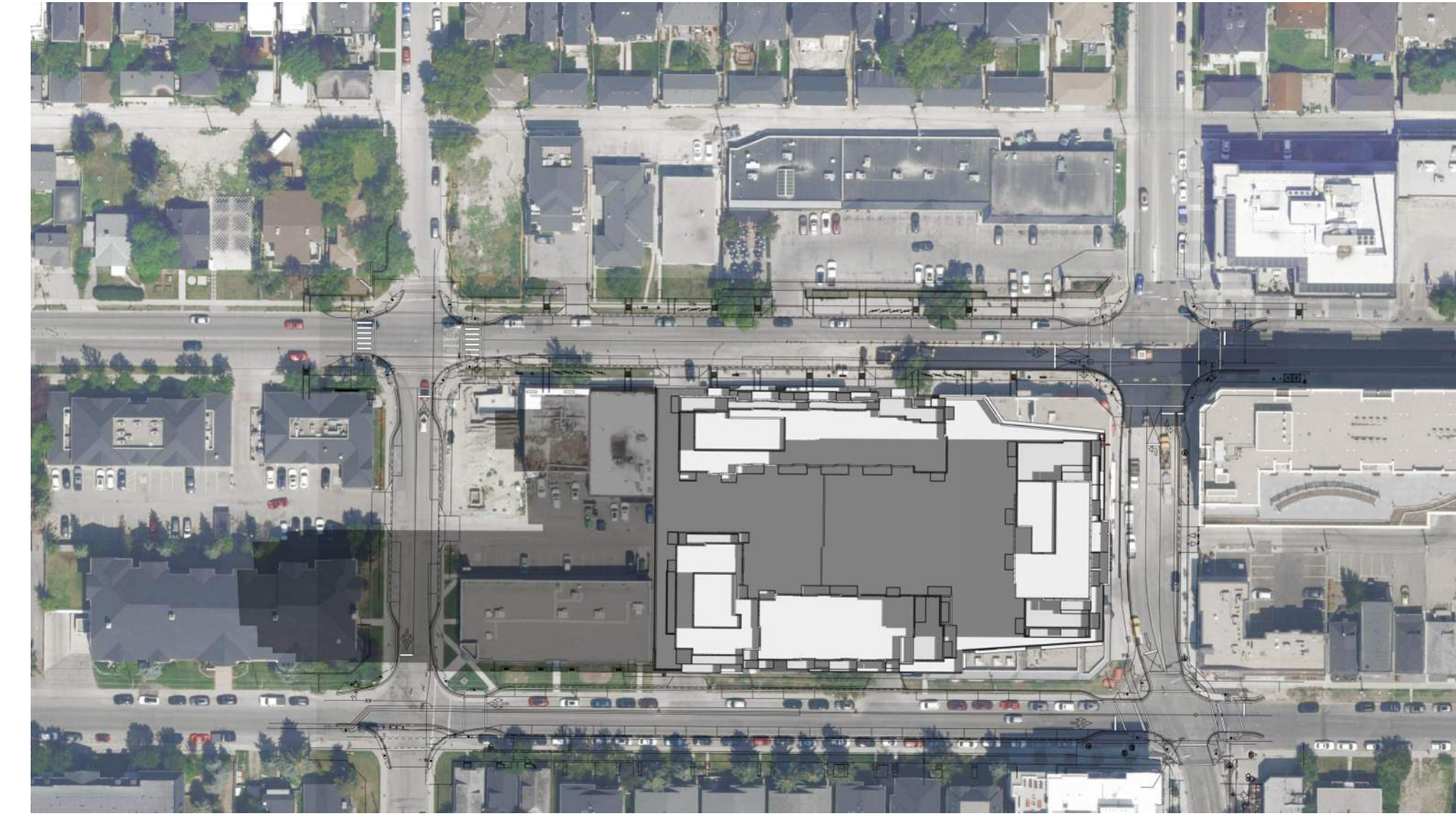
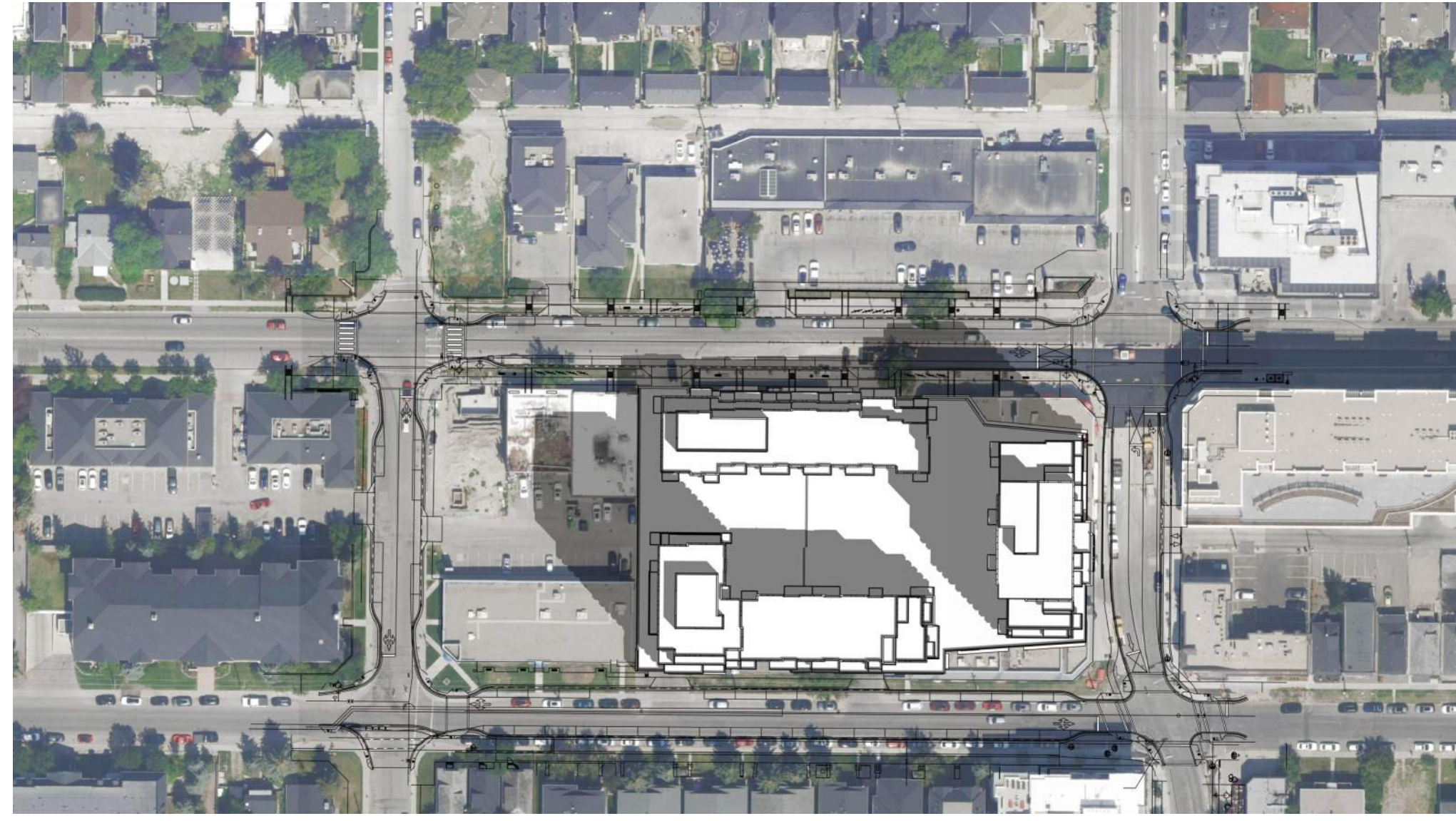
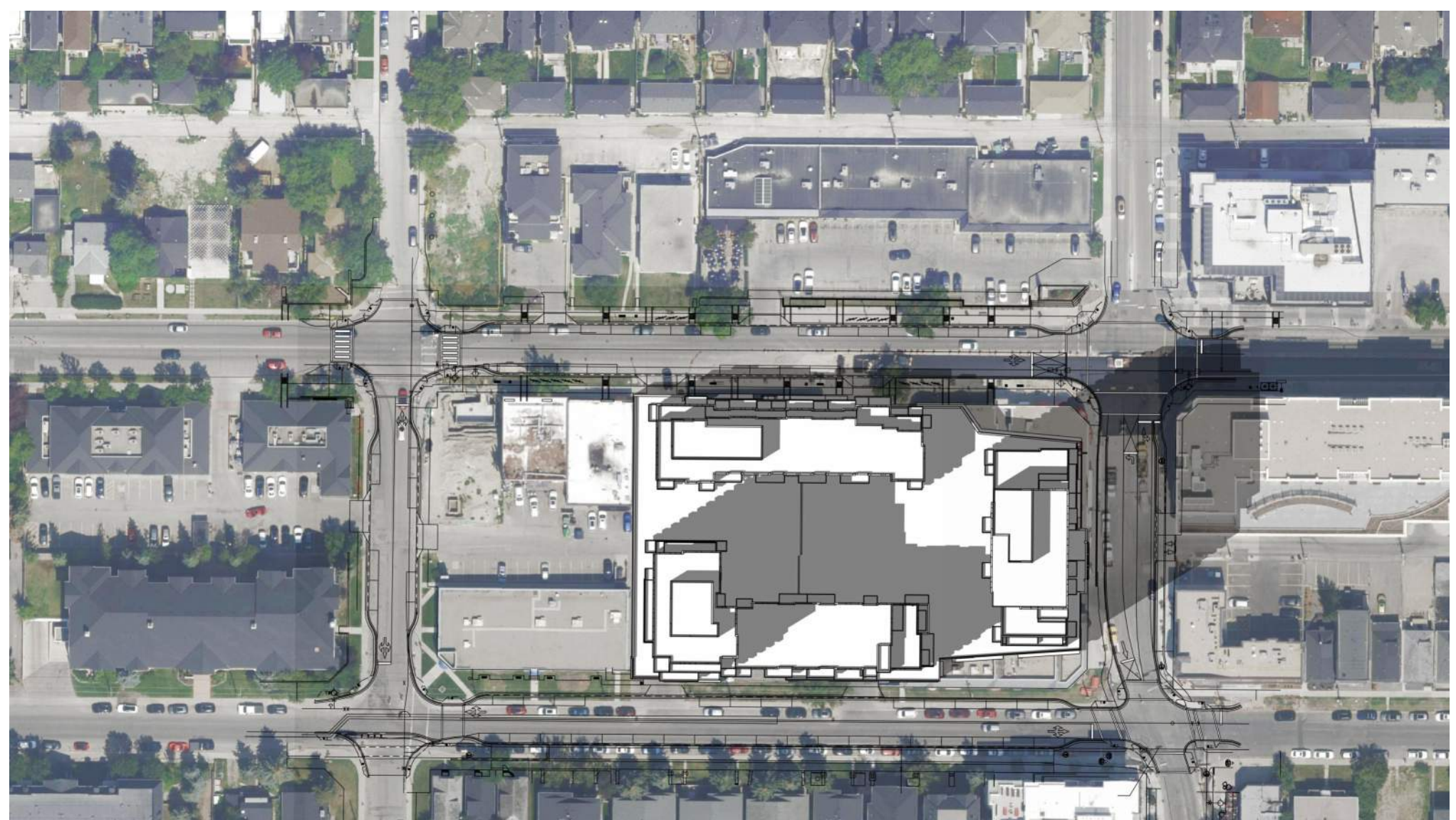
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7 SEPTEMBER 21 - 4PM
DP10-00-09 SCALE: 1:1

8 SEPTEMBER 21 - 12PM
DP10-00-09 SCALE: 1:1

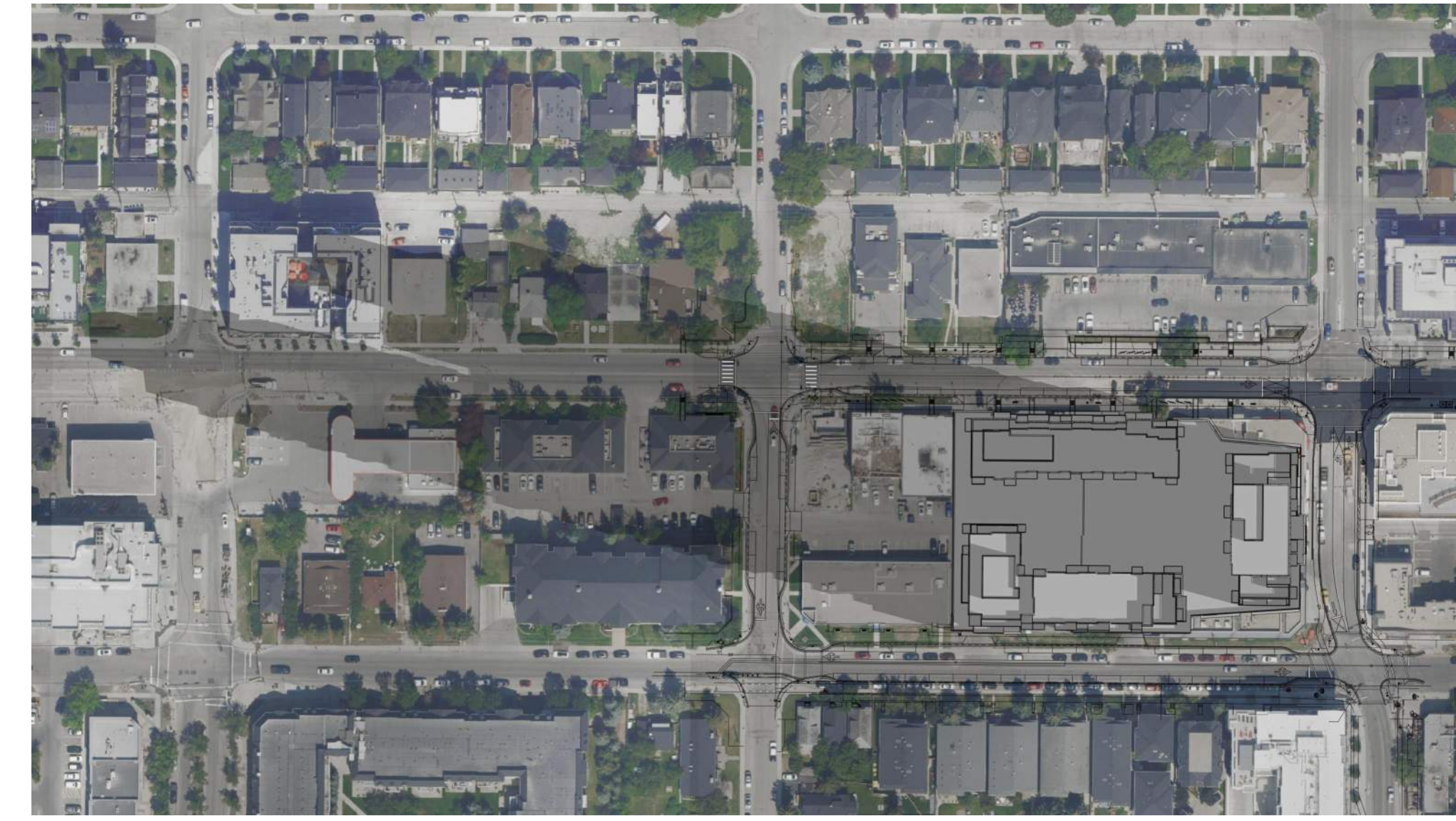
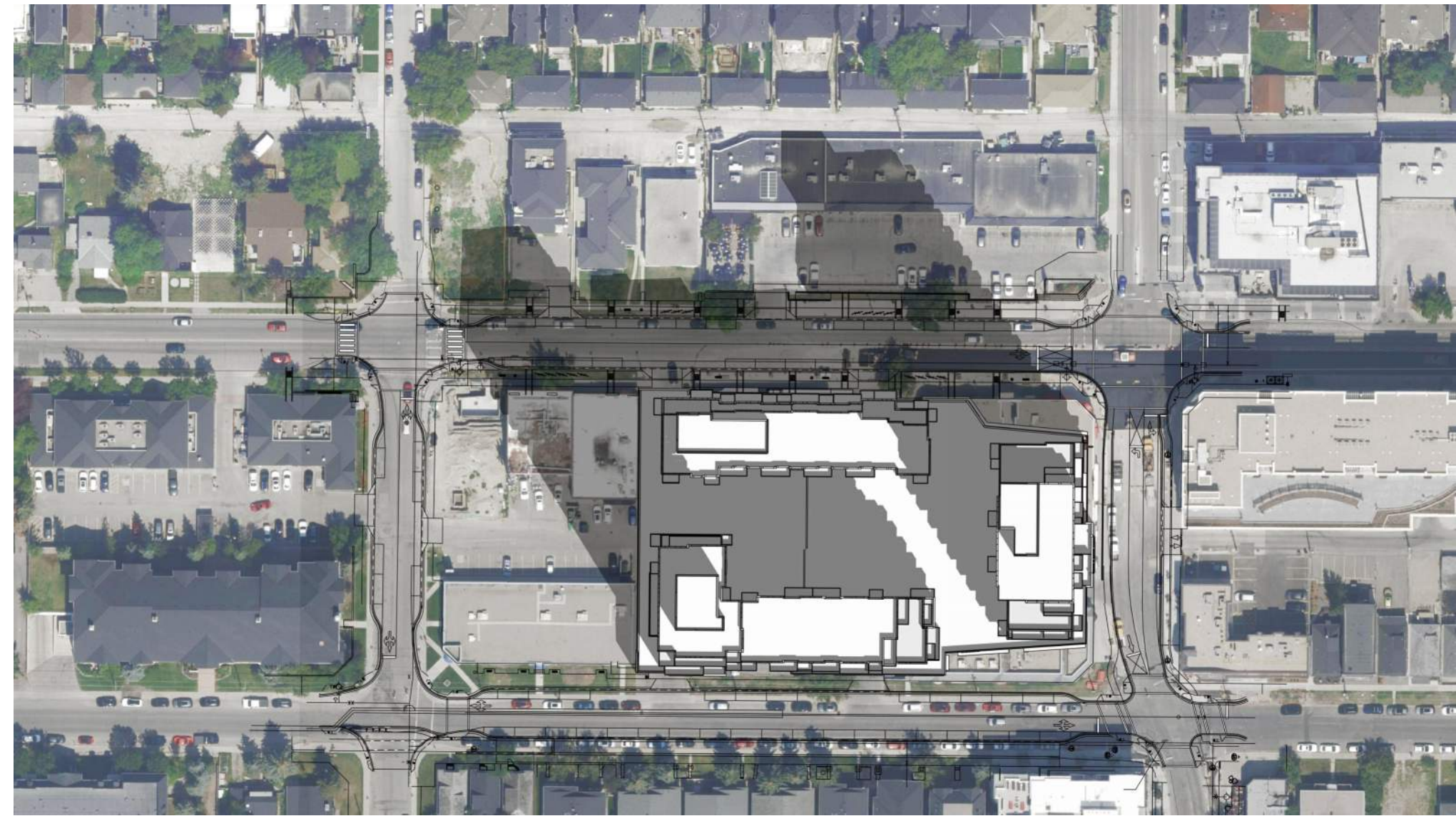
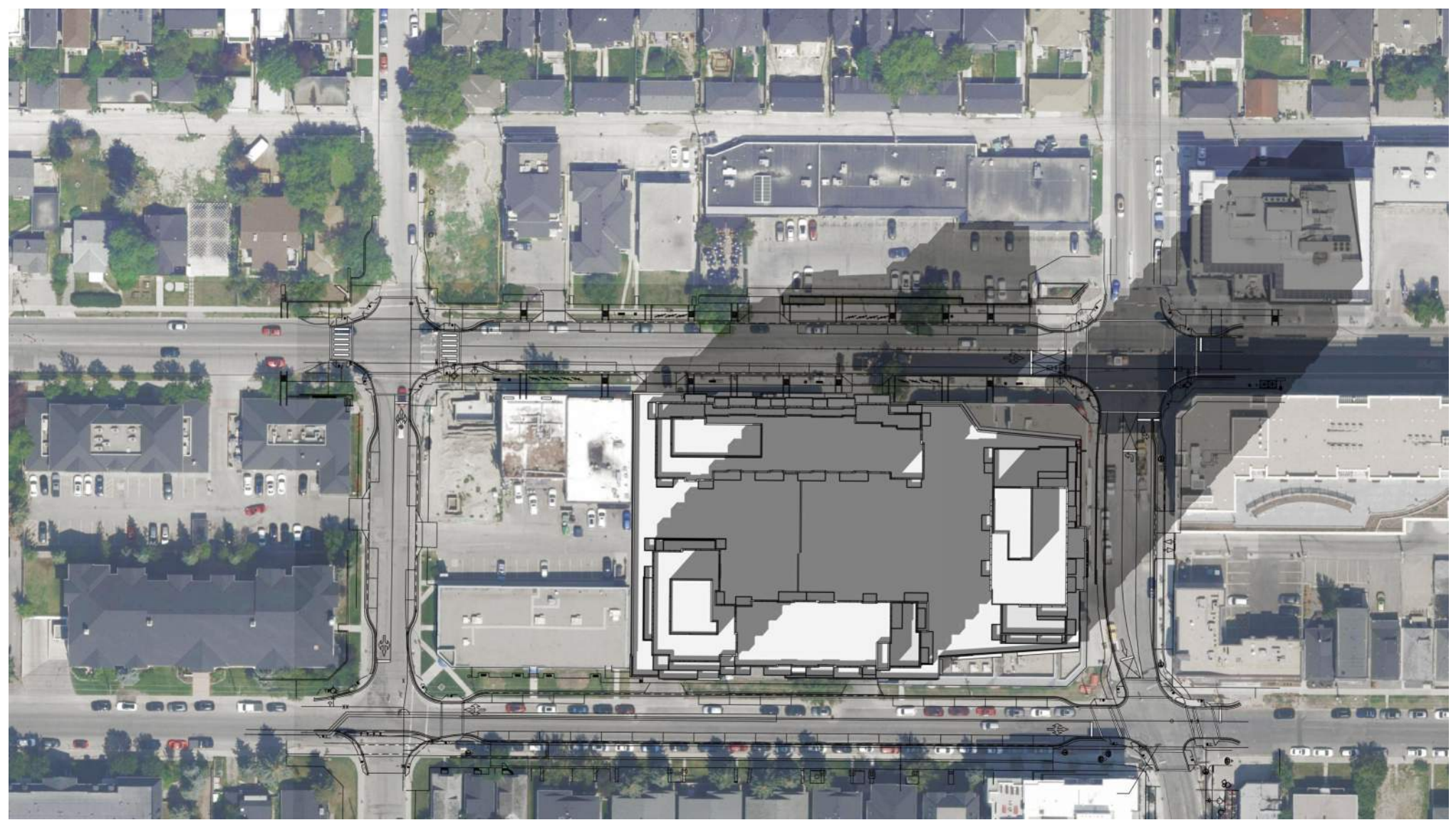
9 SEPTEMBER 21 - 9AM
DP10-00-09 SCALE: 1:1



6 JUNE 21 - 4PM
DP10-00-09 SCALE: 1:1

5 JUNE 21 - 12PM
DP10-00-09 SCALE: 1:1

4 JUNE 21 - 9AM
DP10-00-09 SCALE: 1:1



3 MARCH 21 - 4PM
DP10-00-09 SCALE: 1:1

2 MARCH 21 - 12PM
DP10-00-09 SCALE: 1:1

1 MARCH 21 - 9AM
DP10-00-09 SCALE: 1:1

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2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA
2101 33 AVE SW, CALGARY, AB
Drawing Title
SHADOW STUDY

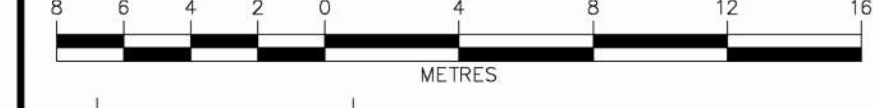
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DP10-00-09

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CALGARY, ALBERTA

PLAN SHOWING SURVEY OF
SITE PLAN
OF
LOTS 1 TO 14, BLOCK 70, PLAN 4479 P
ALL WITHIN THE
S.W.1/4 Sec.8 Twp.24 Rge.1 W.5th M.
SCALE = 1 : 200



STANDARD SYMBOL LEGEND:

- Statutory iron post found shown thus:
- Drill hole found shown thus:
- Catch Basins shown thus:
- Fire hydrants shown thus:
- Geodetic spot elevations shown thus:
- Light standards shown thus:
- Manholes shown thus:
- Power poles shown thus:
- Pole Anchor shown thus:
- Road signs are shown thus:
- Traffic Lights shown thus:
- Deciduous Trees shown thus:
- Water Valves shown thus:

STANDARD ABBREVIATIONS THAT MAY APPEAR ON THIS PLAN:

- ALL.S DENOTES ALBERTA LAND SURVEYOR
- A DENOTES ARC
- ARW DENOTES ACCESS RIGHT-OF-WAY
- ASCM DENOTES ALBERTA SURVEY CONTROL MARKER
- CB DENOTES CATCH BASIN
- c.s. DENOTES COUNTERSUNK
- Dec. DENOTES DECIDUOUS
- D.H. DENOTES DRILL HOLE
- E. DENOTES EAST
- Fa. DENOTES FOUND
- G.L. DENOTES GRID LEVEL
- GNSS DENOTES GLOBAL NAVIGATION SATELLITE SYSTEM
- ha DENOTES HECTARES
- I. DENOTES STATUTORY IRON POST
- Mk. DENOTES MARK
- Md. DENOTES MARKED
- M. DENOTES MERIDIAN
- MH DENOTES MANHOLE
- MR DENOTES MUNICIPAL RESERVE
- N. DENOTES NORTH
- PL DENOTES PLACED
- PUL DENOTES PUBLIC UTILITY LOT
- R DENOTES RADIUS
- r DENOTES RADIAL BEARING
- Rg. DENOTES RANGE
- Re-est. DENOTES RE-ESTABLISHED
- Ref. DENOTES REFERENCE
- RP DENOTES GEO-REFERENCED POINT
- Sec. DENOTES SECTION
- S. DENOTES SOUTH
- TCD DENOTES TOP CUT OFF
- Two. DENOTES TOWNSHIP
- U/W DENOTES UTILITY RIGHT-OF-WAY
- W. DENOTES WEST
- Δ DENOTES CENTRAL DELTA ANGLE

NOTES:

- Distances shown are ground in metres and decimals thereof and are between iron posts unless shown otherwise.
- Elevations are geodetic and are derived from ASCM 407189 (Elev=1123.574m)
- Elevations on Manholes are RIM elevations.
- Elevations shown on Catch Basins are RIM Elevations at Lip of Gutter.
- Area affected by this plan shown bounded thus:
- Bearings are grid based on NAD83 3TM projection, reference Meridian 114° West Longitude and are derived from the line joining ASCM 407189 and ASCM 178681.
- Combined scale factor : 0.999730
- Information copied from the City of Calgary block profile sheets are illustrated thus: (c)
- Vista Geomatics Ltd. is not responsible for the accuracy of any copied information shown.
- No utility information was obtained inside subject property.

ENCROACHMENT NOTES:

- 1 - Concrete curb encroaches into the road widening by 0.04.
- 2 - Concrete curb encroaches into the road widening by 0.03.

EVIDENCE NOTES:

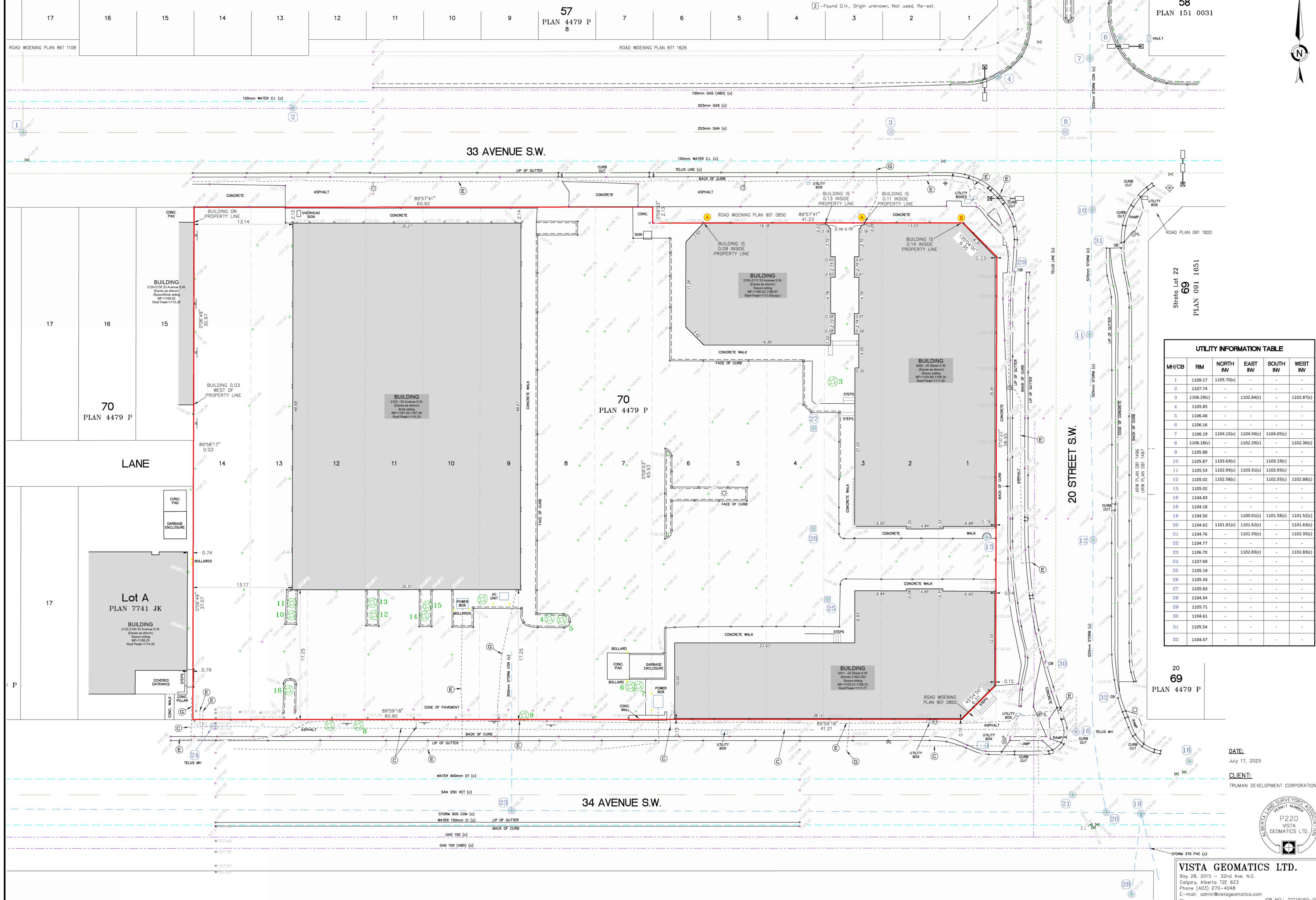
- 1 - Found D.H., 0.04 NE, Re-est. by proportion
- 2 - Found D.H., Origin unknown, Not used, Re-est.

TREE INFORMATION TABLE

Tree # & (Count)	Dia.	Drip	Height	Type
3(4)	0.10	4.0	5	Dec.
4(11)	0.10	6.0	5	Dec.
5(9)	0.10	2.0	5	Dec.
6(0)	0.10	2.0	6	Dec.
7(0)	0.10	2.0	6	Dec.
8(4)	0.10	4	5	Dec.
9(7)	0.30	16.0	8	Dec.
10(5)	0.10	4	5	Dec.
11(5)	0.10	4	5	Dec.
12	0.15	3	5	Dec.
13	0.25	5	5	Dec.
14	0.15	3	5	Dec.
15	0.25	5	5	Dec.
16	0.30	5	5	Dec.

UTILITY LOCATES:

- C - Communications
- E - Electric
- G - Gas



UTILITY INFORMATION TABLE

MH/CB	RIM	NORTH INV	EAST INV	SOUTH INV	WEST INV
1	1109.17	1105.70(c)	-	-	-
2	1107.74	-	-	-	-
3	1106.29(c)	-	1102.84(c)	-	1102.87(c)
4	1105.85	-	-	-	-
5	1106.48	-	-	-	-
6	1106.16	-	-	-	-
7	1106.19	1104.15(c)	1104.56(c)	1104.05(c)	-
8	1106.18(c)	-	1102.29(c)	-	1102.36(c)
9	1105.88	-	-	-	-
10	1105.87	1103.63(c)	-	1103.19(c)	-
11	1105.53	1102.93(c)	1103.31(c)	1102.93(c)	-
12	1105.02	1102.58(c)	-	1102.55(c)	1102.88(c)
13	1105.02	-	-	-	-
16	1104.83	-	-	-	-
18	1104.18	-	-	-	-
19	1104.50	-	1100.01(c)	1101.58(c)	1101.52(c)
20	1104.62	1101.81(c)	1101.62(c)	-	1101.63(c)
21	1104.76	-	1101.55(c)	-	1102.35(c)
22	1104.77	-	-	-	-
23	1106.70	-	1102.83(c)	-	1102.83(c)
24	1107.69	-	-	-	-
25	1105.19	-	-	-	-
26	1105.63	-	-	-	-
28	1104.34	-	-	-	-
29	1105.71	-	-	-	-
30	1104.61	-	-	-	-
31	1105.54	-	-	-	-
32	1104.47	-	-	-	-

AMENDED DRAWINGS
 DP No: DP2024-08395
 Date Received: Sept. 16, 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

This drawing has been prepared solely for the use of OWNER and there are no representations of any kind made by NORR to any party with whom NORR has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component: DEVELOPMENT PERMIT
 Key Plan:

Consultants:
 Survey: VISTA GEOMATICS
 Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
 Architecture: NORR
 Structural: ENTUJIVE
 Mechanical: TLJ ENGINEERING
 Electrical: TLJ ENGINEERING
 Interiors: TLJ ENGINEERING
 Landscape: SCATFIELD MILLER MURRAY

Seal(s)

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 NORR Architects Engineers Planners
 A Partnership of Corporations
 Jonathan Hughes, Architect: AAA, OAA, ABC, MAA, AANB, AAPE
 Adam Toles, P. Eng., ARE/CA
 Chris Paik, P. Eng., ARE/CA

Project Manager: J. LACKMAN
 Author: B. TEZUKA
 Project Leader: Checked

Client: **TRUMAN**
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
 Project: **MARC & MADA**

2101 33 AVE SW, CALGARY, AB T2T 1Z7
 Drawing Title: **SURVEY (REFERENCE)**

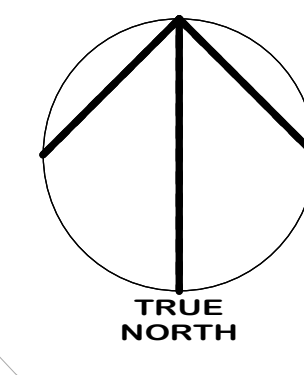
Scale:
 Project No: NCCA22-0058
 Drawing No: **DP10-00-10**

VISTA GEOMATICS LTD.
 Bay 28, 2015 - 32nd Ave. N.E.
 Calgary, Alberta T2E 6Z3
 Phone: (403) 270-4046
 E-mail: admin@vistageomatics.com
 Job No: 22115160-DP

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AMENDED DRAWINGS

DP No Date Received
DP2024-08395 Sept. 16, 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B



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Project Component
DEVELOPMENT PERMIT

Key Plan

Consultants

- Survey: VISTA GEOMATICS
- Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
- Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
- Structural: ENTUJITIVE
- Mechanical: TLJ ENGINEERING LTD.
- Electrical: TLJ ENGINEERING LTD.
- Interiors:
- Landscape: SCATLIFF MILLER MURRAY

Seal(s)

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NORR Architects Engineers Planners
A Partnership of Corporations

Jonathan Hughes, Architect, AIA, OAA, OAC, AIBC, ASAC, AANA, AANP, AIAPE
Adam Toleda, P.Eng., ARE/IGA
Chris Hill, P.Eng., ARE/IGA

Project Manager J. Lackman	Author
Project Leader B. TEZUKA	Checked Checker

Client

TRUMAN
2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3

CALGARY CO-OP
151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project

MARC & MADA

2101 33 AVE SW, CALGARY, AB

Drawing Title
PHASING PLAN

Scale As indicated

Project No. NCCSA 22-0058

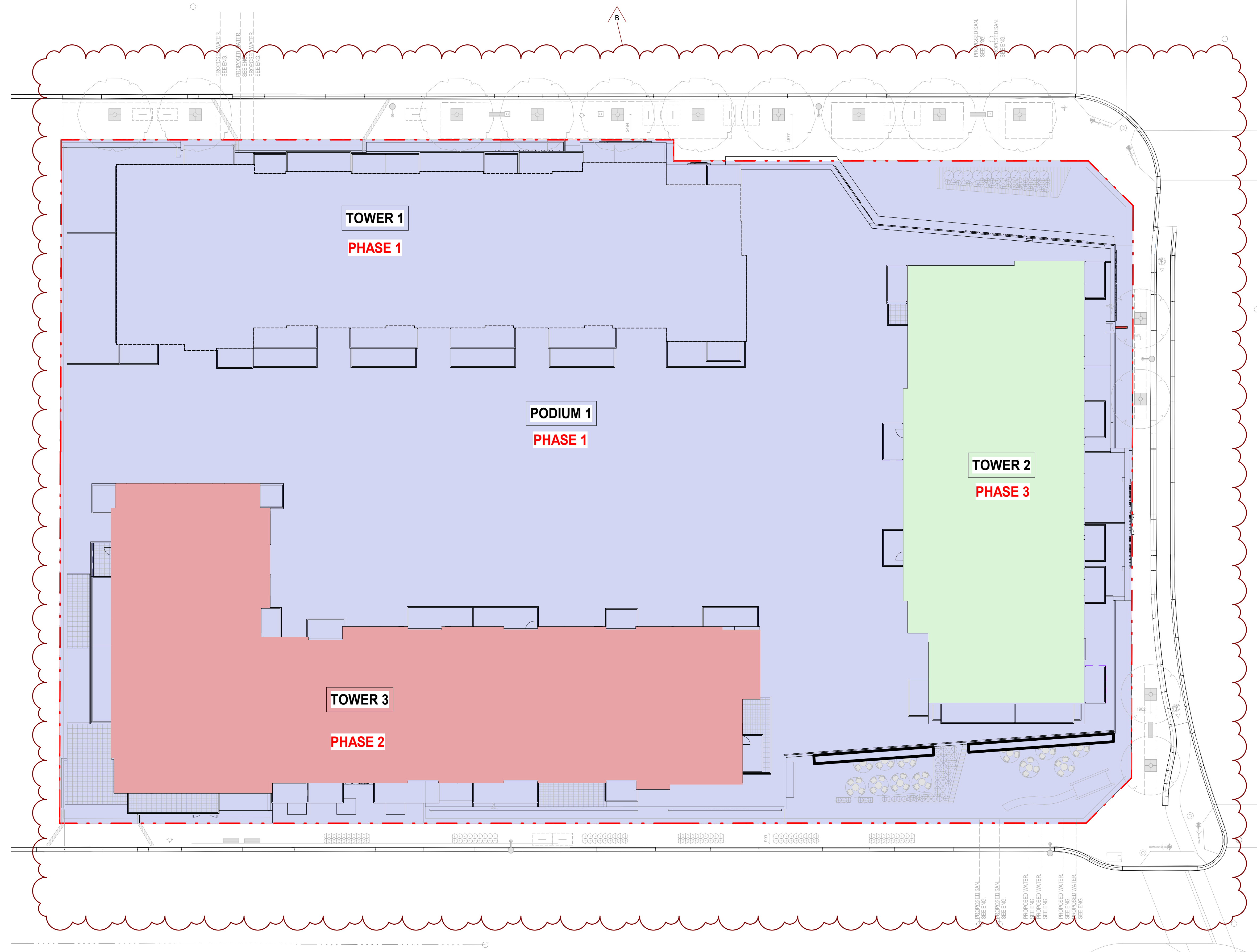
Drawing No. **DP10-00-11**

PHASING LEGEND

- PHASE 1** (Blue)
- DEEP SERVICES AND CONNECTION TO EXISTING SERVICES
- SHALLOW SERVICES AS REQUIRED
- PARKING LEVELS P1 - P4
- PODIUM 1 AND 2, LEVELS 1 - 2
- TOWER 1, LEVELS 2 - ROOF, AND ASSOCIATED MECH PENTHOUSE
- LANDSCAPE ON SURROUNDING STREETSCAPE
- LANDSCAPE ON PODIUM 1 AND 2, LEVEL 2
- LANDSCAPE AT TOWER 1, OUTDOOR AMENITY SPACES
- PHASE 2** (Red)
- TOWER 3, LEVELS 2 - ROOF, AND ASSOCIATED MECH PENTHOUSE
- LANDSCAPE AT TOWER 3, OUTDOOR AMENITY SPACES
- PHASE 3** (Green)
- TOWER 2, LEVELS 2 - ROOF, AND ASSOCIATED MECH PENTHOUSE
- LANDSCAPE AT TOWER 2, OUTDOOR AMENITY SPACES

NOTES

- EACH BUILDING PHASE AND LANDSCAPING TO BE PHASED INDIVIDUALLY
- PHASES NEED NOT BE COMPLETED IN SEQUENTIAL ORDER, EXCEPT FOR PHASE 1, PHASE 2, AND PHASE 3.



1 PHASING PLAN
DP10-00-11 SCALE: 1 : 200

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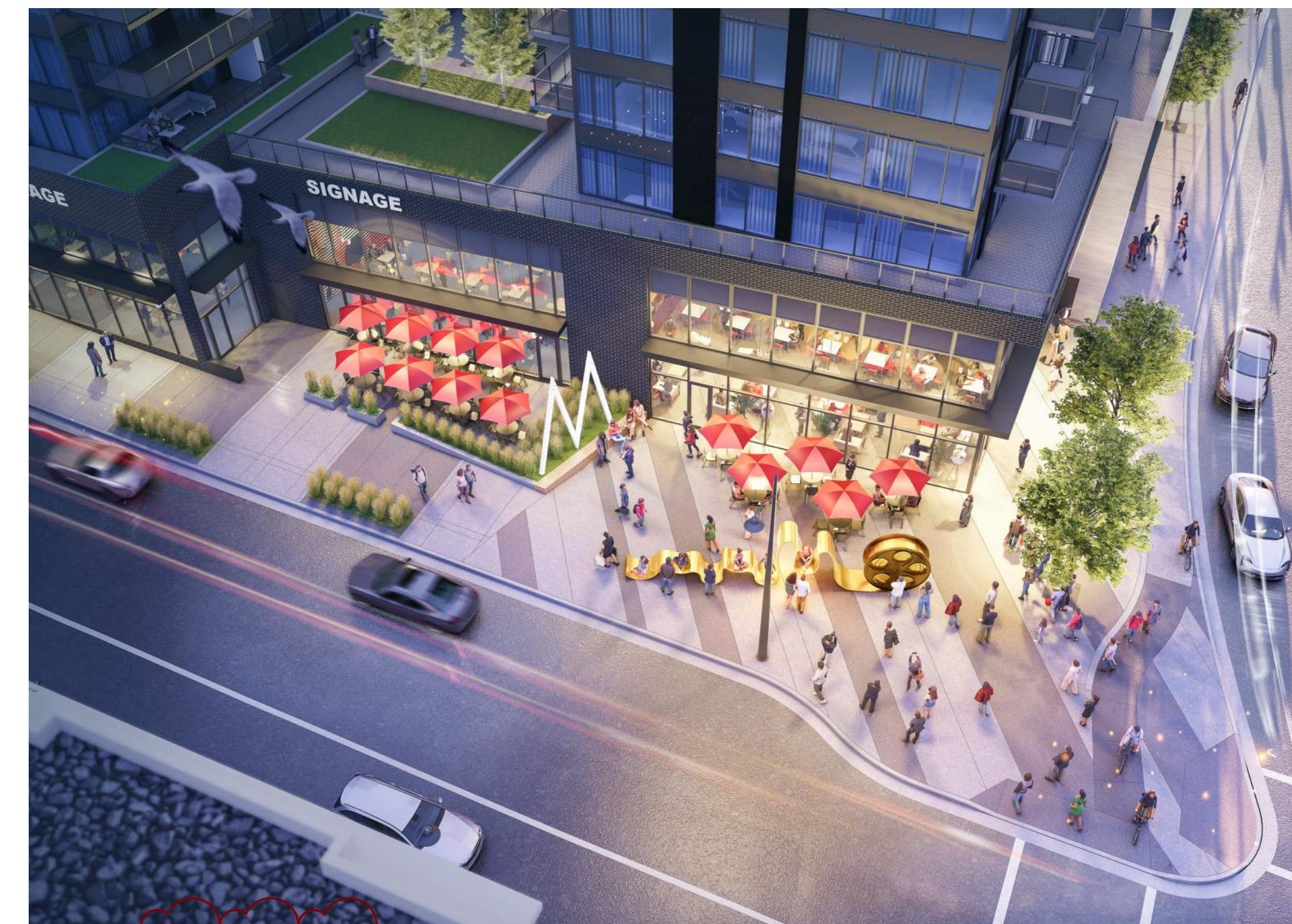
① SOUTH EAST CORNER



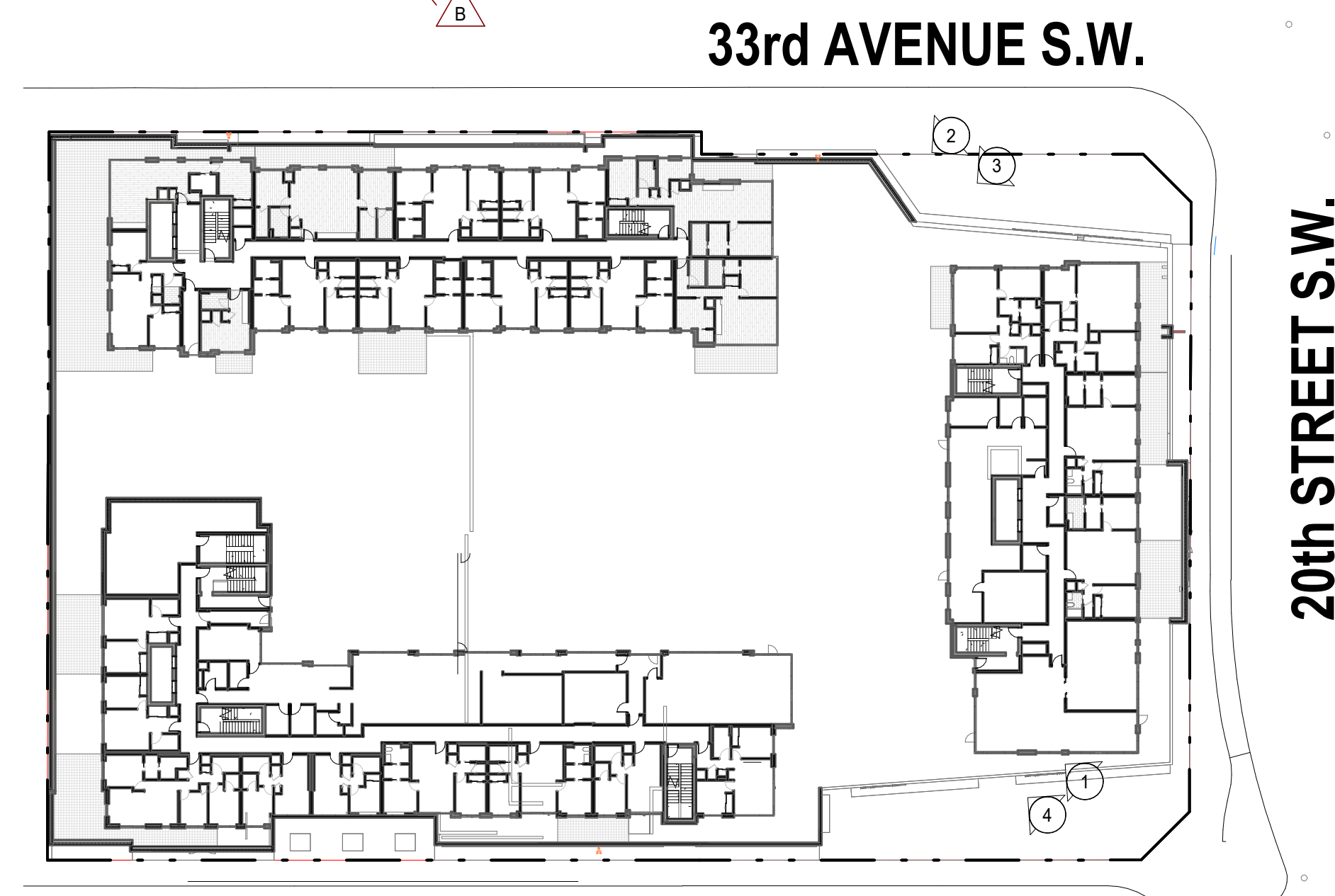
② NORTH EAST CORNER PLAZA



③ SECOND FLOOR AMENITY & NORTH EAST CORNER PLAZA



④ SOUTH EAST CORNER



KEY PLAN
SCALE: 1 : 500

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B

AMENDED DRAWINGS
 DP No: DP2024-08395
 Date Received: Sept. 16, 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

TRUMAN



CALGARY CO-OP

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Project Component: DEVELOPMENT PERMIT

Key Plan

Consultants:
 Survey: VISTA GEOMATICS
 Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
 Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
 Structural: ENTUJITIVE
 Mechanical: TLJ ENGINEERING LTD.
 Electrical: TLJ ENGINEERING LTD.
 Interiors:
 Landscape: SCATLIFF MILLER MURRAY

Seal(s)

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 NORR Architects Engineers Planners
 A Partnership of Corporations
 Jonathan Hughes, Architect, AIA, OAA, AAC, SAA, AANB, AAPE
 Adam Toleda, P.Eng., ARE/CA
 Chris Hill, P.Eng., ARE/CA

Project Manager J. Lackman	Drawn Author
Project Leader B. TEZUKA	Checked Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA
 2101 33 AVE SW, CALGARY, AB
 Drawing Title
3D RENDERINGS

Scale: As indicated
 Project No.: NCCA22-0058
 Drawing No.: **DP10-00-13**

AMENDED DRAWINGS
 DP No Date Received
 DP2024-08395 Sept. 16, 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DATE	ISSUED FOR	REV
2025-09-15	DEVELOPMENT PERMIT REVISION	B



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Project Component
DEVELOPMENT PERMIT
Key Plan

Consultants	
Survey:	VISTA GEOMATICS
Civil:	JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture:	NORR ARCHITECTS ENGINEERS PLANNERS
Structural:	ENTUITIVE
Mechanical:	TLJ ENGINEERING LTD.
Electrical:	TLJ ENGINEERING LTD.
Interiors:	
Landscape:	SCATLIFF MILLER MURRAY

Seal(s)

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 NORR Architects Engineers Planners
 A Partnership of Corporations
From various architects (planning) Inc. Plus various holding Inc.
 Jonathan Hughes, Architect, AIA, OAA, AAC, ASBC, MAIA, AANB, AAPR
 Adam Toledo, P. Eng., ARE/CA
 Chris Pao, P. Eng., ARE/CA

Project Manager	J. Lackman	Drawn	Author
Project Leader	B. TEZUKA	Checked	Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #110, CALGARY, AB T2H 3A5

Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB
 Drawing Title
3D RENDERINGS

Scale	1 : 500
Project No.	NCCA22-0058
Drawing No.	DP10-00-14



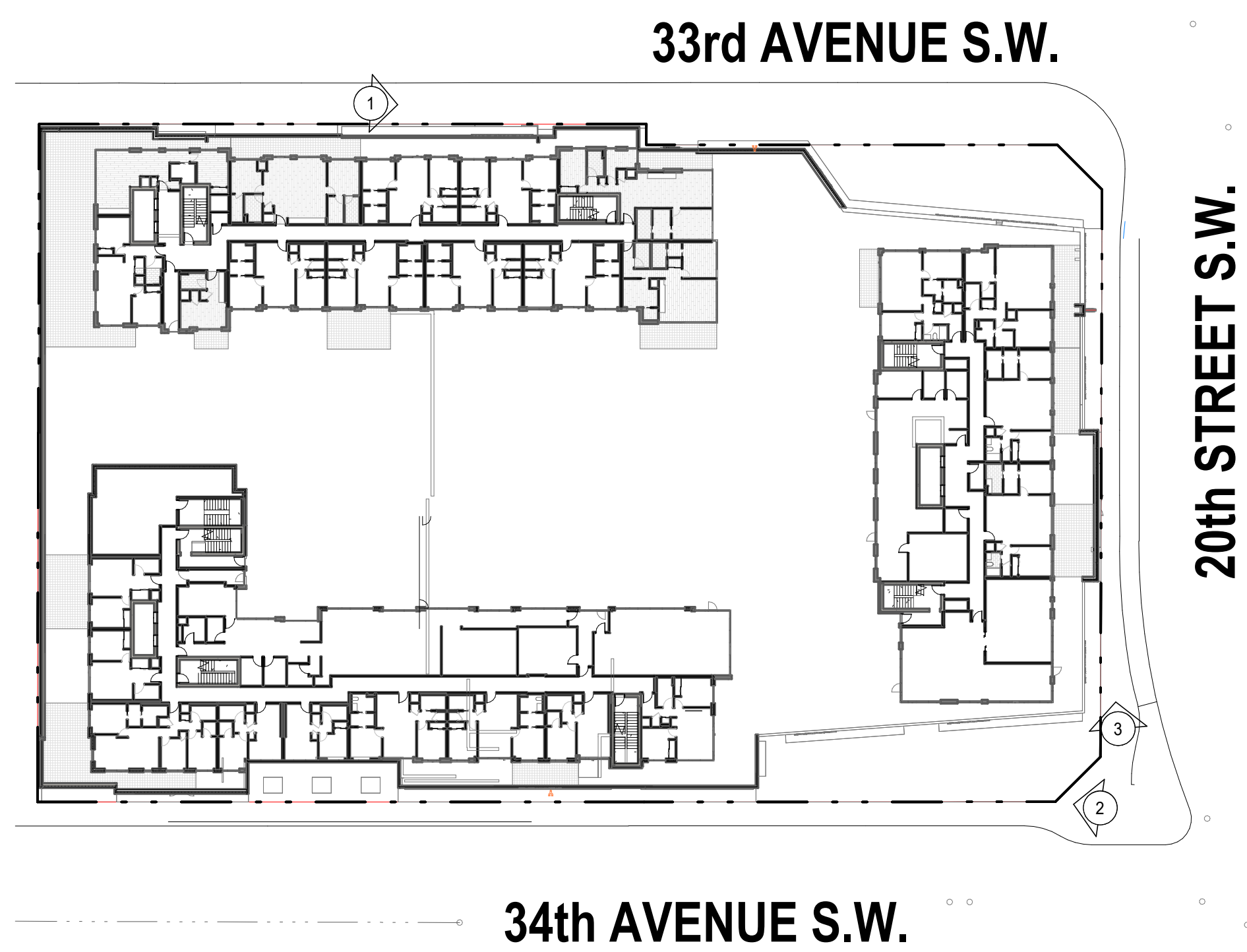
② EAST PEDESTRIAN VIEW



① NORTH PEDESTRIAN VIEW



② SOUTH EAST PEDESTRIAN VIEW



KEY PLAN
 SCALE: 1 : 500

9/15/2025 11:08:52 AM

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B



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Project Component
DEVELOPMENT PERMIT

Key Plan

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 Electrical: TLJ ENGINEERING LTD.
 Interiors:
 Landscape: SCATFILL MILLER MURRAY

Seal(s)



2300, 411 - 1st Street SE
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 norr.com

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 Adam Toles, P. Eng., AREG
 Chris Hill, P. Eng., AREG

Project Manager J. Lackman	Author
Project Leader B. TEZUKA	Checked Checker

Client
TRUMAN

2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3

CALGARY CO-OP
 151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA

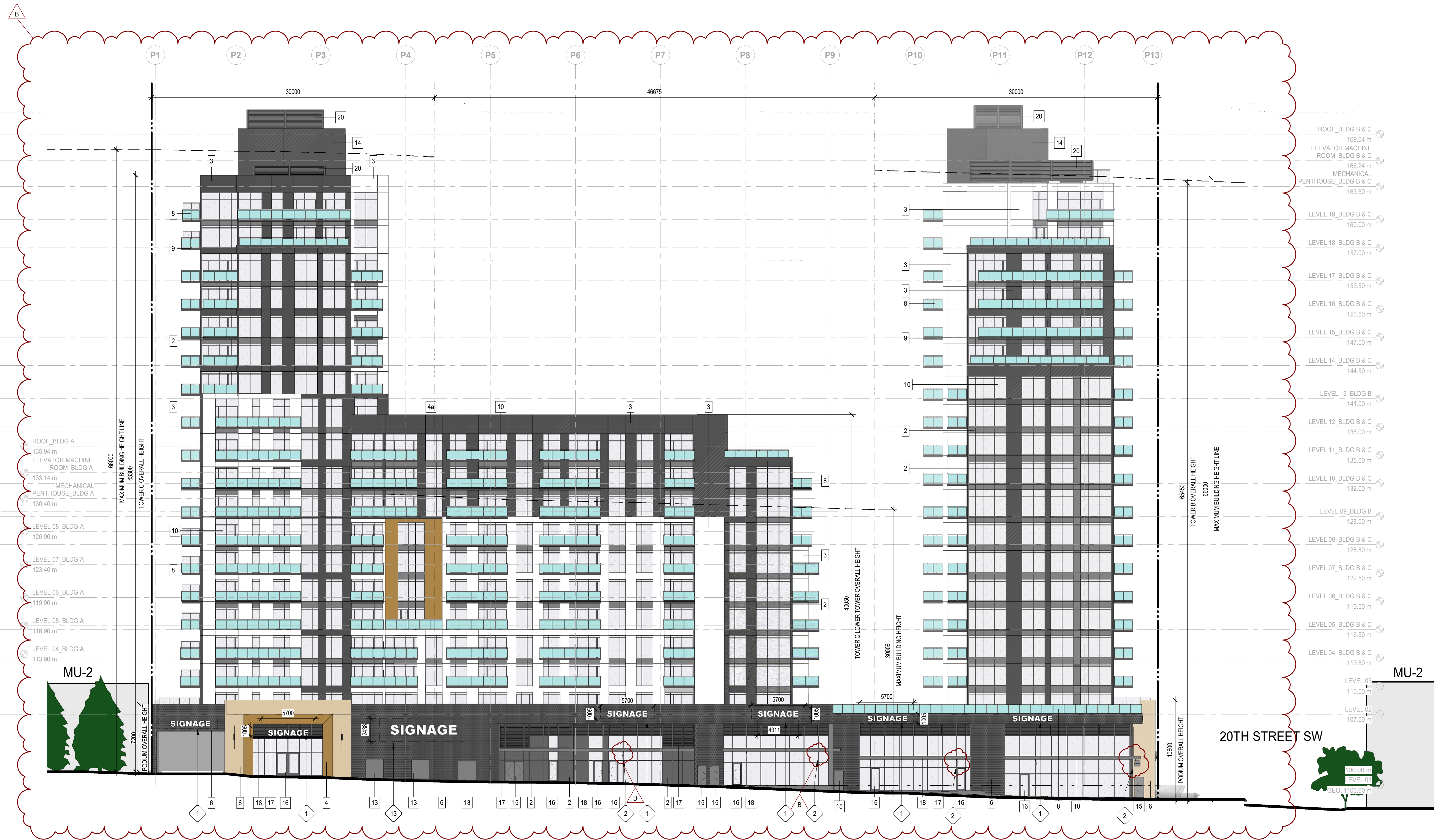
2101 33 AVE SW, CALGARY, AB

Drawing Title
BUILDING ELEVATIONS - OVERALL SOUTH

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP30-00-01



3 BUILDING ELEVATION - OVERALL SOUTH
 DP30-00-01 SCALE: 1:200

AMENDED DRAWINGS
 DP No Date Received
 DP2024-08395 Sept. 16, 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

SIGNAGE KEYNOTE LEGEND

1	FUTURE SIGNAGE; W 5700 x H 1005	10	CAL & GARY LOGO; W 2286 X H 2286
2	BLADE SIGNAGE; W 609 x H 609	11	ONLY ALBERTA BEEF LOGO; D 2286
3	CO-OP BLADE SIGNAGE; W 1200 x H 1200	12	CALGARY CO-OP - PHARMACY LOGO; W 4485 X H 590
4	CALGARY CO-OP SIGNAGE; W 1790 x H 600	13	FUTURE SIGNAGE; W 9144 x H 2438
4a	CALGARY CO-OP SIGNAGE (STACKED); W 3140 x H 1136	14	PHARMACY WALK-IN CLINIC (BLADE SIGN); W 609 x H 609
5	M LOGO SIGNAGE; W 2350 x H 3060		
6	MARK & MADA BLOCK SIGNAGE; W 7400 X H 500		
7	BIG CO-OP LOGO; W 4340 x H 4340		
7a	BIG CO-OP LOGO (2); W 2156 x H 2156		
8	CO-OP LOGO + CALGARY CO-OP SIGNAGE (OVER ENTRY); W 6670 X H 1764		
8a	PHARMACY WALK-IN CLINIC; W 12126 X H 776		
8b	PHARMACY WALK-IN CLINIC; W 6330 X H 1418		
8c	PHARMACY WALK-IN CLINIC; W 7100 X H 450		

ELEVATION NOTES

- ALL RAILINGS TO BE FACE MOUNTED, DOUBLE TOP BAR SQUARE BAR PROFILE
- ALL BALCONY FACE OF SLABS AND UNDERSIDE TO BE PAINTED BLACK
- ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL
- PROPERTY LINES ARE FOR REFERENCE ONLY, REFER TO SITE PLAN FOR OVERALL EXTENTS

HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)

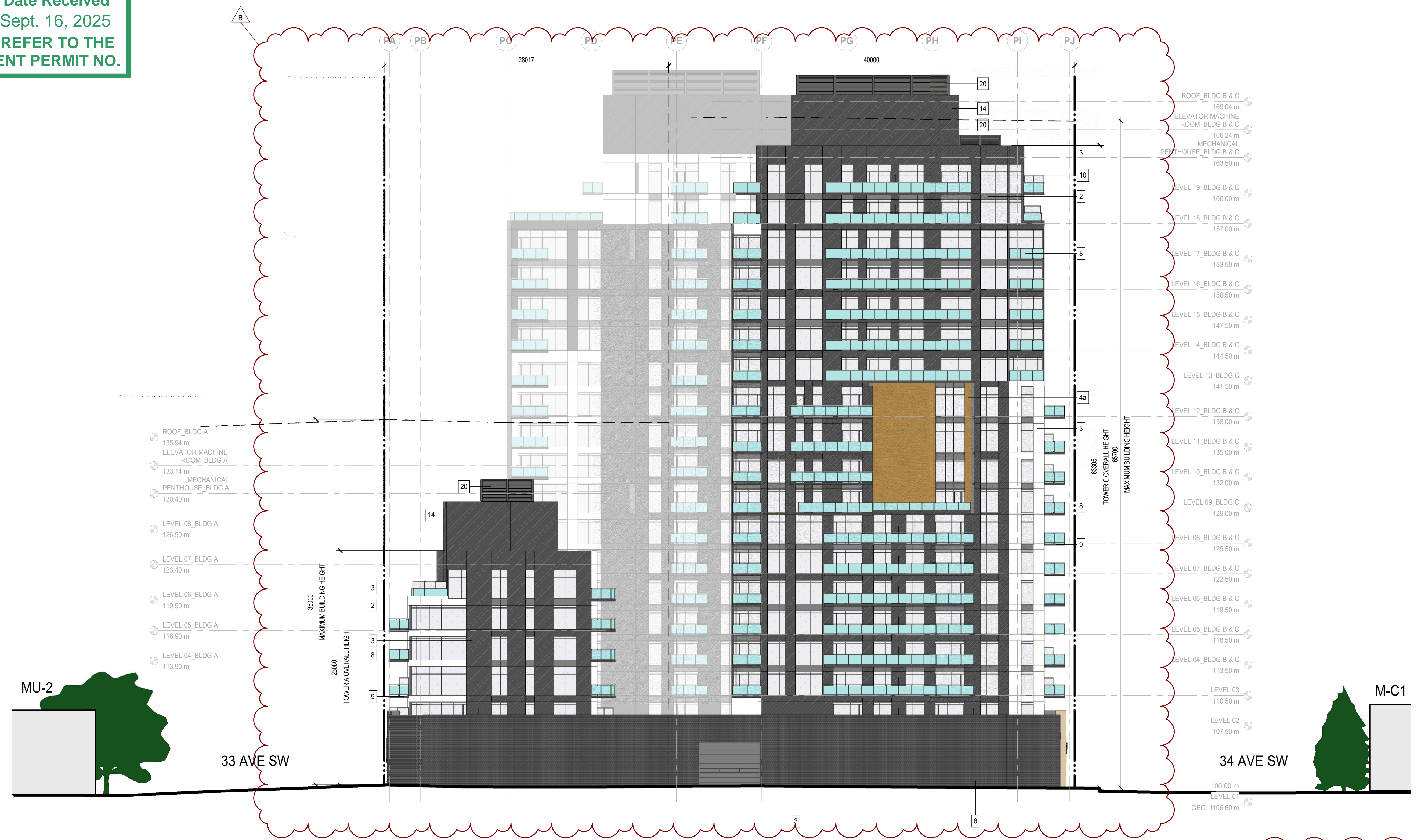
[Hatch]	GLAZING: CLEAR
[Hatch]	GLAZING: SPANDREL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (CO-OP RED)
[Hatch]	COMPOSITE METAL PANEL (GREEN)
[Hatch]	COMPOSITE METAL PANEL (WHITE)
[Hatch]	ALUMINIUM CLADDING (NATURAL WOOD TONE - WALNUT)
[Hatch]	ALUMINIUM CLADDING (NATURAL WOOD TONE - LIGHT MAPLE)
[Hatch]	BRICK MASONRY (BLACK)
[Hatch]	TRAVERTINE
[Hatch]	LOUVRE
[Hatch]	MULLIONS: BLACK ANODIZED ALUMINIUM

MATERIALS LEGEND

#	MATERIAL DESCRIPTION
1a	UNITIZED CURTAIN WALL SYSTEM - CLEAR ANODIZED; STANDARD CLEAR GLASS c/w LOW-E COATING
1b	TRADITIONAL CURTAIN WALL SYSTEM; STANDARD CLEAR GLASS c/w LOW-E COATING
2	CURTAIN WALL SYSTEM - SPANDREL GLAZING; COLOUR: REFER TO HATCH LEGEND
3	COMPOSITE METAL PANEL; COLOUR: REFER TO HATCH LEGEND
4	ALUMINIUM SIDING; COLOUR: NATURAL WOOD TONE
5	ALUMINIUM PERFORATED SOFFIT TO UNDERSIDE OF OVERHANG; COLOUR TO MATCH ADJACENT VERTICAL FACE
6	BRICK MASONRY OR STONE; COLOUR: REFER TO HATCH LEGEND
7	SMOOTH-FINISHED CONCRETE WALL
8	GUARDRAIL - 1070mm HIGH - FACE MOUNTED, CLEAR GLASS & PRE-FINISHED ALUMINIUM FRAMES; CLEAR ANODIZED
9	EXPOSED CONCRETE BALCONY; PAINT EDGES AND UNDERSIDE BLACK
10	RESIDENTIAL BALCONY DOOR
11	OPERABLE AWNING WINDOW
12	SITE CIRCULATION STAIRS
13	PEDMOUNT TRANSFORMER
14	MECHANICAL PENTHOUSE - SEE MECHANICAL
15	EXTERIOR HOLLOW METAL DOOR; COLOUR TO MATCH ADJACENT CLADDING
16	STOREFRONT GLAZED DOOR
17	MECHANICAL LOUVERS FOR VENTING; COLOUR TO MATCH MULLION
18	METAL CANOPY; COLOUR TO MATCH MULLION
19	STOREFRONT SLIDING WINDOWS; COLOUR TO MATCH MULLION
20	MECHANICAL SCREENING; COLOR TO MATCH METAL PANEL

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AMENDED DRAWINGS
DP No **DP2024-08395** Date Received **Sept. 16, 2025**
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



2 BUILDING ELEVATION - OVERALL WEST
DP30-00-02 SCALE: 1:200

SIGNAGE KEYNOTE LEGEND

1	FUTURE SIGNAGE; W 5700 x H 1005	10	CAL & GARY LOGO; W 2286 X H 2286
2	BLADE SIGNAGE; W 609 x H 609	11	ONLY ALBERTA BEEF LOGO; D 2286
3	CO-OP BLADE SIGNAGE; W 1200 x H 1200	12	CALGARY CO-OP - PHARMACY LOGO; W 4485 X H 530
4	CALGARY CO-OP SIGNAGE; W 1790 x H 600	13	FUTURE SIGNAGE; W 9144 x H 2438
4a	CALGARY CO-OP SIGNAGE (STACKED); W 3140 x H 1136	14	PHARMACY WALK-IN CLINIC (BLADE SIGN); W 609 x H 609
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6	MARK & MADA BLOCK SIGNAGE; W 7400 X H 500		
7	BIG CO-OP LOGO; W 4340 x H 4340		
7a	BIG CO-OP LOGO (2); W 2156 x H 2156		
8	CO-OP LOGO + CALGARY CO-OP SIGNAGE (OVER ENTRY); W 6670 X H 1764		
8a	PHARMACY WALK-IN CLINIC; W 12126 X H 776		
8b	PHARMACY WALK-IN CLINIC; W 6330 X H 1418		
8c	PHARMACY WALK-IN CLINIC; W 7100 X H 450		

ELEVATION NOTES

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- PROPERTY LINES ARE FOR REFERENCE ONLY, REFER TO SITE PLAN FOR OVERALL EXTENTS

HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)

[Hatch]	GLAZING: CLEAR
[Hatch]	GLAZING: SPANDREL PANEL (BLACK)
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[Hatch]	TRAVERTINE
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[Hatch]	MULLIONS: BLACK ANODIZED ALUMINIUM

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#	MATERIAL DESCRIPTION
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3	COMPOSITE METAL PANEL; COLOUR: REFER TO HATCH LEGEND
4	ALUMINIUM SIDING; COLOUR: NATURAL WOOD TONE
5	ALUMINIUM PERFORATED SOFFIT TO UNDERSIDE OF OVERHANG; COLOUR TO MATCH ADJACENT VERTICAL FACE
6	BRICK MASONRY OR STONE; COLOUR: REFER TO HATCH LEGEND
7	SMOOTH-FINISHED CONCRETE WALL
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13	PEDMOUNT TRANSFORMER
14	MECHANICAL PENTHOUSE - SEE MECHANICAL
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16	STOREFRONT GLAZED DOOR
17	MECHANICAL LOUVERS FOR VENTING; COLOUR TO MATCH MULLION
18	METAL CANOPY; COLOUR TO MATCH MULLION
19	STOREFRONT SLIDING WINDOWS; COLOUR TO MATCH MULLION
20	MECHANICAL SCREENING; COLOR TO MATCH METAL PANEL

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B



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Project Component
DEVELOPMENT PERMIT

Key Plan

Consultants
Survey: VISTA GEOMATICS
Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
Structural: ENTUJITIVE
Mechanical: TLJ ENGINEERING LTD.
Electrical: TLJ ENGINEERING LTD.
Interiors:
Landscape: SCATLIF MILLER MURRAY

Seal(s)

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Calgary, AB, Canada T2G 4Y5
norr.com

NORR Architects Engineers Planners
A Partnership of Corporations
Rochester Architects (Alberta) Inc. Part 36(1)(a) Holders Inc.

Jonathan Hughes, Architect, AIA, OAC, AAC, MAA, AMIA, AAPE
Adam Toleda, P. Eng., AREG
Chris Hill, P. Eng., AREG

Project Manager J. Lackman	Drawn Author
Project Leader B. TEZUKA	Checked Checker

Client
TRUMAN
2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA

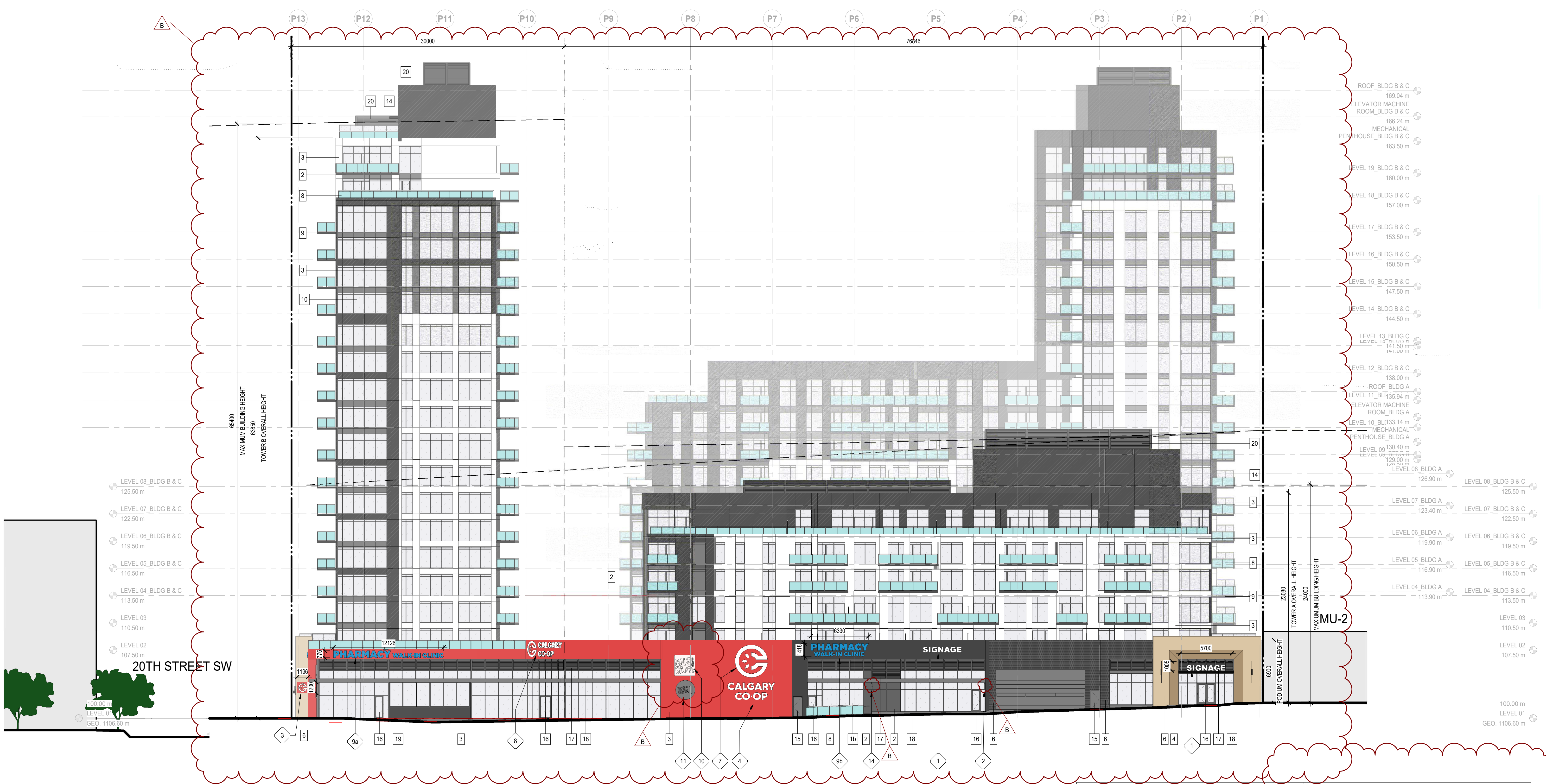
2101 33 AVE SW, CALGARY, AB
Drawing Title
BUILDING ELEVATIONS - OVERALL WEST

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP30-00-02

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B



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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
DEVELOPMENT PERMIT

Key Plan

Consultants
 Survey: VISTA GEOMATICS
 Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
 Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
 Structural: ENTUITIVE
 Mechanical: TLJ ENGINEERING LTD.
 Electrical: TLJ ENGINEERING LTD.
 Interiors:
 Landscape: SCATFILL MILLER MURRAY

Seal(s)

NORR
 2300, 411 - 1st Street SE
 Calgary, AB, Canada T2G 4Y5
 norr.com
 NORR Architects Engineers Planners
 A Partnership of Corporations
 Jonathan Hughes, Architect, AIA, OAA, AIBC, ASAA, AAEP, AIAPE
 Adam Toleda, P. Eng., APEGA
 Chris Hill, P. Eng., APEGA

Project Manager	J. Lackman	Author
Project Leader	B. TEZUKA	Checked
		Checker

Client
TRUMAN
 2236-10 ASPEN STONE BLVD SW, CALGARY, AB T3H 0K3
CALGARY CO-OP
 151 86 AVE SE #10, CALGARY, AB T2H 3A5

Project
MARC & MADA
 2101 33 AVE SW, CALGARY, AB

Drawing Title
BUILDING ELEVATIONS - OVERALL NORTH

Scale
 As indicated

Project No.
 NCCA22-0058

Drawing No.
DP30-00-03

1 BUILDING ELEVATION - OVERALL NORTH
 DP30-00-03 SCALE: 1:200

AMENDED DRAWINGS
 DP No Date Received
 DP2024-08395 Sept. 16, 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

SIGNAGE KEYNOTE LEGEND

1	FUTURE SIGNAGE; W 5700 x H 1005	10	CAL & GARY LOGO; W 2286 X H 2286
2	BLADE SIGNAGE; W 609 x H 609	11	ONLY ALBERTA BEEF LOGO; D 2286
3	CO-OP BLADE SIGNAGE; W 1200 x H 1200	12	CALGARY CO-OP - PHARMACY LOGO; W 4485 X H 530
4	CALGARY CO-OP SIGNAGE; W 1790 x H 600	13	FUTURE SIGNAGE; W 9144 x H 2438
4a	CALGARY CO-OP SIGNAGE (STACKED); W 3140 x H 1136	14	PHARMACY WALK-IN CLINIC (BLADE SIGN); W 609 x H 609
5	M LOGO SIGNAGE; W 2350 x H 3060		
6	MARK & MADA BLOCK SIGNAGE; W 7400 X H 500		
7	BIG CO-OP LOGO; W 4340 x H 4340		
7a	BIG CO-OP LOGO (2); W 2156 x H 2156		
8	CO-OP LOGO + CALGARY CO-OP SIGNAGE (OVER ENTRY); W 6670 X H 1764		
8a	PHARMACY WALK-IN CLINIC; W 12126 X H 776		
8b	PHARMACY WALK-IN CLINIC; W 6330 X H 1418		
8c	PHARMACY WALK-IN CLINIC; W 7100 X H 450		

ELEVATION NOTES

- ALL PATTERNS TO BE FACED UNLESS DOUBLE FOR THE SOURCE AND PROFILE
- ALL BALCONY FINE OF SLABS AND UNDERSIDE TO BE PAINTED BLACK
- ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL
- PROPERTY LINES ARE FOR REFERENCE ONLY, REFER TO SITE PLAN FOR OVERALL EXTENTS

HATCH LEGEND - (HATCHES ENLARGED FOR CLARITY)

[Hatch]	GLAZING: CLEAR
[Hatch]	GLAZING: SPANDREL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (BLACK)
[Hatch]	COMPOSITE METAL PANEL (CO-OP RED)
[Hatch]	COMPOSITE METAL PANEL (GREEN)
[Hatch]	COMPOSITE METAL PANEL (WHITE)
[Hatch]	ALUMINIUM CLADDING (NATURAL WOOD TONE - WALNUT)
[Hatch]	ALUMINIUM CLADDING (NATURAL WOOD TONE - LIGHT MAPLE)
[Hatch]	BRICK MASONRY (BLACK)
[Hatch]	TRAVERTINE
[Hatch]	LOUVRE
[Hatch]	MULLIONS: BLACK ANODIZED ALUMINIUM

MATERIALS LEGEND

#	MATERIAL DESCRIPTION
1a	UNITIZED CURTAIN WALL SYSTEM - CLEAR ANODIZED; STANDARD CLEAR GLASS c/w LOW-E COATING
1b	TRADITIONAL CURTAIN WALL SYSTEM; STANDARD CLEAR GLASS c/w LOW-E COATING
2	CURTAIN WALL SYSTEM - SPANDREL GLAZING; COLOUR: REFER TO HATCH LEGEND
3	COMPOSITE METAL PANEL; COLOUR: REFER TO HATCH LEGEND
4	ALUMINIUM SIDING; COLOUR: NATURAL WOOD TONE
5	ALUMINIUM PERFORATED SOFFIT TO UNDERSIDE OF OVERHANG; COLOUR TO MATCH ADJACENT VERTICAL FACE
6	BRICK MASONRY OR STONE; COLOUR: REFER TO HATCH LEGEND
7	SMOOTH-FINISHED CONCRETE WALL
8	GUARDRAIL - 1070mm HIGH - FACE MOUNTED; CLEAR GLASS & PRE-FINISHED ALUMINIUM FRAMES; CLEAR ANODIZED
9	EXPOSED CONCRETE BALCONY; PAINT EDGES AND UNDERSIDE BLACK
10	RESIDENTIAL BALCONY DOOR
11	OPERABLE AWNING WINDOW
12	SITE CIRCULATION STAIRS
13	PEDMOUNT TRANSFORMER
14	MECHANICAL PENTHOUSE - SEE MECHANICAL
15	EXTERIOR HOLLOW METAL DOOR; COLOUR TO MATCH ADJACENT CLADDING
16	STOREFRONT GLAZED DOOR
17	MECHANICAL LOUVERS FOR VENTING; COLOUR TO MATCH MULLION
18	METAL CANOPY; COLOUR TO MATCH MULLION
19	STOREFRONT SLIDING WINDOWS; COLOUR TO MATCH MULLION
20	MECHANICAL SCREENING; COLOR TO MATCH METAL PANEL

9/20/2025 11:57:17 AM

AMENDED DRAWINGS
DP No **DP2024-08395** Date Received **Sept. 16, 2025**
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DATE	ISSUED FOR	REV
2024-11-14	DEVELOPMENT PERMIT	A
2025-09-15	DEVELOPMENT PERMIT REVISION	B



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DEVELOPMENT PERMIT

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Civil: JUBILEE ENGINEERING CONSULTANTS LTD.
Architecture: NORR ARCHITECTS ENGINEERS PLANNERS
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Landscape: SCATLIFF MILLER MURRAY

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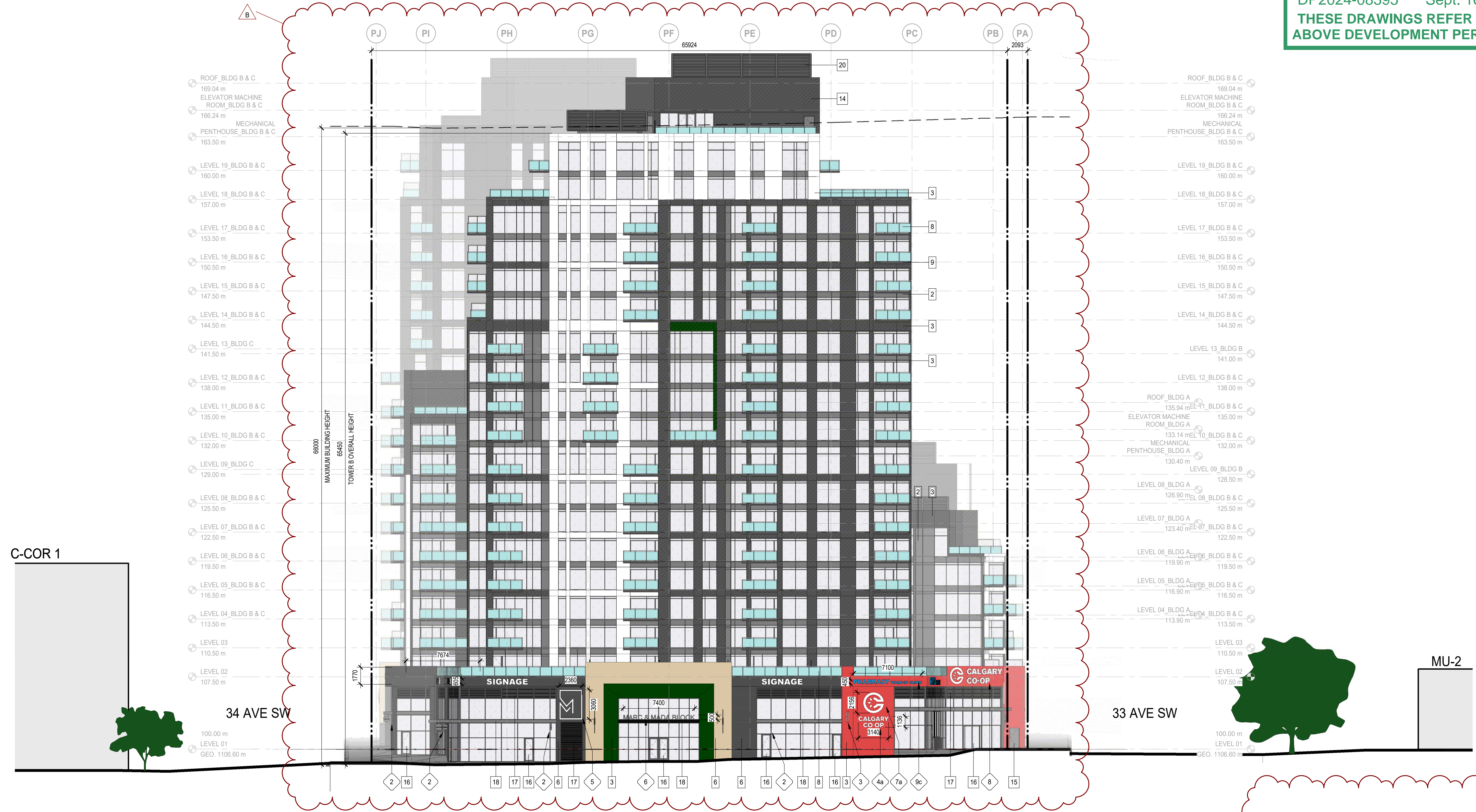
Project
MARC & MADA

2101 33 AVE SW, CALGARY, AB
Drawing Title
BUILDING ELEVATIONS - OVERALL EAST

Scale
As indicated

Project No.
NCCA22-0058

Drawing No.
DP30-00-04



1 BUILDING ELEVATION - OVERALL EAST
SCALE: 1:200

SIGNAGE KEYNOTE LEGEND	
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13	FUTURE SIGNAGE; W 9144 x H 2438
14	PHARMACY WALK-IN CLINIC (BLADE SIGN); W 609 x H 609

ELEVATION NOTES	
ALL BALCONIES TO BE FACE MOUNTED DOUBLE TOP BAR SQUARE BAR PROFILE	
ALL BALCONY FACE OF SLABS AND UNDERSIDE TO BE PAINTED BLACK	
ALL EXTERIOR GRILLS, VENTS, & FLASHING COLOUR TO MATCH ADJACENT MATERIAL	
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