

SUBARU CALGARY EXPANSION

1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

ISSUED FOR DTR RESPONSES 1 - 2025-07-14



Architectural	
T.I. STUDIOS ARCHITECTURE Inc. 1802 11 St SE Unit F201 Calgary, AB T2G 3G2 Phone: 403.806.0555 Fax: 403.806.0558	
	
ARCHITECTURAL	
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CONSULTANT SEAL

ISSUED

DATE

1. ISSUED FOR DP APPLICATION

2024-11-04

2. ISSUED FOR DTR RESPONSES 1

2025-07-14

CLIENT / OWNER

SUBARU CALGARY.COM
SUBARU

DEVELOPMENT PERMIT #:

DP2024-08245

BUILDING PERMIT #:

PRIME CONSULTANT

**T.I. STUDIOS ARCHITECTURE**
201 - 1902 11 St SE, Calgary, Alberta T2G 3G2
(403) 806-0555 info@tistudios.ca

PROJECT NAME AND ADDRESS

SUBARU CALGARY EXPANSION
1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

LEGAL ADDRESS:

DRAWING TITLE

COVER PAGE

SCALE:

1:50

DATE:

2025-07-14

DRAWN BY:

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PRINT ON:

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PROJECT No.

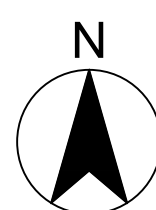
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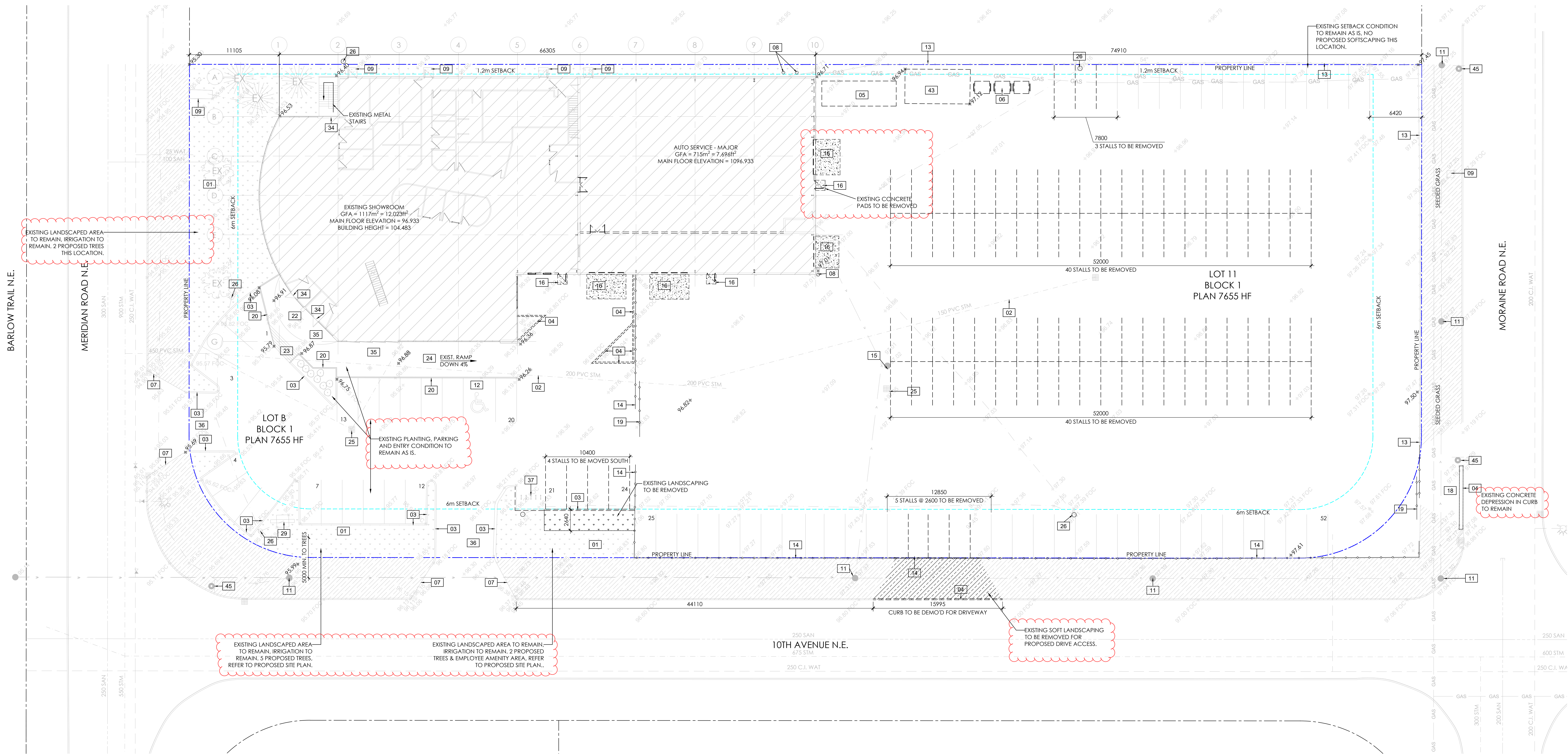
DP0.1

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NORTH ARROW



THESE DRAWINGS ARE NOT TO BE USED FOR THE FOLLOWING:
1. PRICING OR TENDERING
2. CONSTRUCTION
3. NO CONSTRUCTION SHALL BEGIN WITHOUT AN APPROVED AND RELEASED BUILDING PERMIT FOR THE PROJECT, ISSUED BY THE AUTHORITY HAVING JURISDICTION.
4. E.DUPONT Architecture Inc. shall not be held liable for any errors, omissions, delays or unforeseen issues caused by work being performed without an approved building permit and issued construction drawings.



1 EXISTING/DEMO SITE PLAN
DP1.1 1 : 250

SITE LEGEND

- EXISTING GRASS LANDSCAPING
- EXISTING IRRIGATION TO REMAIN
- EXISTING LOW-DUTY ASPHALT PAVING
- EXISTING GEODETIC ELEVATION - REFER TO CIVIL FOR ADDITIONAL DATA POINTS
- PROPOSED GRASS LANDSCAPING IRRIGATION REQUIRED
- EXISTING HYDROSEED
- PROPOSED CITY OF CALGARY SIDEWALK
- PROPOSED HYDROSEED
- EXISTING HYDROSEED TO BE REMOVED REFER TO PROPOSED PLAN FOR NEW SITE ACCESS DESIGN
- EXISTING BUILDING TO REMAIN

LEGAL ADDRESS

LOT: 8 & 11
BLOCK: 1
PLAN: 7655 HF

MUNICIPAL ADDRESS

1100 MERIDIAN ROAD NE
CALGARY, AB

SITE AREA

9,189.2 m²
2,271.90 m²
BUILDING GROSS FLOOR AREA:
EXISTING TOTAL 1,883 m², PROPOSED TOTAL 3,434 m²
FLOOR AREA RATIO:
EXISTING: 1.883 m² / 9,189.2 m² = 0.205 (20.5%)
PROPOSED: 3,434 m² / 9,189.2 m² = 0.374 (37.4%)

BYLAW ZONING

IC - INDUSTRIAL COMMERCIAL ZONE

"ALL FINISHED GRADES TO BE DETERMINED BY MECHANICAL SITE SURVEYING ENGINEER. PROPOSED SITE GRADES AS SHOWN ON ARCHITECTURAL SITE PLAN ARE TO SET MAIN FLOOR ELEVATIONS ONLY. DSSP GRADING PLAN SHALL GOVERN IN ALL CIRCUMSTANCES."

"ALL CATCH BASINS AS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE PURPOSES ONLY. FINAL QUANTITY AND LOCATION OF ALL CATCH BASINS AND SITE DRAINING INCLUDING FLOWING SHALL BE DETERMINED BY MECHANICAL SITE SURVEYING ENGINEER (DSSP STORM WATER MANAGEMENT PLAN)."

SITE NOTES

- EXISTING LANDSCAPED AREA. EXISTING IRRIGATION TO REMAIN.
- EXISTING STORM SYSTEM TO BE MODIFIED. REFER TO CIVIL.
- EXISTING CONCRETE CURB.
- EXISTING CURB TO REMAIN. SITE ACCESS FROM THIS LOCATION TO REMAIN AS IS.
- DESIGNATED LOADING AREA (MIN. 3.1m x 9.2m x 4.3m CLEAR HEIGHT) TO BE RELOCATED.
- EXISTING WASTE/RECYCLING BIN LOCATION (ROLL OUT SERVICE) TO BE RELOCATED.
- EXISTING DRIVE AISLE FLARES
- EXISTING CONCRETE-FILLED STEEL BOLLARD.
- EXISTING CONCRETE PAD TO REMAIN
- NEW CONCRETE CURB.
- EXISTING POWER POLE
- BARRIER-FREE PARKING STALL. PAVEMENT MARKING AND SIGNAGE TO MEET CITY OF CALGARY STANDARDS.
- EXISTING FENCING TO REMAIN
- EXISTING FENCING TO BE REMOVED
- EXISTING POWER POLE TO BE RELOCATED. REFER TO PROPOSED PLAN FOR REVISED LOCATION.
- EXISTING CONCRETE PAD TO BE REMOVED
- NEW ASPHALT DRIVEWAY.
- EXISTING SITE ACCESS TO REMAIN AS IS. GRADING TO BE PATCHED AND MADE SMOOTH. NO NEW GROUND FRESH OR CHANGE IN SITE.
- EXISTING CHAIN LINK FENCE ROLLING GATE TO BE REMOVED
- PROPOSED CITY OF CALGARY SIDEWALK C/W BANKER-FREE RAMP AT INTERSECTION OF 10 AVENUE & MORaine STREET
- PROPOSED STEEL CONCRETE FILLED BOLLARD REFER TO S/A.I.D
- EXISTING PRIMARY BUILDING ENTRY
- EXISTING CONCRETE STAIRS - 7 RISERS
- EXISTING CONCRETE RAMP
- EXISTING CATCH BASIN. REFER TO CIVIL
- EXISTING SITE POLE LIGHTING
- EXISTING BUILDING MOUNTED SITE LIGHTING
- PROPOSED BUILDING MOUNTED SITE LIGHTING REFER TO ELEVATIONS - A-4.1
- EXISTING TALL SIGNAGE ON CONCRETE PAD
- PROPOSED EMPLOYEE AMENITY AREA 3.2m x 3.3m x 10m
- PROPOSED GLAZED SUNSHINE OVERHEAD DOOR REFER TO ELEVATIONS (A-4.1)
- EXISTING OVERHEAD DOOR REFER TO ELEVATIONS (A-4.1)
- PROPOSED MAN DOOR REFER TO ELEVATIONS (A-4.1)
- PROPOSED ANCHORED CONCRETE WHEELSTOP. REFER TO SITE DETAILS.
- EXISTING CANILEVERED ROOF
- EXISTING DRIVEWAY
- EXISTING CLASS-2 BICYCLE PARKING STALLS REFER TO S/A.I.D
- PROPOSED RELOCATED POWER POLE SITE LOCATION
- NEW ASPHALT FLARES.
- PROPOSED CONC PAD
- EXISTING LOCATION OF LOADING AREA (MIN 3.41m x 9.2m x 4.3m CLEAR HEIGHT).
- PROPOSED LOCATION OF GARBAGE ENCLOSURE. REFER TO GARBAGE ENCLOSURE DETAILS.
- EXISTING SHED TO BE REMOVED.
- PROPOSED CHAIN LINK FENCE ROLLING GATE.
- EXISTING COC SIGNAGE (STOP, NO PARKING, ETC.) 7.5m x 7.5m VISIBILITY TRIANGLE AT INTERSECTION. DIMENSIONS TAKEN FROM FACE OF CURB. NO PROPOSED OBSTRUCTIONS WITHIN THIS AREA ARE PERMITTED TO EXCEED 15.2m IN HEIGHT.

PARKING

VEHICLE PARKING STALLS - AUTO SERVICE - MAJOR USE
1 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 715 m² (EXISTING) 8 STALLS
= 2.27% m² PROPOSED 23 STALLS
VEHICLE PARKING STALLS - VEHICLE SALES - MAJOR USE
4 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 1,165.0 m² (EXISTING TO REMAIN) = 47 STALLS
1.0 PARKING SPACE FOR EVERY INVENTORY VEHICLE ON THE PARCEL = 23
EXISTING PARKING STALLS - 145
23 + 47 = 70 = 93 VEHICLE PARKING STALLS REQUIRED
PROPOSED 93 VEHICLE PARKING STALLS
BICYCLE PARKING STALLS - AUTO SERVICE - MAJOR USE
1 CLASS-2 BICYCLE PARKING STALL PER 200.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 715 m²
947.0 m² / 200.0 m² = 4.735
BICYCLE PARKING STALLS - VEHICLE SALES - MAJOR USE
1 CLASS-2 BICYCLE PARKING STALL PER 250.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 1,165.0 m²
1,177.0 m² / 250.0 m² = 4.708
4.46 = 5 CLASS-2 BICYCLE STALLS (REQUIRED AND PROVIDED)
LOADING STALL
1 LOADING STALL PER 9,300 m² OF FLOOR AREA PROVIDED.
LOADING STALLS = 3.1m WIDE x 9.2m LONG x 4.3m TALL CLEAR BUILDING GFA AREA = 254.0 m² = 1 LOADING STALL

LANDSCAPING

LANDSCAPING REQUIREMENTS:
TOTAL # OF TREES:
WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST PROVIDE A MINIMUM OF 1 TREE AND 2 SHRUBS FOR EVERY 35.0 m²
TOTAL SETBACK AREA WITH LANDSCAPE = 514.07 m²
514.07 m² / 35.0 m² = 48
MINIMUM REQUIRED TREES: 15
MINIMUM REQUIRED SHRUBS: 30
TREES PROVIDED:
7 CONIFEROUS TREES
LANDSCAPING LEGEND
DECIDUOUS TREE (50mm CAULP)
MOUNTAIN ASH
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 NEW
DECIDUOUS TREE (50mm CAULP, 4.5m HIGH)
TOWER POPPY (OR COLUMNAR ASPEN)
QUANTITY REQUIRED: 3
QUANTITY EXISTING: 0
PROPOSED: 3 NEW
CONIFEROUS TREES (3.5m HIGH)
BLUE OR WHITE SPRUCE (OR EQUIV.)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 EXISTING TO REMAIN
CONIFEROUS TREES (2m HIGH)
WHITE SPRUCE (OR EQUIV.)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 NEW
DECIDUOUS SHRUBS:
SPECIES INCLUDE:
SILVER LEAF DOGWOOD
SIBERIAN CORAL DOGWOOD
QUANTITY REQUIRED: 48
QUANTITY EXISTING: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.
CONIFEROUS SHRUBS:
QUANTITY REQUIRED: 48
QUANTITY EXISTING: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

PRIME CONSULTANT SEAL

ISSUED DATE
1 ISSUED FOR DP APPLICATION 2024-11-04
2 ISSUED FOR DTR RESPONSES 1 2025-07-14

CLIENT / OWNER



DEVELOPMENT PERMIT #: DP-###

BUILDING PERMIT #: BP-###

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

SUBARU CALGARY
EXPANSION

1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS: P7655HF, BLOCK 1, LOT B & LOT 11

DRAWING TITLE

EXISTING & DEMO
SITE PLAN

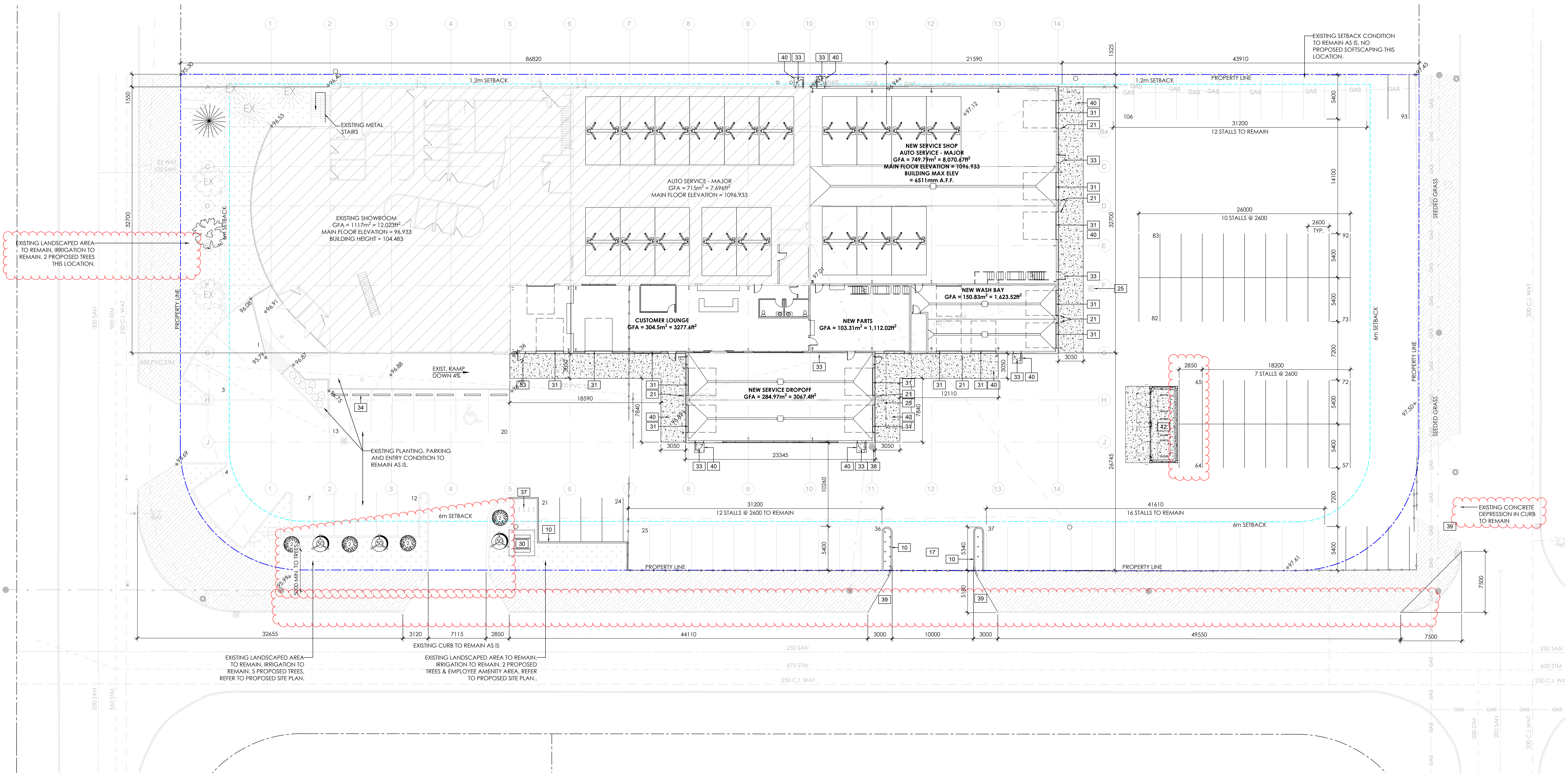
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PRINT ON: A0 PROJECT No.: 24.224

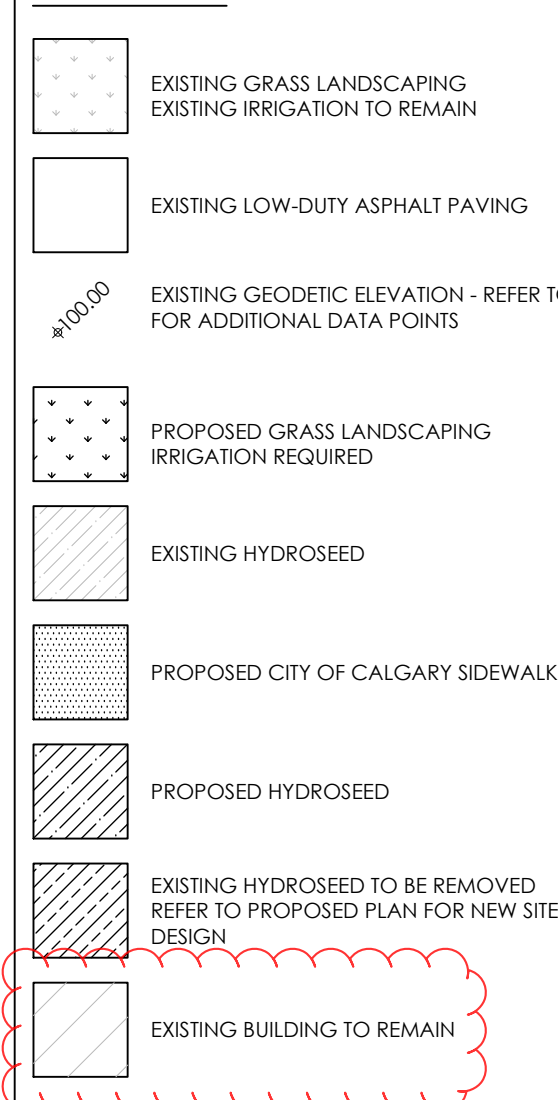
DWG No.

DP1.1



1 PROPOSED SITE PLAN
DP1.2 1 : 250

SITE LEGEND



LEGAL ADDRESS

LOT: B & 11
BLOCK: 7655 HF
MUNICIPAL ADDRESS
1100 MERIDIAN ROAD NE
CALGARY, AB

SITE AREA

9,189.2 m²
2,271.00 m²
BUILDING GROSS FLOOR AREA:
EXISTING TOTAL 1,883 m², PROPOSED TOTAL 3,434 m²
FLOOR AREA RATIO:
EXISTING: 1.883 m² / 9,189.2 m² = 0.205 (20.5%)
PROPOSED: 3,434 m² / 9,189.2 m² = 0.374 (37.4%)

BYLAW ZONING

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SITE NOTES

- EXISTING LANDSCAPED AREA.
- EXISTING IRRIGATION TO REMAIN.
- EXISTING STORM SYSTEM TO BE MODIFIED. REFER TO CIVIL.
- EXISTING CONCRETE CURB.
- EXISTING CURB TO REMAIN. SITE ACCESS FROM THIS LOCATION TO REMAIN AS IS.
- DESIGNATED LOADING AREA (MIN. 3.1m X 9.2m X 4.3m CLEAR HEIGHT) TO BE RELOCATED.
- EXISTING WASTE/RECYCLING BIN LOCATION (ROLL OUT SERVICE) TO BE RELOCATED.
- EXISTING DRIVE ABLE FLARES
- EXISTING CONCRETE-FILLED STEEL BOLLARD.
- EXISTING CONCRETE PAD TO REMAIN
- NEW CONCRETE CURB.
- EXISTING POWER POLE
- BARREER-FREE PARKING STALL. PAVEMENT MARKING AND SIGNAGE TO MEET CITY OF CALGARY STANDARDS.
- EXISTING FENCING TO REMAIN
- EXISTING FENCING TO BE REMOVED
- EXISTING POWER POLE TO BE RELOCATED. REFER TO PROPOSED PLAN FOR RELOCATED LOCATION
- NEW ASPHALT DRIVEWAY.
- EXISTING SITE ACCESS TO REMAIN AS IS. GRADING TO BE PATCHED AND MADE SMOOTH. NO NEW GROUND FINISH OR CHANGE IN USE.
- EXISTING CHAIN LINK FENCE ROLLING GATE TO BE REMOVED
- PROPOSED CITY OF CALGARY SIDEWALK C/W BARREER-FREE RAMP AT INTERSECTION OF 10 AVENUE & MORRIS STREET
- PROPOSED STEEL CONCRETE FILLED BOLLARD REFER TO SIA1.0
- EXISTING PRIMARY BUILDING ENTRY
- EXISTING CONCRETE STAIRS - 7 RISERS
- EXISTING CONCRETE RAMP
- EXISTING CATCH BASIN - REFER TO CIVIL
- EXISTING SITE POLE LIGHTING
- EXISTING BUILDING MOUNTED SITE LIGHTING REFER TO ELEVATIONS - A4.1
- EXISTING TALL SIGNAGE ON CONCRETE PAD 3.2m X 3.2m X 10m
- PROPOSED GLAZED SUNSHINE OVERHEAD DOOR REFER TO ELEVATIONS (A4.1)
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- PROPOSED MAN DOOR REFER TO ELEVATIONS (A4.1)
- PROPOSED ANCHORED CONCRETE WHEELSTOP. REFER TO SITE DETAILS.
- EXISTING CANELED ROOF
- EXISTING DRIVEWAY
- EXISTING CLASS-2 BICYCLE PARKING STALLS REFER TO SIA1.0
- PROPOSED RELOCATED POWER POLE THIS LOCATION
- NEW ASPHALT FLARES.
- PROPOSED CONIC PAD
- PROPOSED LOCATION OF LOADING AREA (MIN 3.41m x 9.2m x 4.3m CLEAR HEIGHT).
- PROPOSED LOCATION OF GARBAGE ENCLOSURE. REFER TO GARBAGE ENCLOSURE DETAILS.
- EXISTING SHED TO BE REMOVED.
- EXISTING CHAIN LINK FENCE ROLLING GATE.
- EXISTING COD SIGNAGE (STOP, NO PARKING, ETC.) 7.2m x 7.2m VISIBILITY TRIANGLE AT INTERSECTION. DIMENSION TAKEN FROM FACE OF CURB. NO PROPOSED OBSTRUCTIONS WITHIN THIS AREA ARE PERMITTED TO EXCEED 0.2m IN HEIGHT.

PARKING

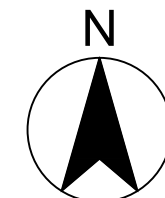
VEHICLE PARKING STALLS - AUTO SERVICE - MAJOR USE
1 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 715 m² (EXISTING) 8 STALLS
= 2.27 m² PROPOSED 23 STALLS
VEHICLE PARKING STALLS - VEHICLE SALES - MAJOR USE
4 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 1,165.0 m² (EXISTING TO REMAIN)
= 47 STALLS
1.0 PARKING SPACE FOR EVERY INVENTORY VEHICLE ON THE PARCEL = 23
EXISTING PARKING STALLS - 145
23 + 47 + 23 = 93 VEHICLE PARKING STALLS REQUIRED
PROPOSED 93 VEHICLE PARKING STALLS
BICYCLE PARKING STALLS - AUTO SERVICE - MAJOR USE
1 CLASS-2 BICYCLE PARKING STALL PER 200.0 m² OF FLOOR AREA PROVIDED
PROPOSED BUILDING GFA AREA = 2,279 m²
947.5 m² / 200.0 m² = 0.47
BICYCLE PARKING STALLS - VEHICLE SALES - MAJOR USE
1 CLASS-2 BICYCLE PARKING STALL PER 250.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 1,165.0 m²
117.0 m² / 250.0 m² = 0.46
4.66 = 5 CLASS-2 BICYCLE STALLS (REQUIRED AND PROVIDED)
LOADING STALLS
1 LOADING STALL PER 9,300 m² OF FLOOR AREA PROVIDED.
LOADING STALLS = 3.1m WIDE X 9.2m LONG X 4.3m TALL CLEAR
BUILDING GFA AREA = 2640.0 m² = 1 LOADING STALL

LANDSCAPING

LANDSCAPING REQUIREMENTS:
TOTAL # OF TREES:
WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST PROVIDE A MINIMUM OF 1 TREE AND 2 SHRUBS FOR EVERY 35.0 m²
TOTAL SETBACK AREA WITH LANDSCAPE = 516.07 m²
516.07 m² / 35.0 m² = 48
MINIMUM REQUIRED TREES: 15
MINIMUM REQUIRED SHRUBS: 30
TREES PROVIDED:
7 CONIFEROUS TREES
LANDSCAPING LEGEND
DECIDUOUS TREE (85mm CALIPER)
MOUNTAIN ASH
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 NEW
DECIDUOUS TREE (50mm CALIPER, 4.5m HIGH)
LOWER POPULAR (FOR COLUMNAR ASPEN)
QUANTITY REQUIRED: 3
QUANTITY EXISTING: 0
PROPOSED: 3 NEW
CONIFEROUS TREE (3.5m HIGH)
BLUE OR WHITE SPRUCE (OR QUERCUS)
QUANTITY REQUIRED: 4
QUANTITY PROVIDED: 4 NEW
CONIFEROUS TREE (2m HIGH)
WHITE SPRUCE (OR QUERCUS)
QUANTITY REQUIRED: 4
QUANTITY PROVIDED: 4 NEW
DECIDUOUS SHRUBS:
SPECIES INCLUDE:
- SILVER LEAF DOGWOOD
- SIBERIAN CORYL DOGWOOD
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.
CONIFEROUS SHRUBS:
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

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CLIENT / OWNER



DEVELOPMENT PERMIT #: DP-###
BUILDING PERMIT #: BP-###

PRIME CONSULTANT



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1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS P7655HF, BLOCK 1, LOT B & LOT 11

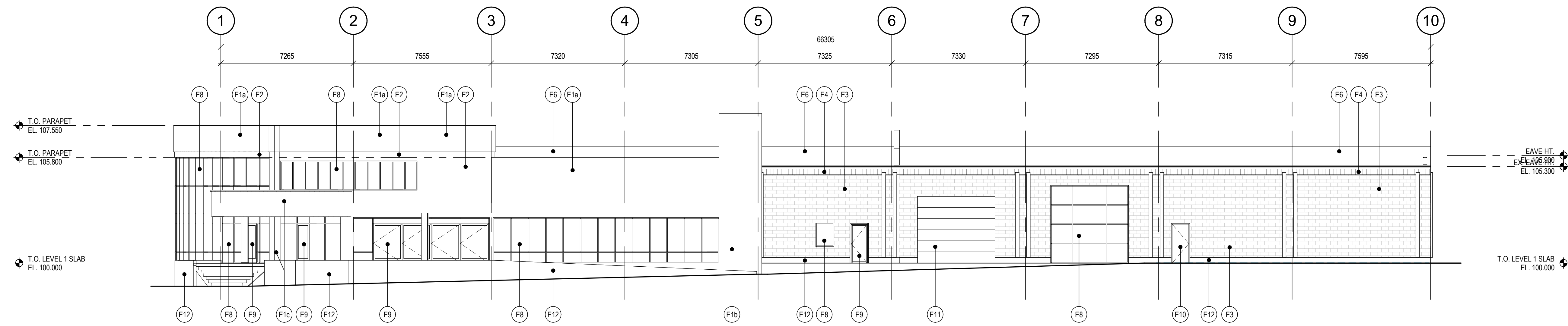
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PROPOSED SITE PLAN

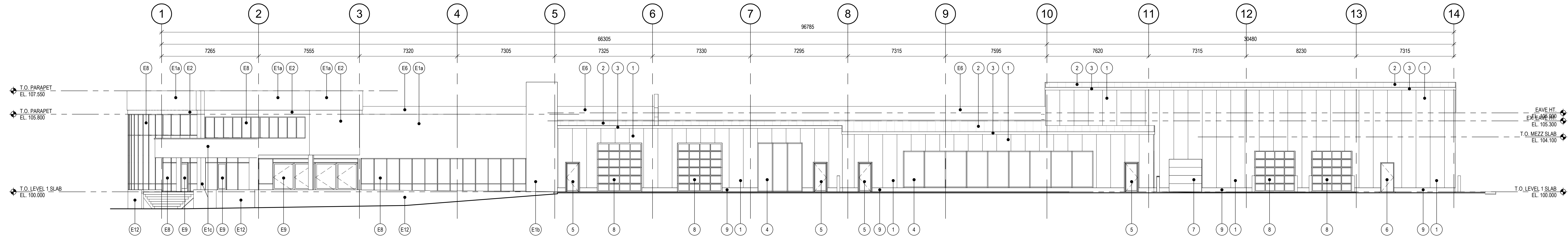
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DWG NO.:			

DP1.2

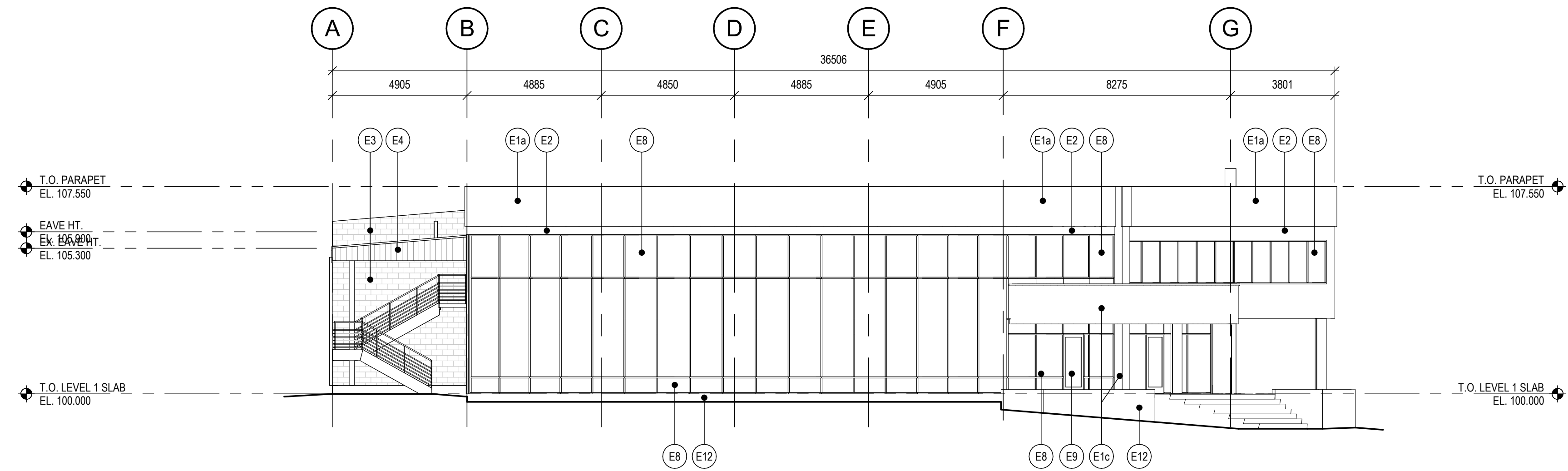
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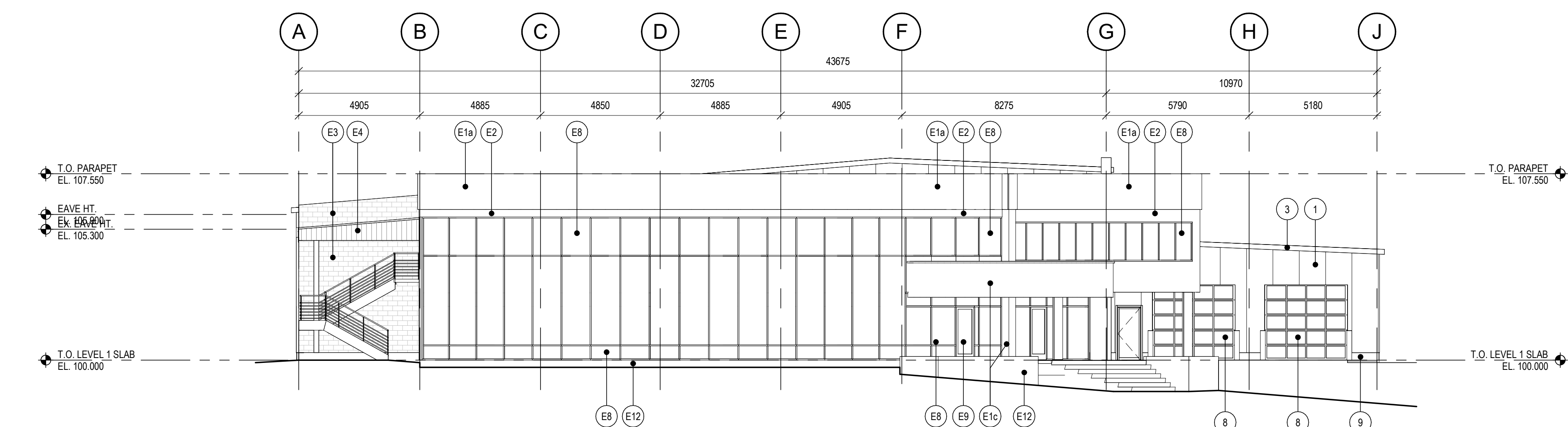
1 South Elevation - Existing
DP3.1 SCALE: 1:125



2 South Elevation - Proposed
DP3.1 SCALE: 1:125
DP2.2



3 West Elevation - Existing
DP3.1 SCALE: 1:125



4 West Elevation - Proposed
DP3.1 SCALE: 1:125
DP2.2

Exterior Elevation Keynotes

EXISTING

- E1 EXISTING ALUMINUM COMPOSITE METAL PANEL
COLOUR: WHITE
b: BLUE
c: SILVER
- E2 EXISTING EIFS STUCCO
COLOUR: WHITE
- E3 EXISTING CONCRETE BLOCK
COLOUR: GREY
- E4 EXISTING PREFINISHED METAL CLADDING
COLOUR: GREY
- E5 EXISTING PREFINISHED METAL FASCIA
COLOUR: GREY
- E6 EXISTING ROOF COVER
COLOUR: BLACK
- E7 EXISTING PREFINISHED METAL EAVESTROUGH / GABLE TRIM
COLOUR: GREY
- E8 EXISTING ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- E9 EXISTING ALUMINUM FRAME ENTRANCE DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- E10 EXISTING METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- E11 EXISTING SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- E12 EXISTING EXPOSED CONCRETE WALL
COLOUR: NATURAL CONCRETE

PROPOSED

- 1 INSULATED METAL PANEL
COLOUR: WHITE
- 2 STANDING SEAM METAL ROOF
COLOUR: GALVALUME
- 3 PREFINISHED METAL EAVESTROUGH / GABLE TRIM
COLOUR: WHITE
- 4 ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 5 ALUMINUM FRAME ENTRANCE DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 6 METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- 7 SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- 8 GLAZED SECTIONAL OVERHEAD DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 9 EXPOSED CONCRETE FACED INSULATION
COLOUR: NATURAL CONCRETE

CONSULTANT SEAL

ISSUED DATE
1 ISSUED FOR DP APPLICATION 2024-11-04
2 ISSUED FOR DTR RESPONSES 1 2025-07-14

CLIENT / OWNER



DEVELOPMENT PERMIT #: DP2024-08245

BUILDING PERMIT #:

PRIME CONSULTANT

T1 STUDIOS
ARCHITECTURE
201 - 1902 11 ST SE, Calgary, Alberta T2G 0G2
(403) 866-8556
info@t1studios.ca

PROJECT NAME AND ADDRESS

SUBARU CALGARY
EXPANSION

1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

LEGAL ADDRESS:

DRAWING TITLE

SOUTH & WEST EXTERIOR
ELEVATIONS

SCALE: As indicated DATE: 2025-07-14

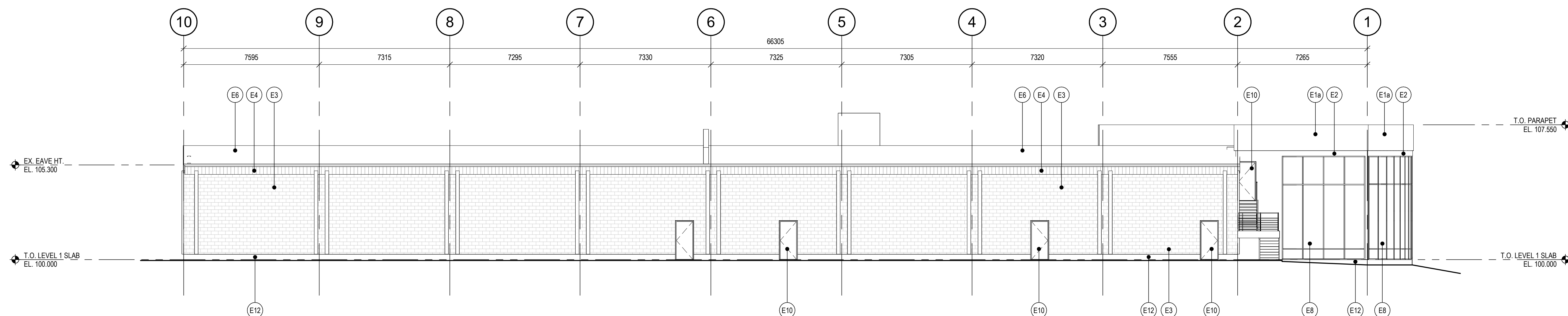
DRAWN BY: TD CHECKED BY: HB

PRINT ON: A0 PROJECT No. 24-224

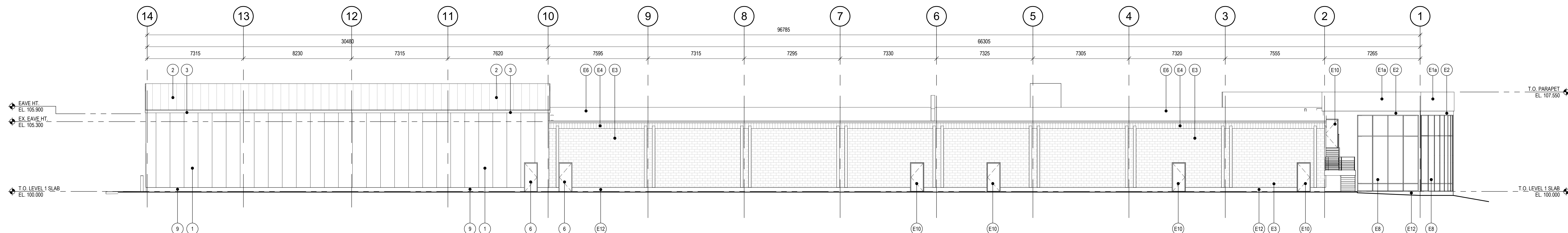
DWG No.

DP3.1

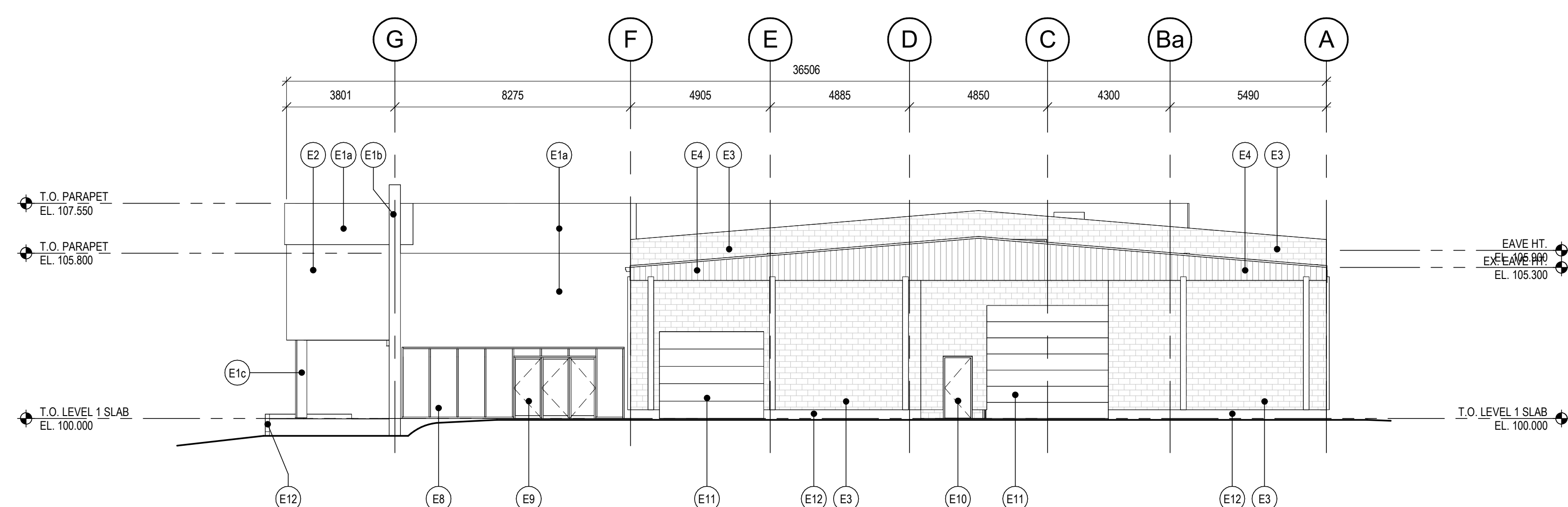
DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



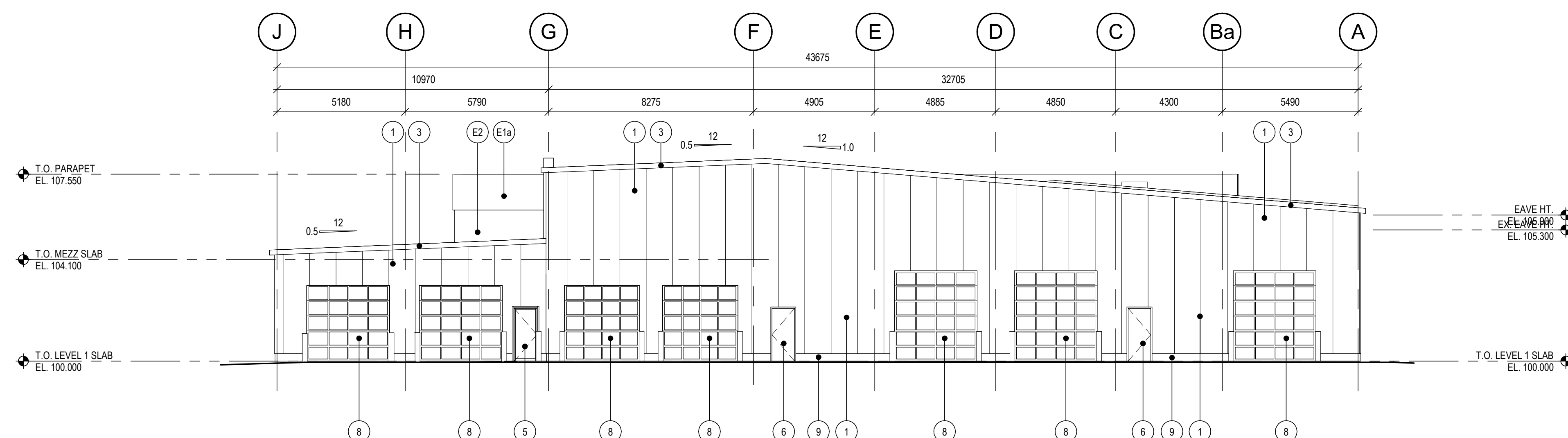
1 North Elevation - Existing
DP3.2 SCALE: 1 : 125



2 North Elevation - Proposed
DP3.2 SCALE: 1 : 125
DP2.2



3 East Elevation - Existing
DP3.2 SCALE: 1 : 125



4 East Elevation - Proposed
DP3.2 SCALE: 1: 125
DP2.2

Exterior Elevation Keynotes

EXISTING	PROPOSED
E1 <u>EXISTING ALUMINUM COMPOSITE METAL PANEL</u> COLOUR: a WHITE b BLUE c SILVER	1 <u>INSULATED METAL PANEL</u> COLOUR: WHITE
E2 <u>EXISTING EPS STUCCO</u> COLOUR: WHITE	2 <u>STANDING SEAM METAL ROOF</u> COLOUR: GALVALUME
E3 <u>EXISTING CONCRETE BLOCK</u> COLOUR: GREY	3 <u>REFINISHED METAL EAVESTROUGH / GABLE TRIM</u> COLOUR: WHITE
E4 <u>EXISTING PREFINISHED METAL CLADDING</u> COLOUR: GREY	4 <u>ALUMINUM FRAME GLAZING ASSEMBLY</u> COLOUR: ANODIZED ALUMINUM GLASS: CLEAR
E5 <u>EXISTING PREFINISHED METAL FASCIA</u> COLOUR: GREY	5 <u>ALUMINUM FRAME ENTRANCE DOOR</u> COLOUR: ANODIZED ALUMINUM GLASS: CLEAR
E6 <u>EXISTING ROOF COVER</u> COLOUR: BLACK	6 <u>METAL DOOR & FRAME</u> COLOUR: MATCH ADJACENT WALL COLOUR
E7 <u>EXISTING PREFINISHED METAL EAVESTROUGH / GABLE TRIM</u> COLOUR: GREY	7 <u>SECTIONAL OVERHEAD DOOR</u> COLOUR: WHITE
E8 <u>EXISTING ALUMINUM FRAME GLAZING ASSEMBLY</u> COLOUR: FRAMES: ANODIZED ALUMINUM GLASS: CLEAR	8 <u>GLAZED SECTIONAL OVERHEAD DOOR</u> COLOUR: ANODIZED ALUMINUM GLASS: CLEAR
E9 <u>EXISTING ALUMINUM FRAME ENTRANCE DOOR</u> COLOUR: FRAMES: ANODIZED ALUMINUM GLASS: CLEAR	9 <u>EXPOSED CONCRETE FACED INSULATION</u> COLOUR: NATURAL CONCRETE
E10 <u>EXISTING METAL DOOR & FRAME</u> COLOUR: MATCH ADJACENT WALL COLOUR	
E11 <u>EXISTING SECTIONAL OVERHEAD DOOR</u> COLOUR: WHITE	
E12 <u>EXISTING EXPOSED CONCRETE WALL</u> COLOUR: NATURAL CONCRETE	

CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-18
2 ISSUED FOR DTR RESPONSES	2025-07-18

CLIENT / OWNER	
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DEVELOPMENT PERMIT #: DP2024-08245

BUILDING PERMIT #:	
PRIME CONSULTANT:	



PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**
1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

LEGAL ADDRESS:

DRAWING TITLE

**NORTH & EAST EXTERIOR
ELEVATIONS**

SCALE:	As indicated	DATE:	2025-07
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DRAWN BY:	TD	CHECKED BY:	
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PRINT ON:	A0	PROJECT No.	242
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DP3.2