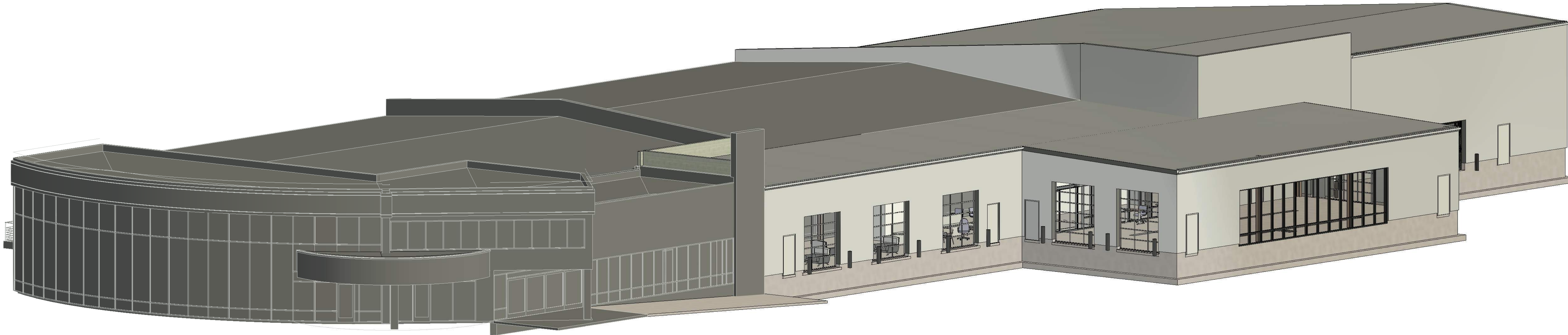


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SUBARU CALGARY EXPANSION

SUBARU CALGARY
1100 MERIDIAN RD NE
CALGARY, ALBERTA, T2A 2N9

ISSUE FOR DP APPLICATION - 2024-11-04



Consultants:

Architectural & Interior Design

T.i. Studios Architecture Inc.
#201, 1902 11th Street SE
Calgary, AB T2G 3G2
Contact: Heather Barnsley
Telephone: 403.806.0556

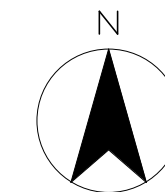
Drawings:

Architectural (DP)

- DP0.1 COVER
DP0.2 PROJECT INFORMATION & GENERAL NOTES
DP0.3 BUILDING CODE SUMMARY, EGRESS & FIRE SEPARATION PLANS
DP1.1 EXISTING & DEMO SITE PLAN
DP1.2 PROPOSED SITE PLAN
DP1.3 SITE DETAILS
DP1.4 GARBAGE ENCLOSURE DETAILS
DP1.5 SITE PHOTOS
DP2.1 EXISTING & DEMO FLOOR PLAN
DP2.2 PROPOSED FLOOR PLAN LEVEL 1
DP2.3 PROPOSED FLOOR PLAN MEZZANINE
DP2.4 PROPOSED ROOF PLAN
DP3.1 EXISTING & PROPOSED EXTERIOR ELEVATIONS
DP3.2 EXISTING & PROPOSED EXTERIOR ELEVATIONS
DP4.1 BUILDING SECTIONS

LAND USE BY-LAW REVIEW			
MUNICIPAL ADDRESS 1100 MERIDIAN RD NE CALGARY, AB T2A 2N9	LEGAL DESCRIPTION 7655HF, 1: B	REQUIRED PARKING CALCULATIONS EXISTING STALLS ON SITE: 132 STALLS PROPOSED STALLS: 93 STALLS STALLS REQUIRED: AUTO SALE 4.0 STALLS / 1000 m² GFA 45 STALLS AUTO SERVICE 1.0 STALLS / 100.0 m² GFA 22 STALLS TOTAL REQUIRED 67 STALLS	1P-2007: TABLE 121.1
EXISTING LAND USE DESIGNATION INDUSTRIAL - COMMERCIAL (I-C) THIS PROPERTY IS WITHIN THE "AIRPORT VICINITY PROTECTION AREA"	I-C Industrial - Commercial I-C is an industrial designation that allows light industrial and limited small-scale commercial uses that are compatible with adjacent industrial areas. Non-industrial uses that are allowed may include retail, personal service uses, automotive uses, entertainment, professional offices and instructional uses.	BARRIER-FREE CALCULATIONS NUMBER OF PARKING STALLS REQUIRED 21-50 1 51-100 2 101-150 3 151-200 4 FOR EACH ADDITIONAL INCREMENT OF 100 OR PART THEREOF +1	NBC-AE 2019: TABLE 3.8.2.5
APPLICABLE CODES & BYLAWS • CALGARY LAND USE BY-LAW 1P-2007 • 2023 NBC(A/S)		BARRIER-FREE STALLS EXISTING: 1 STALLS BARRIER-FREE STALLS REQUIRED: 4 STALLS	
CALGARY LAND USE BY-LAW (Part 4, Division 2, Sections 325 / 150)		LOADING STALLS EXISTING STALLS ON SITE: 1 STALL(S) STALLS REQUIRED: 1.0 STALLS / 9000.00 m² GFA 1 STALL(S)	1P-2007: 123
BUILDING A (EXISTING) USAGE: • VEHICLE SALES - MAJOR (Where 6 or more vehicles are available for sales or leases)		A. LOADING STALLS MUST HAVE: a. A MINIMUM WIDTH OF 3.1m b. A MINIMUM DEPTH OF 9.2m c. A MINIMUM HEIGHT OF 4.3m	
BUILDING B USAGE: • (EXISTING) AUTO SERVICE - MAJOR (Where 4 or more motor vehicles can be repaired/serviced at a time) • (ADDITIONAL)		BICYCLE STALLS DEPENDANT ON USE 1.0 STALLS - CLASS 2 / 2000.00 m² GFA REQ. PROVIDED 2 STALLS 5 STALLS	1P-2007: 203.3
BUILDING C USAGE: • AUTO SERVICE - MAJOR (More than 5 vehicles can be repaired/serviced at one time)			

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



CONSULTANT SEAL

ISSUED
1 ISSUE FOR DP APPLICATION
DATE
2024-11-04

CLIENT / OWNER

SUBARU CALGARY



DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT

T.I. STUDIOS
ARCHITECTURE
201, 1902 11th St SE, Calgary, Alberta T2G 3G2
(403) 806-0556 info@ti-studios.ca

PROJECT NAME AND ADDRESS

SUBARU CALGARY

EXPANSION

1100 MERIDIAN RD NE

CALGARY, ALBERTA, T2A 2N9

LEGAL ADDRESS: 7655HF, 1: B

DRAWING TITLE

COVER

SCALE: AS INDICATED DATE: 2024-11-04
DRAWN BY: RC / SP CHECKED BY: JK
PRINT ON: A0 PROJECT No. 24-224
DWG No.

DP0.1

GENERAL PROJECT NOTES

- **IMPORTANT: GENERAL CONTRACTOR TO READ PRIOR TO CONSTRUCTION****
1. DRAWINGS ARE NOT TO BE SCALED.
2. IN THE EVENT THAT THE CONTRACTOR FINDS INSUFFICIENT OR CONFLICTING DIMENSIONAL INFORMATION IS PROVIDED ON THE DRAWINGS, THE GC SHALL CONTACT THE DESIGNER IN WRITING FOR CLARIFICATION PRIOR TO EXECUTING THE WORK INVOLVED.
3. WORK DEFINED BY THE CONTRACT DOCUMENTS WILL REQUIRE COORDINATION OF MULTIPLE TRADES. CONTRACTOR IS TO PREPARE "COORDINATION DRAWINGS" FOR SPECIFIC AREAS OF THE WORK PRIOR TO THE EXECUTION OF ANY WORK IN THOSE AREAS.
4. THE DRAWINGS, SPECIFICATIONS, AND CONSTRUCTION NOTES CONTAINED HEREIN FORM A PACKAGE OF CONTRACT DOCUMENTS WHICH IS SUPPLEMENTARY AND COMPLEMENTARY. IN THE EVENT OF A CONFLICT AMONG THE DRAWINGS, SPECIFICATIONS AND/OR NOTES, THE CONTRACTOR IS TO ASSUME THE MORE EXPENSIVE OPTION. THE DESIGNER RETAINS THE RIGHT TO SELECT BETWEEN CONFLICTING OPTIONS.
5. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE COMMENCEMENT OF WORK AND BE RESPONSIBLE FOR THE ACCURACY. ANY DISCREPANCIES BETWEEN THE FIELD CONDITIONS AND THE DOCUMENTS OR WITHIN THE DOCUMENTS ARE TO BE REPORTED TO THE DESIGNER IN WRITING FOR RESOLUTION.
6. ALL CEILING DEVICES INCLUDING LIGHT FIXTURES, SPEAKERS, TROLES, SPRINKLERS, EXIT SIGNS, SMOKE DETECTORS, ETC. ARE TO BE CENTERED IN TILE UNLESS OTHERWISE SHOWN OR NOTED ON DRAWINGS. THE DEVICES SHOWN ARE FOR LOCATION INFORMATION ONLY. SEE MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION DRAWINGS FOR QUANTITIES.
7. COORDINATE LOCATION OF OUTLET BOX FACES WITH SCHEDULED APPLIED FINISH THICKNESSES.
8. COORDINATE LOCATION OF ACCESS PANEL FACES WITH SCHEDULED APPLIED FINISH THICKNESSES.
9. WHERE DEMOLITION REMOVES FINISH AND SUBSTRATE OF EXISTING WALLS AND/OR COLUMNS, RE-COVER WALLS AND COLUMNS WITH METAL FURRING CHANNELS OR STUDS AS APPROPRIATE AND REQUIRED.
10. INSTALL ADEQUATE SOLID WOOD BLOCKING AND STUD REINFORCEMENT FOR ALL WALL MOUNTED CABINETRY, ACCESSORIES, AND EQUIPMENT. ALL WOOD SHALL BE FIRE RESISTANT/TREATED.
11. STARTING POINTS FOR TILE OR PANEL CEILINGS SHALL BE CENTER OF ROOM UNLESS OTHERWISE SHOWN OR NOTED. TILE INSTALLATION DIRECTION TO RUN THE LONGEST LENGTH OF ROOM UNLESS NOTED OTHERWISE ON FINISHES PLANS.
12. FLOOR FINISHES SHALL ALIGN WITH EXISTING ADJACENT FLOOR FINISHES OR SURFACES.
13. TRANSITION STRIPS BETWEEN DIFFERENT FLOOR FINISHES ARE REQUIRED.
14. IF EXISTING FINISHES ARE FOUND TO BE MORE THAN ONE LAYER OR ONE MATERIAL, REMOVE ALL LAYERS TO AN ACCEPTABLE SUBSTRATE.
15. THESE CONSTRUCTION DOCUMENTS ARE DEVELOPED BASED ON THE ASSUMPTIONS THAT THE EXISTING STRUCTURE AND FINISHES AFFECTED BY THE PROJECT ARE FREE FROM ANY HAZARDOUS MATERIALS AND THAT ANY ABATEMENTS WORK REQUIRED WILL BE DONE BY THE OWNER, PROJECT SPONSORS OR OTHERS PRIOR TO OR IN CONJUNCTION WITH THIS WORK.
16. THE CONTRACTOR SHALL EXAMINE AND VERIFY IN THE FIELD ALL CONDITIONS AND DIMENSIONS. IF FIELD CONDITIONS AND DIMENSIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL FOLLOW THE PROCEDURE OUTLINED IN THE SPECIFICATIONS FOR REPORTING AND DOCUMENTING ANY DISCREPANCIES AND OBTAINING APPROVALS TO PROCEED WITH WORK.
17. DIMENSIONS OF THE EXISTING STRUCTURES SHOWN ON THE CONSTRUCTION DOCUMENTS ARE FOR GENERAL REFERENCING ONLY. THEY HAVE BEEN TAKEN FROM THE ORIGINAL AVAILABLE CONSTRUCTION DOCUMENTS OR SUBSEQUENT ALTERATION DRAWINGS PROVIDED BY THE OWNER AND ARE NOT GUARANTEED. FIELD MEASUREMENTS SHALL BE TAKEN, AS NECESSARY, TO ASSURE THE PROPER FIT OF THE FINISHED WORK.
18. SHOP DRAWINGS AND SUBMITTALS SHALL BE BASED ON FIELD MEASUREMENTS. SHOP DRAWINGS AND BIDS SHALL INCLUDE DETAILS OF DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND THE CONTRACTORS PROPOSED METHODS TO PROCEED WITH THE WORK.
19. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING FACILITY CAUSED BY HIS OR HER OPERATIONS OR MEANS AND METHODS. THE CONTRACTOR SHALL REPAIR, TO THE SATISFACTION OF THE DESIGNER OR ENGINEER, ALL DAMAGE TO THE EXISTING FACILITY THAT IS NOT PART OF THE INTENDED WORK AT HIS OR HER EXPENSE.
20. CONTRACTOR IS TO OBTAIN AND COORDINATE ESA & TRADE PERMITS AND INSPECTIONS AS REQUIRED AND PROVIDE CERTIFICATE AT COMPLETION OF WORK.
21. STAGGER GYPSUM WALL BOARD JOINTS C/W FULL PERIMETER CAULKING AS NOTED IN PARTITION LEGENDS.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJACENT PROPERTY AND REPAIR AND MAKE GOOD ALL DAMAGES RESULTING FROM WORK OF THIS CONTRACT. PROTECT ALL BASE BUILDING MATERIALS, DEVICES AND EQUIPMENT DURING CONSTRUCTION.
23. EXISTING FLOORING (IF TO REMAIN) TO BE PROTECTED FROM CONSTRUCTION TRAFFIC AND TRANSPORT OF MATERIALS BY CONTRACTOR DURING DEMOLITION AND/OR CONSTRUCTION WITH 6MB POLYETHYLENE FLUX SHEETS PROPERLY TAPED IN AFFECTED AREAS WHERE APPLICABLE.
24. CONTRACTOR TO HAVE CITY APPROVED & STAMPED FULL SIZE DRAWING SET KEPT ON SITE FOR DURATION OF PROJECT FOR USE BY CITY INSPECTORS.
25. DUE TO EXISTING CONDITIONS ACTUAL CONDITIONS WHICH CAN NOT BE DETERMINED IN ADVANCE MODIFICATIONS TO DETAILS AND QUANTITIES MAY BE REQUIRED.
26. ALL MATERIALS SHALL BE INSTALLED AND/OR APPLIED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND INSTRUCTION
27. GENERAL CONTRACTOR TO CHALK-MARK PROPOSED PARTITION LAYOUT PRIOR TO UNDER SLAB PLUMBING, ELECTRICAL, ETC CUTTING / CORING. SLAB SCANNING IS REQUIRED PRIOR TO ANY SLAB CORING / CUTTING.

GENERAL DEMOLITION NOTES

1. DEMOLITION AREAS ARE BASED ON EXISTING RECORDED DOCUMENTS AND FIELD OBSERVATIONS. REPORT ANY DISCREPANCIES TO THE OWNERS REPRESENTATIVE BEFORE DISTURBING EXISTING INSTALLATION.
2. THE DEMOLITION/ RELOCATION/ADDITION DRAWINGS INDICATE THE GENERAL SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A THOROUGH EXAMINATION OF THE EXISTING FACILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF DEMOLITION/ RELOCATION/ ADDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR DURING DEMOLITION TO REPORT TO THE DESIGNER IN WRITING ANY EXISTING AREAS UNCOVERED THAT DO NOT MEET CURRENT 2019 FIRE RATING REGULATIONS.
3. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPLASH ON ADJACENT SURFACES AND AREAS. REMOVE DEBRIS FROM ELEVATED PORTIONS OF BUILDING BY CHUTE, HOST, OR OTHER DEVICE THAT WILL CONVEY DEBRIS TO GRADE LEVEL IN A CONTROLLED MANNER AND DESCENT.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND PERFORM ALL SERVICES (DEMOLITION/ RELOCATION/ ADDITION) IN ACCORDANCE WITH ALL DRAWINGS PREPARED FOR THIS PACKAGE AND THE CONSTRUCTION DOCUMENTS PREPARED FOR THE NEW CONSTRUCTION.
5. CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND LOCATIONS OF DEMOLITION/ RELOCATION/ ADDITION WITH THESE DOCUMENTS PRIOR TO COMMENCING WORK.
6. ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGES INCURRED SHALL BE REPAIRED AND REPLACED AT NO COST TO THE OWNER BY THE CONTRACTOR.
7. FOR DUST AND NOISE CONTROL, THE CONTRACTOR SHALL SUBMIT STATEMENT OR DRAWINGS THAT INDICATE THE MEASURES PROPOSED FOR USE. PROPOSED LOCATIONS, AND PROPOSED THE FRAME FOR THEIR OPERATION. IDENTIFY OPTIONS IF PROPOSED MEASURES ARE LATER DETERMINED TO BE INADEQUATE.
8. DO NOT USE WATER WHEN IT MAY CAUSE DAMAGE TO EXISTING CONSTRUCTION OR CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING, AND POLLUTION.
9. WET MOP FLOORS TO ELIMINATE TRACKABLE DIRT AND WIPE DOWN WALLS AND DOORS OF DEMOLITION ENCLOSURES. VACUUM AREAS DAILY.
10. BEFORE CUTTING IS STARTED IN ANY LOCATION, CONTRACTOR SHALL CAREFULLY INVESTIGATE CONDITIONS INFLUENCING HUMAN AND STRUCTURAL SAFETY. EXISTING PIPING, WIRING, AND ITEMS CONCEALED IN WALLS AND SLABS, WHERE EVER THESE WALLS AND SLABS ARE REMOVED, SHALL BE PROPERLY RELOCATED, REROUTED OR REMOVED AS THE CASE MAY REQUIRE.
11. THE CONTRACTOR SHALL PRODUCE DEMOLITION/ RELOCATION/ ADDITION SURVEY DRAWINGS OR SKETCHES TO BE SUBMITTED TO THE OWNERS REPRESENTATIVE FOR APPROVAL. NO DEMOLITION/ RELOCATION/ ADDITION WORK SHALL BE UNDERTAKEN UNTIL WRITTEN APPROVAL IS RECEIVED. THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS REPRESENTATIVE DURING THE SURVEY, TO VERIFY AND CONFIRM ANY ASSUMPTIONS WITH REGARD TO THE UTILIZATION OF SYSTEMS.
12. THE SCOPE OF DEMOLITION WORK HAS BEEN INDICATED FOR THE CONTRACTORS GENERAL INFORMATION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION REQUIRED.
13. CONTRACTORS SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. IF IN THE COURSE OF DEMOLITION, THE CONTRACTOR DESTROYS OR DISTURBS ANY WORK WHICH IS TO REMAIN, THEN HE SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK AS NECESSARY.
14. ANY COST OR PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND SHALL BE DONE NEATLY AND WITHOUT DISTURBANCE OF ANY ADJACENT WORK TO REMAIN.
15. ALL WORK TO BE DONE DURING THE HOURS DESIGNATED BY OWNER. AFTER HOURS WORK MUST BE COORDINATED WITH THE CITY OF CALGARY.
16. THE CONTRACTOR SHALL REMOVE AND DISCARD ALL DEMOLISHED ITEMS IN A MANNER APPROVED BY THE LANDLORD / CLIENT.
17. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL REPORT TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK. ALL BUILDING DEPARTMENT PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK.
18. CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ALBERTA, TO PERFORM AN ENGINEERING SURVEY OF THE CONDITION OF BUILDING TO DETERMINE WHETHER REMOVING ANY ELEMENT MIGHT RESULT IN STRUCTURAL DEFICIENCY OR UNPLANNED COLLAPSE OF ANY PORTION OF STRUCTURE OR ADJACENT STRUCTURES DURING BUILDING DEMOLITION OPERATIONS.
19. CONTRACTOR SHALL PERFORM SURVEYS AS THE WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES. REVIEW EXISTING CONDITIONS, PARTITION TYPES, CEILING TYPES, AND CONDUCT ANY PROBES IN ORDER TO PROVIDE AN ACCURATE ASSESSMENT OF SCOPE OF WORK.
20. PROVIDE AND MAINTAIN TEMPORARY SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
21. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. NOTIFY THE OWNER.
22. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
23. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITH LIMITATIONS OF GOVERNING REGULATIONS.
24. DETACH ITEMS INDICATED FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE UNLESS INDICATED TO BE SALVAGED OR REINSTALLED.
25. DEMOLITION WASTE BECOMES THE PROPERTY OF CONTRACTOR.
26. KEEP MECHANICAL, RISERS AND VERTICAL SHAFT WORK AND PROTECT FROM DAMAGE. REMOVE BRANCH DUCTWORK UP TO MECHANICAL ROOMS AS APPLICABLE.
27. CLEAN AREAS FREE OF DUST, DIRT, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO THE CONDITION EXISTING BEFORE DEMOLITION OPERATIONS BEGAN.

DRAWING ABBREVIATIONS

- ADJ ADJUSTABLE
AFT ABOVE FINISHED FLOOR
ALUM ALUMINUM
ARCH ARCHITECTURAL
ATVB ABOVE TOP OF BARRIER
BLDG BUILDING
BM BENCHMARK
CL BEARING
CLB CENTERLINE
C/W COMPLETE WITH
C.A. COMBUSTIBLE AIR
CAB CABINETS
CG CORNER GUARD
CLR CLEAR
CON CONSTRUCTION
COL COLUMN
CONC CONCRETE
CORR CORROSION
DBL DOUBLE
DTL DETAIL
D/W DISHWASHER
DWG DRAWING
D.V. DRYER VENT
ELEC ELECTRICAL
ENG ENGINEER
EQ EQUAL
EQU EQUIPMENT
EXT EXTERIOR
F.A. FIRE ALARM
F.E. FIRE EXTINGUISHER
FIN, FLR FINISHED FLOOR
F.D.C. FLOOR DRAIN
F.O.C. FACE OF CONSTRUCTION
F.O.S. FACE OF STUDS
F.R.T. FIRE RESISTANT TREATED
FLASH FLASHING
F.A.U. FORCED AIR UNIT
FLRR FLOORING
G.V. GALVANIZED
G.B. GYPSUM BOARD
GWB GYPSUM WALL BOARD
HORIZ HORIZONTAL
H.B. HOSE BIB
H.S. HOLLOW STEEL SECTION
INSUL INSULATION
INT INTERIOR
LAM LIQUID APPLIED MEMBRANE
MAX MAXIMUM
MECH MECHANICAL
MEMB MEMBRANE
MET METAL
MANUF MANUFACTURER
MIN. MINIMUM
N/A NOT APPLICABLE
N/A NOT IN CONTRACT
N.T.S. NOT TO SCALE
ON CSIR ON CHAIR
OPNG OPENING
OVERHEAD OVERHEAD
OV.HG OVERHANG
PRES.T PRESSURE TREATED
PLAM / PL PLASTIC LAMINATE
PLY. PLYWOOD
P.L. PROPERTY LINE
R/O ROUGH OPENING
RM ROOM
R.D. ROOF DRAIN
SM SIMILAR
S.A.M. SELF-ADHERING MEMBRANE
S.S. STAINLESS STEEL
U.N.O. UNLESS NOTED OTHERWISE
UNDERSIDE UNDERSIDE
TYP. TYPICAL
T.O.F. TOP OF
W/H WATER HEATER
W/ WITH

REFERENCE SYMBOL LEGEND

ROOM TAGS

Room tags

Room number

SECTION MARKER

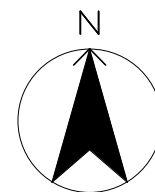
SECTION NUMBER

REFERENCE TO SIMILAR DETAIL

SHEET NUMBER

DETAIL MARKER

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CONSULTANT SEAL

ISSUED DATE

CLIENT / OWNER

SUBARU CALGARY



DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT

T1 STUDIOS ARCHITECTURE INC.

201 - 1902 11 ST SE, Calgary, Alberta T2G 0G2
(403) 866-6556 info@t1studios.ca

PROJECT NAME AND ADDRESS

SUBARU CALGARY EXPANSION

1100 MERIDIAN RD NE
CALGARY, ALBERTA, T2A 2N9

LEGAL ADDRESS: 7655HP; 1: B

DRAWING TITLE

PROJECT INFORMATION & GENERAL NOTES

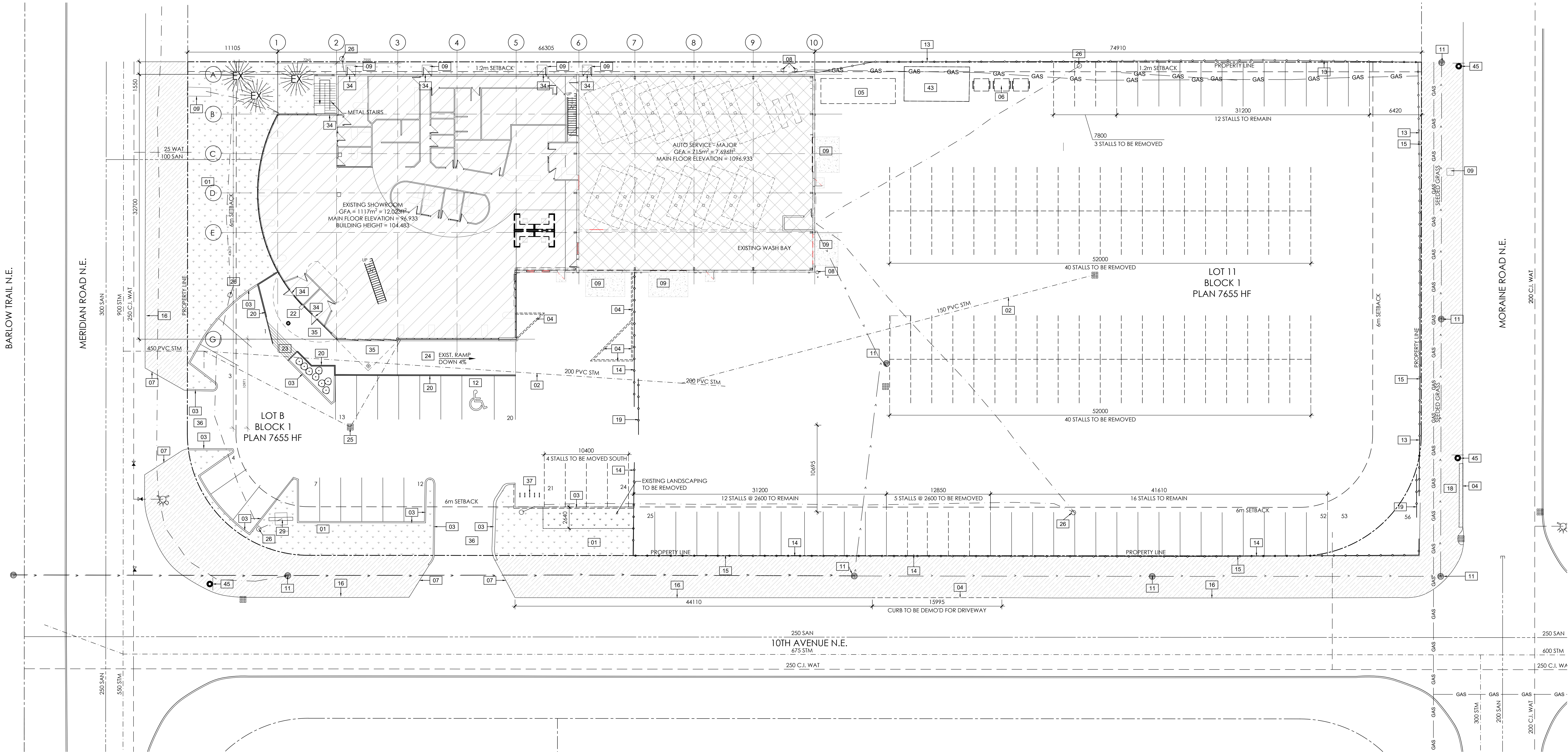
SCALE: AS INDICATED DATE: 07/08/24

DRAWN BY: Author CHECKED BY: Checker

PRINT ON: A0 PROJECT No. 24-224

DWG No.

DP0.2



1 EXISTING/DEMO SITE PLAN
DP1.1 1 : 250

SITE LEGEND

- EXISTING GRASS LANDSCAPING
EXISTING IRRIGATION TO REMAIN
- EXISTING LOW-DUTY ASPHALT PAVING
- EXISTING GEODETIC ELEVATION - REFER TO CIVIL FOR ADDITIONAL DATA POINTS
- CONCRETE APRON
- EXISTING HYDROSEED
- PROPOSED CITY OF CALGARY SIDEWALK
- PROPOSED HYDROSEED

LEGAL ADDRESS

LOT: 8 & 11
BLOCK: 1
PLAN: 7655 HF

MUNICIPAL ADDRESS

1100 MERIDIAN ROAD NE
CALGARY, AB

SITE AREA

9,189.2 m²
2,271 sqm

BUILDING GROSS FLOOR AREA:
EXISTING TOTAL 1,883 m²; PROPOSED TOTAL 3,434 m²

FLOOR AREA RATIO:
EXISTING: 1.883 m² / 9,189.2 m² = 0.205 (20.5%)
PROPOSED: 3,434 m² / 9,189.2 m² = 0.374 (37.4%)

BYLAW ZONING

IC - INDUSTRIAL COMMERCIAL ZONE

"ALL FINISHED GRADES TO BE DETERMINED BY MECHANICAL SITE SURVEYING ENGINEER. PROPOSED SITE GRADES AS SHOWN ON ARCHITECTURAL SITE PLAN ARE TO SET MAIN FLOOR ELEVATIONS ONLY. DSSP GRADING PLAN SHALL GOVERN IN ALL CIRCUMSTANCES."

"ALL CATCH BASINS AS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE PURPOSES ONLY. FINAL QUANTITY AND LOCATION OF ALL CATCH BASINS AND SITE DRAINING INCLUDING FENCING SHALL BE DETERMINED BY MECHANICAL SITE SURVEYING ENGINEER (DSSP STORM WATER MANAGEMENT PLAN)."

SITE NOTES

- EXISTING LANDSCAPED AREA.
- EXISTING IRRIGATION TO REMAIN.
- EXISTING CONCRETE CURB
- EXISTING CONCRETE CURB TO BE DEMOLISHED AND REDELETED WITH ASPHALT PAVING
- DESIGNATED LOADING AREA, (MIN. 3.1m x 9.2m x 4.3m CLEAR HEIGHT) TO BE RELOCATED.
- EXISTING WASTE/RECYCLING BIN LOCATION (ROLL OUT SERVICE) TO BE RELOCATED.
- EXISTING DRIVE AISLE FLARES
- EXISTING CONCRETE-FILLED STEEL BOLLARD.
- EXISTING CONC. PAD
- NEW CONCRETE CURB.
- EXISTING POWER POLE
- BARRED-FREE PARKING STALL. PAVEMENT MARKING AND SIGNAGE TO MEET CITY OF CALGARY STANDARDS.
- EXISTING FENCING TO BE REMOVED
- EXISTING FENCING TO REMAIN
- EDGE OF ASPHALT
- CITY CURB
- NEW ASPHALT DRIVEWAY.
- EXISTING SITE ACCESS TO BE CLOSED AND REHABILITATED TO COMPLY WITH COC STANDARDS 454.1010.002
- EXISTING CHAIN LINK FENCE ROLLING GATE TO BE REMOVED
- PROPOSED CITY OF CALGARY SIDEWALK C/W
- BARRED-FREE RAMP AT INTERSECTION OF 10 AVENUE & MORAIANE STREET
- PROPOSED STEEL CONCRETE FILLED BOLLARD REFER TO S/A.I.D
- EXISTING PRIMARY BUILDING ENTRY

LEGAL ADDRESS

LOT: 8 & 11
BLOCK: 1
PLAN: 7655 HF

MUNICIPAL ADDRESS

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CALGARY, AB

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PARKING

- VEHICLE PARKING STALLS - AUTO SERVICE - MAJOR USE
1 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 715 m² (EXISTING) 8 STALLS
= 2.27% PROPOSED 25 STALLS
- VEHICLE PARKING STALLS - VEHICLE SALES - MAJOR USE
4 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 1,165.0 m² (EXISTING TO REMAIN) = 47 STALLS
- 1.0 PARKING SPACE FOR EVERY 9 INVENTORY VEHICLE ON THE PARCEL = 23
- EXISTING PARKING STALLS - 145
- 23 + 47 = 70 VEHICLE PARKING STALLS REQUIRED
- PROPOSED 93 VEHICLE PARKING STALLS
- BICYCLE PARKING STALLS - AUTO SERVICE - MAJOR USE
1 CLASS 2 BICYCLE PARKING STALL PER 2000.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 715 m²
947.0 m² / 2000.0 m² = 0.47
- BICYCLE PARKING STALLS - VEHICLE SALES - MAJOR USE
1 CLASS 2 BICYCLE PARKING STALL PER 250.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 1,165.0 m²
1172.0 m² / 250.0 m² = 4.68
- 4.68 = 5 CLASS-2 BICYCLE STALLS (REQUIRED AND PROVIDED)
- LOADING STALL:
1 LOADING STALL PER 9,300 m² OF FLOOR AREA PROVIDED.
LOADING STALLS = 3.1m WIDE X 9.2m LONG X 4.3m TALL CLEAR BUILDING GFA AREA = 2046.0 m² = 1 LOADING STALL

LANDSCAPING

- LANDSCAPING REQUIREMENTS:
TOTAL # OF TREES:
WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST PROVIDE A MINIMUM OF 1 TREE AND 2 SHRUBS FOR EVERY 35.0 m²
- TOTAL SETBACK AREA WITH LANDSCAPE = 514.07 m²
514.07 m² / 35.0 m² = 48
MINIMUM REQUIRED TREES: 15
MINIMUM REQUIRED SHRUBS: 30
- TREES PROVIDED:
7 CONIFEROUS TREES
- LANDSCAPING LEGEND
- DECIDUOUS TREE (50mm CAULP)
MOUNTAIN ASH
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 NEW
- DECIDUOUS TREE (50mm CAULP)
TOWER POPLAR (OR COLUMNAR ASPEN)
QUANTITY REQUIRED: 3
QUANTITY EXISTING: 0
PROPOSED: 3 NEW
- CONIFEROUS TREES (3.5m HIGH)
BLUE OR WHITE SPICE (OR EQUIV.)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 EXISTING TO REMAIN
- CONIFEROUS TREES (2m HIGH)
WHITE SPICE (OR EQUIV.)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 NEW
- DECIDUOUS SHRUBS:
SPECIES INCLUDE:
- SILVER LEAF DOGWOOD
- SIBERIAN CORAL DOGWOOD
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.
- CONIFEROUS SHRUBS:
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

NORTH ARROW

THESE DRAWINGS ARE NOT TO BE USED FOR THE FOLLOWING:
- PLOTTING OR REPRODUCTION
- CONSTRUCTION
- NO CONSTRUCTION SHALL BEGIN WITHOUT AN APPROVED AND RELEASED BUILDING PERMIT FOR THE PROJECT, ISSUED BY THE AUTHORITY HAVING JURISDICTION.
- T. STUDIOS Architecture Inc. shall not be held liable for any errors, omissions, delays or unforeseen issues caused by work being performed without an approved building permit and issued construction drawings.

PRIME CONSULTANT SEAL

ISSUED	DATE
ISSUED FOR DP APPLICATION	XXXX-XX-XX
-	-
-	-
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-	-
-	-
-	-
-	-
-	-
-	-

CLIENT / OWNER



DEVELOPMENT PERMIT #: DP-###
BUILDING PERMIT #: BP-###

PRIME CONSULTANT



PROJECT NAME AND ADDRESS
SUBARU CALGARY EXPANSION
1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

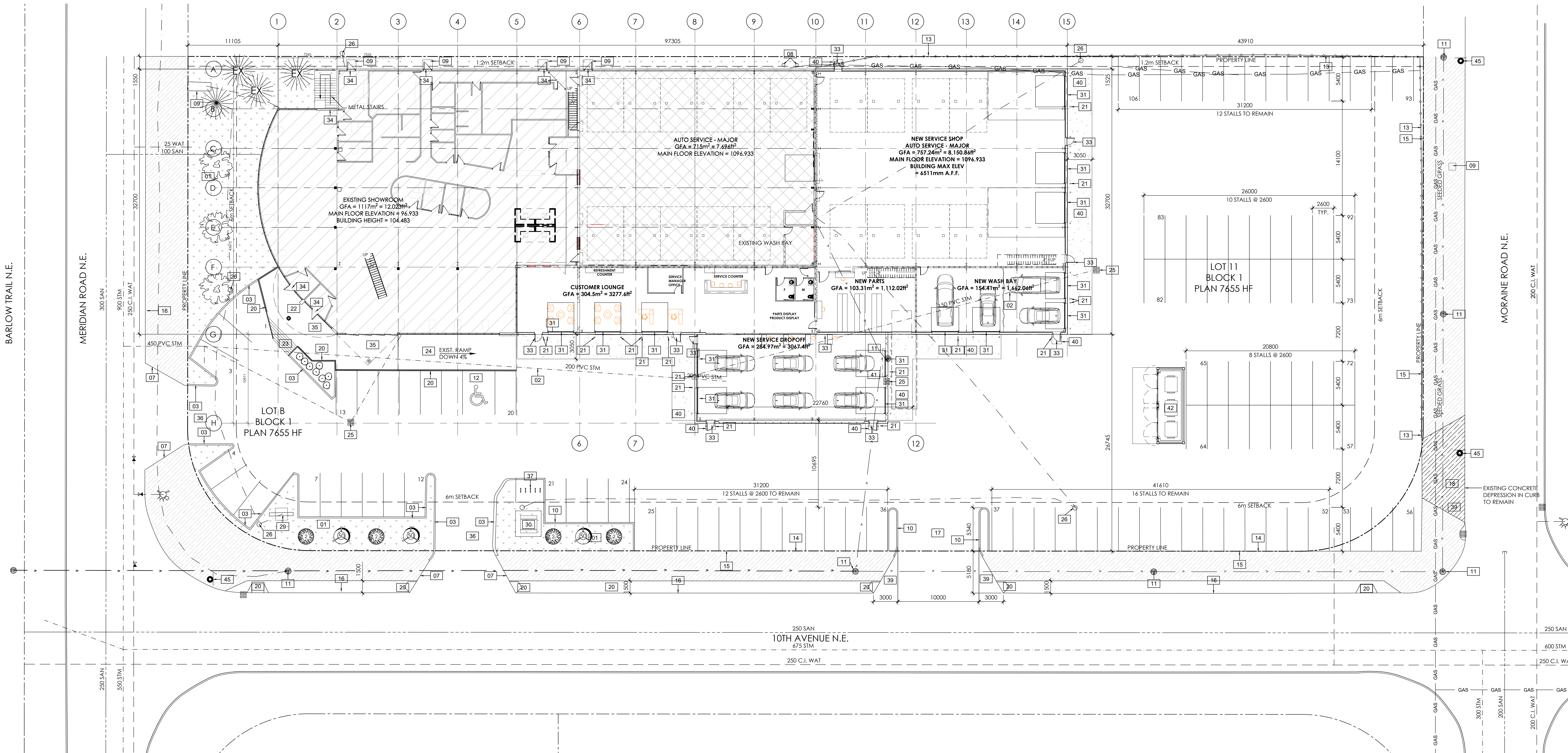
LEGAL ADDRESS: P7655HF, BLOCK 1, LOT B & LOT 11

DRAWING TITLE

EXISTING & DEMO SITE PLAN

SCALE:	As indicated	DATE:	2024-11-04
DRAWN BY:	RC	CHECKED BY:	CHKD
PRINT ON:	A0	PROJECT NO.:	24-224
DWG NO.:			

DP1.1



1 PROPOSED SITE PLAN
DP1.2 1 : 250

SITE LEGEND

- EXISTING GRASS LANDSCAPING
- EXISTING IRRIGATION TO REMAIN
- EXISTING LOW-DUTY ASPHALT PAVING
- EXISTING GEODETIC ELEVATION - REFER TO CIVIL FOR ADDITIONAL DATA POINTS
- CONCRETE APRON
- EXISTING HYDROSEED
- PROPOSED CITY OF CALGARY SIDEWALK
- PROPOSED HYDROSEED

LEGAL ADDRESS

LOT: B & 11
BLOCK: 7655 HF

MUNICIPAL ADDRESS

1100 MERIDIAN ROAD NE
CALGARY, AB

SITE AREA

9,189.2 m²
2,271.0 m²
BUILDING GROSS FLOOR AREA:
EXISTING TOTAL 1,883 m², PROPOSED TOTAL 3,434 m²
FLOOR AREA RATIO:
EXISTING: 1.883 m² / 9,189.2 m² = 0.205 (20.5%)
PROPOSED: 3,434 m² / 9,189.2 m² = 0.374 (37.4%)

BYLAW ZONING

IC - INDUSTRIAL COMMERCIAL ZONE

"ALL FINISHED GRADES TO BE DETERMINED BY MECHANICAL SITE SURVEYING ENGINEER. PROPOSED SITE GRADES AS SHOWN ON ARCHITECTURAL SITE PLAN ARE TO SET MAIN FLOOR ELEVATIONS ONLY. DSSP GRADING PLAN SHALL GOVERN IN ALL CIRCUMSTANCES."

"ALL CATCH BASINS AS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE PURPOSES ONLY. FINAL QUANTITY AND LOCATION OF ALL CATCH BASINS AND SITE DRAINAGE INCLUDING FLOODING SHALL BE DETERMINED BY MECHANICAL SITE SURVEYING ENGINEER (DSSP STORM WATER MANAGEMENT PLAN)."

SITE NOTES

- EXISTING LANDSCAPED AREA.
- EXISTING IRRIGATION TO REMAIN.
- EXISTING STORM SYSTEM TO BE MODIFIED. REFER TO CIVIL.
- EXISTING CONCRETE CURB.
- EXISTING CONCRETE CURB TO BE DEMOLISHED AND REEDED WITH ASPHALT PAVING.
- DESIGNATED LOADING AREA (MIN. 3.1m X 9.2m X 4.3m CLEAR HEIGHT) TO BE RELOCATED.
- EXISTING WASTE/RECYCLING BIN LOCATION (ROLL OUT SERVICE) TO BE RELOCATED.
- EXISTING DRIVE ABLE FLARES.
- EXISTING CONCRETE-FILLED STEEL BOLLARD.
- EXISTING CONC. PAD.
- NEW CONCRETE CURB.
- EXISTING POWER POLE.
- BARRIER-FREE PARKING STALL (PAVEMENT MARKING AND SIGNAGE TO MEET CITY OF CALGARY STANDARDS).
- EXISTING FENCING TO BE REMOVED.
- EDGE OF ASPHALT.
- CITY CURB.
- NEW ASPHALT DRIVEWAY.
- EXISTING SITE ACCESS TO BE CLOSED AND REHABILITATED TO COMPLY WITH COC STANDARDS 454.01(1)(D).
- EXISTING CHAIN LINK FENCE ROLLING GATE TO BE REMOVED.
- PROPOSED CITY OF CALGARY SIDEWALK C/W BARRIER-FREE RAMP AT INTERSECTION OF 10 AVENUE & MORAINES STREET.
- PROPOSED STEEL CONCRETE FILLED BOLLARD REFER TO S/A1.0.
- EXISTING PRIMARY BUILDING ENTRY.
- EXISTING CONCRETE STAIRS - 7 RISERS.
- EXISTING CONCRETE RAMP.
- EXISTING CATCH BASIN - REFER TO CIVIL.
- EXISTING SITE POLE LIGHTING.
- EXISTING BUILDING MOUNTED SITE LIGHTING.
- PROPOSED BUILDING MOUNTED SITE LIGHTING REFER TO ELEVATIONS - A4.1.
- EXISTING TALL SIGNAGE ON CONCRETE PAD 3.2m X 3.2m = 10m².
- PROPOSED GLAZED SUNSHINE OVERHEAD DOOR REFER TO ELEVATIONS (A4.1).
- EXISTING OVERHEAD DOOR.
- PROPOSED MAN DOOR REFER TO ELEVATIONS (A4.1).
- EXISTING MAN DOOR.
- EXISTING CANTELEVERED ROOF.
- EXISTING DRIVEWAY.
- CLASS 2 BICYCLE PARKING STALLS REFER TO S/A1.0.
- 12m RADIOS VEHICLE PATH.
- NEW ASPHALT FLARES.
- PROPOSED CONC. PAD.
- PROPOSED LOCATION OF LOADING AREA (MIN 3.1m x 9.2m x 4.3m CLEAR HEIGHT).
- PROPOSED LOCATION OF GARBAGE ENCLOSURE. REFER TO GARBAGE ENCLOSURE DETAILS.
- EXISTING SHED TO BE REMOVED.
- PROPOSED CHAIN LINK FENCE ROLLING GATE.
- EXISTING COC SIGNAGE (STOP, NO PARKING, ETC.).
- RESERVED.

PARKING

VEHICLE PARKING STALLS - AUTO SERVICE - MAJOR USE:
1 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 715 m² (EXISTING) 8 STALLS
= 2,271 m² PROPOSED 23 STALLS
VEHICLE PARKING STALLS - VEHICLE SALES - MAJOR USE:
4 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 1,165.0 m² (EXISTING TO REMAIN) = 47 STALLS
1.0 PARKING SPACE FOR EVERY INVENTORY VEHICLE ON THE PARCEL = 23
EXISTING PARKING STALLS = 145
23 + 47 + 23 = 93 VEHICLE PARKING STALLS REQUIRED
PROPOSED 93 VEHICLE PARKING STALLS
BICYCLE PARKING STALLS - AUTO SERVICE - MAJOR USE:
1 CLASS 2 BICYCLE PARKING STALL PER 200.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 2,271 m²
947.5 m² / 200 m² = 0.47
BICYCLE PARKING STALLS - VEHICLE SALES - MAJOR USE:
1 CLASS 2 BICYCLE PARKING STALL PER 250.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 1,165.0 m²
117.0 m² / 250 m² = 0.46
4.66 = 5 CLASS 2 BICYCLE STALLS (REQUIRED AND PROVIDED)
LOADING STALL:
1 LOADING STALL PER 9,300 m² OF FLOOR AREA PROVIDED. LOADING STALLS = 3.1m WIDE X 9.2m LONG X 4.3m TALL CLEAR BUILDING GFA AREA = 264.0 m² = 1 LOADING STALL

LANDSCAPING

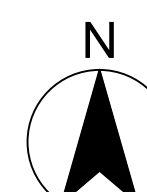
LANDSCAPING REQUIREMENTS:
TOTAL # OF TREES:
WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST PROVIDE A MINIMUM OF 1 TREE AND 2 SHRUBS FOR EVERY 35.0 m².
TOTAL SETBACK AREA WITH LANDSCAPE = 516.07 m²
516.07 m² / 35.0 m² = 48
MINIMUM REQUIRED TREES: 15
MINIMUM REQUIRED SHRUBS: 30
TREES PROVIDED: 7
CONFEROUS TREES

LANDSCAPING LEGEND

- DECIDUOUS TREE (85mm CALIPER)
MOUNTAIN ASH
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 NEW
- DECIDUOUS TREE (50mm CALIPER)
TOWER POPLAR (OR COLUMNAR ASPEN)
QUANTITY REQUIRED: 3
QUANTITY EXISTING: 0
PROPOSED: 3 NEW
- CONFEROUS TREES (3.5m HIGH)
BLUE OR WHITE SPRUCE (OR QUERCUS)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 0
PROPOSED: 4 EXISTING TO REMAIN
- CONFEROUS TREES (2m HIGH)
WHITE SPRUCE (OR QUERCUS)
QUANTITY REQUIRED: 4
QUANTITY PROVIDED: 4 NEW
- DECIDUOUS SHRUBS:
SPECIES INCLUDE:
- SILVER LEAF DOGWOOD
- SIBERIAN CORYLIS DOGWOOD
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.
- CONFEROUS SHRUBS:
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 0
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

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PRIME CONSULTANT SEAL

ISSUED	DATE
ISSUED FOR DP APPLICATION	XXXX-XX-XX

CLIENT / OWNER



DEVELOPMENT PERMIT #: DP-###

BUILDING PERMIT #: BP-###

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

SUBARU CALGARY
EXPANSION

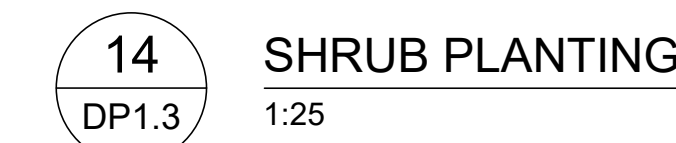
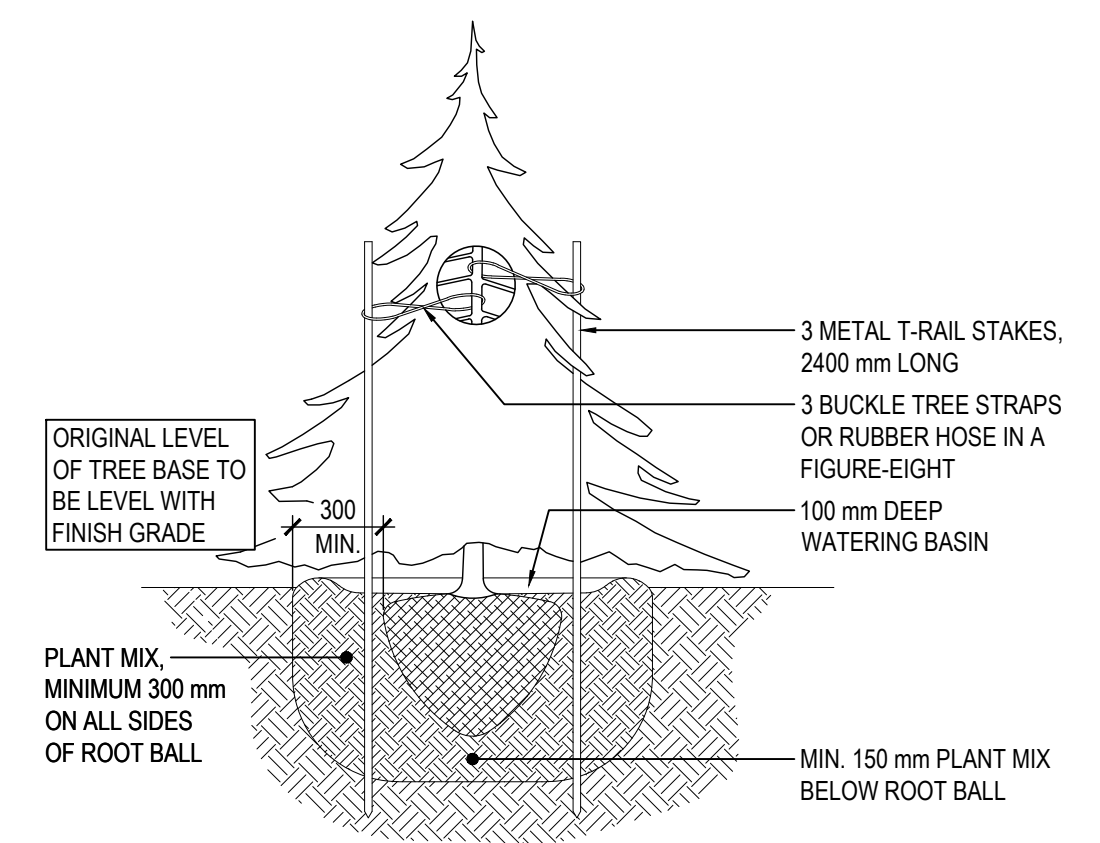
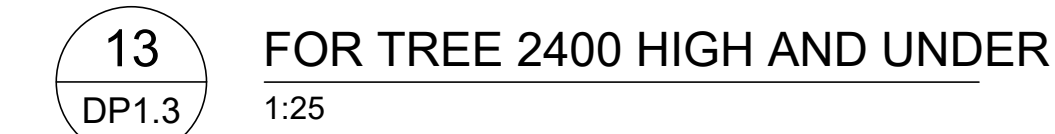
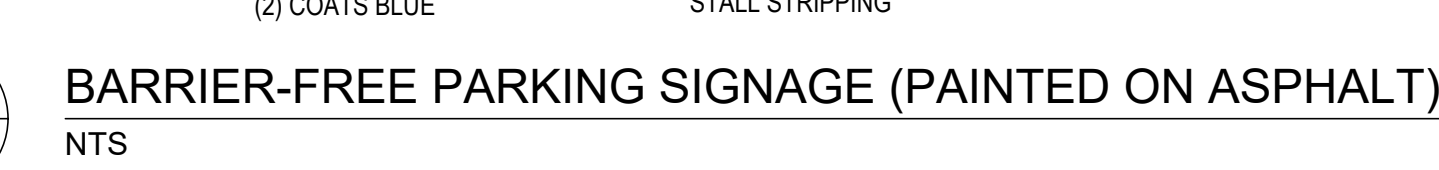
1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS: P7655HF, BLOCK 1, LOT B & LOT 11

DRAWING TITLE

PROPOSED SITE PLAN

SCALE:	As indicated	DATE:	2024-11-04
DRAWN BY:	RC	CHECKED BY:	CHKD
PRINT ON:	A0	PROJECT NO.:	24-224
DWG NO.:	DP1.2		



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delays or unforeseen issues caused by work being performed without an
approved building permit and issued construction drawings.

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SUBARU CALGARY.COM
SUBARU

BUILDING PERMIT #: BP ###

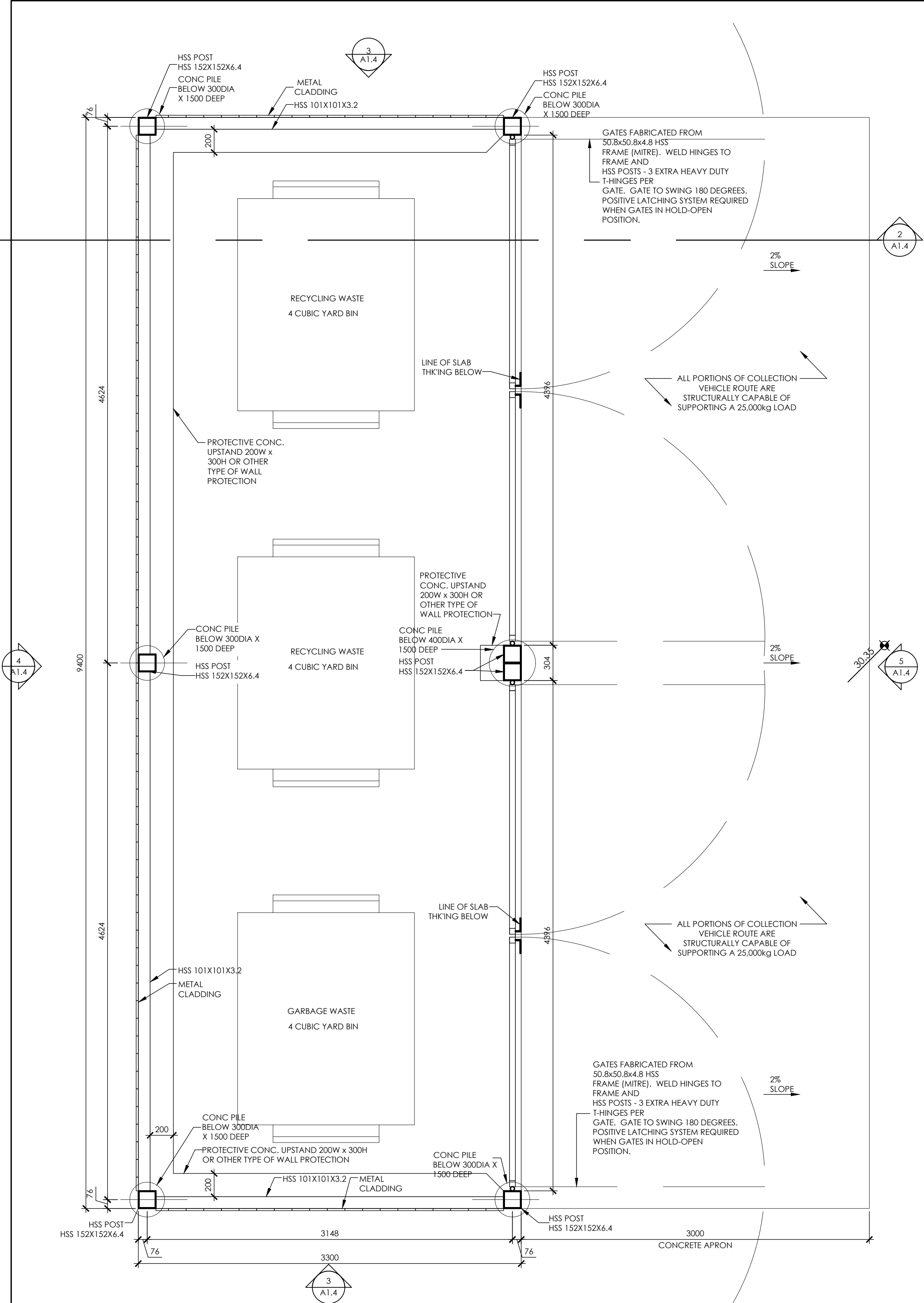
201 - 1902 11ST SE, Calgary, AB, T2G 3G2
(403)-806-0555 info@tistudios.co

LEGAL ADDRESS: P7655HF; BLOCK 1; LOT B & LOT 11
DRAWING TITLE

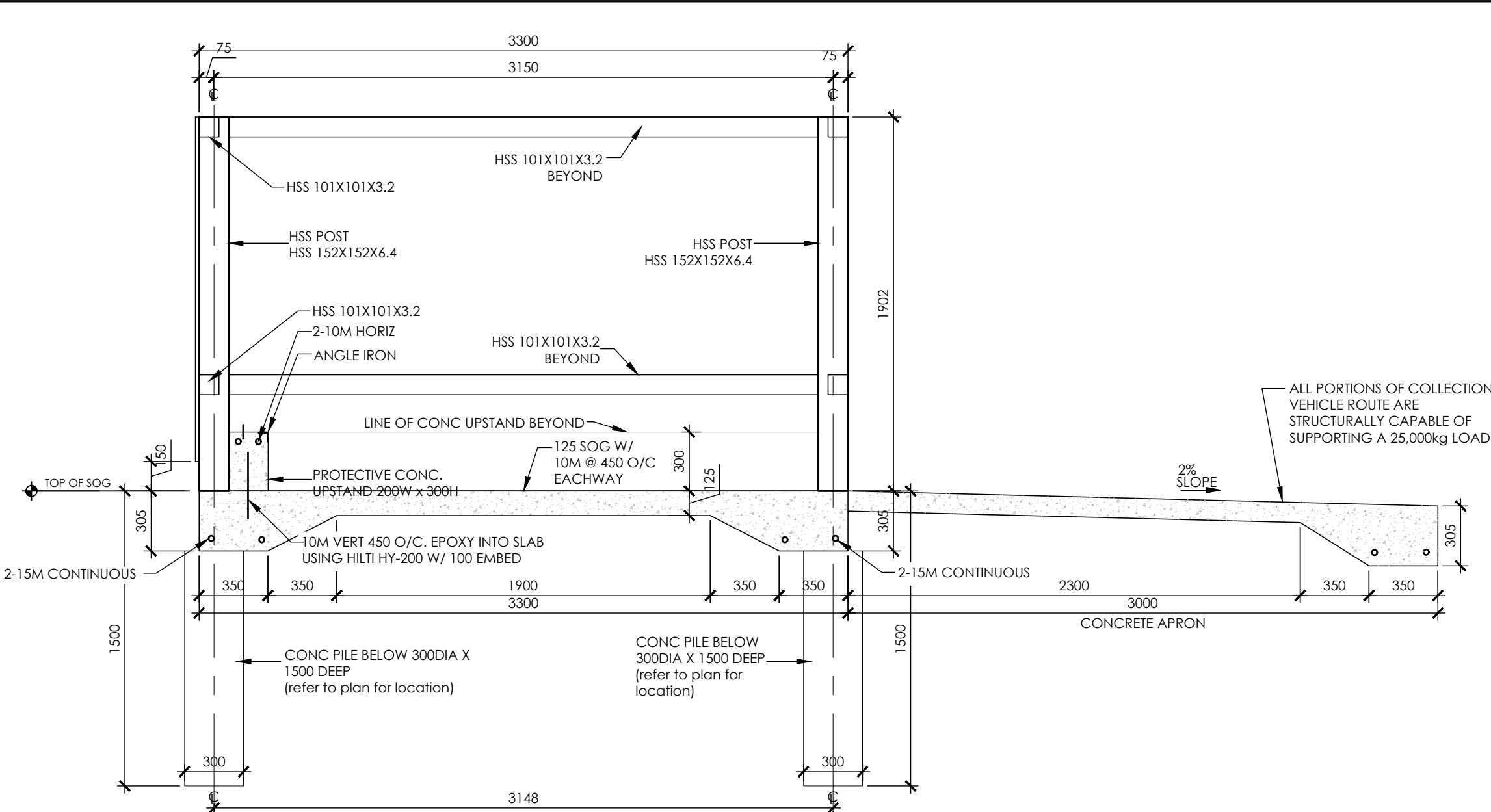
SCALE:	As indicated	DATE:
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PRINT ON:	A0	PROJECT No.	24.224
DWG No.			

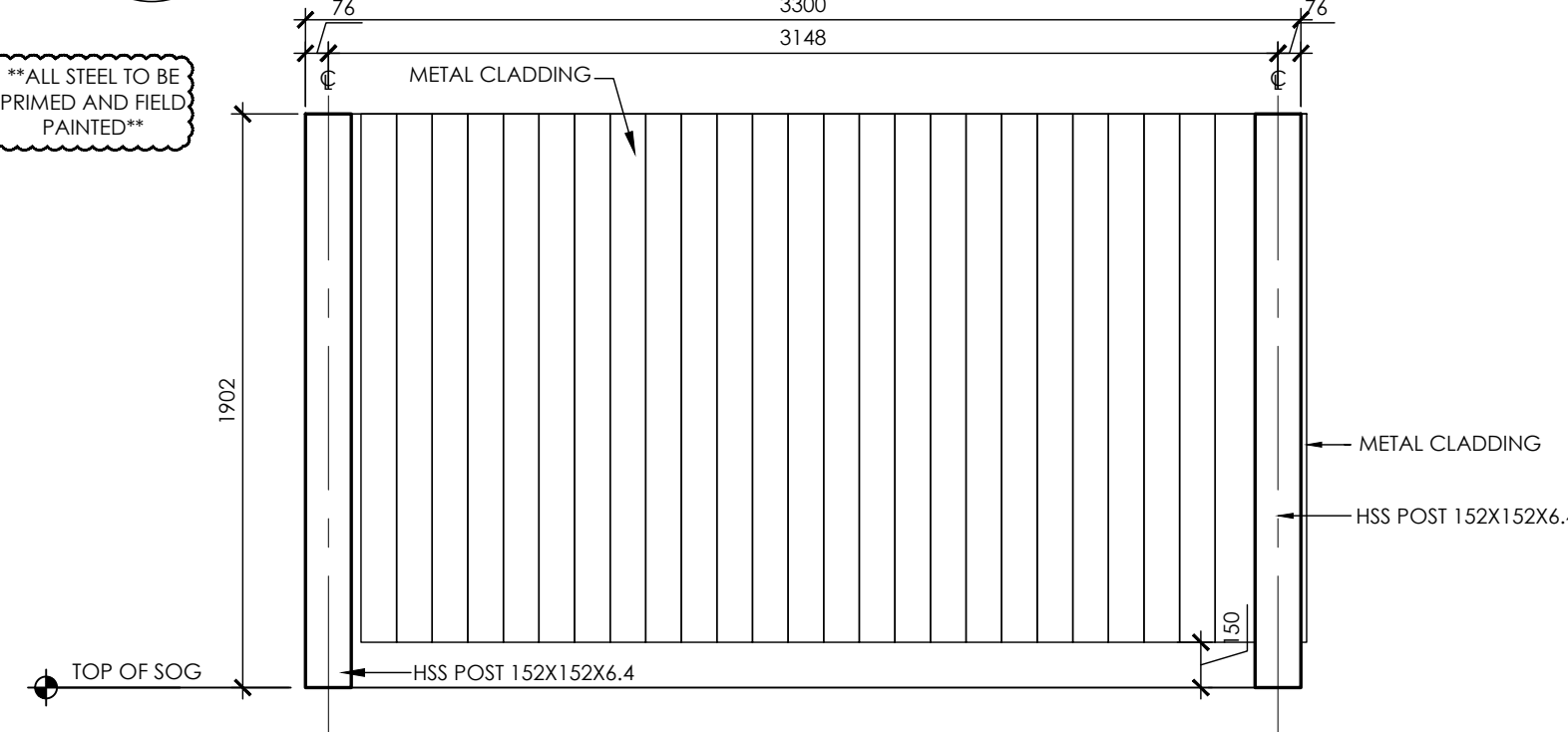
DP1.3



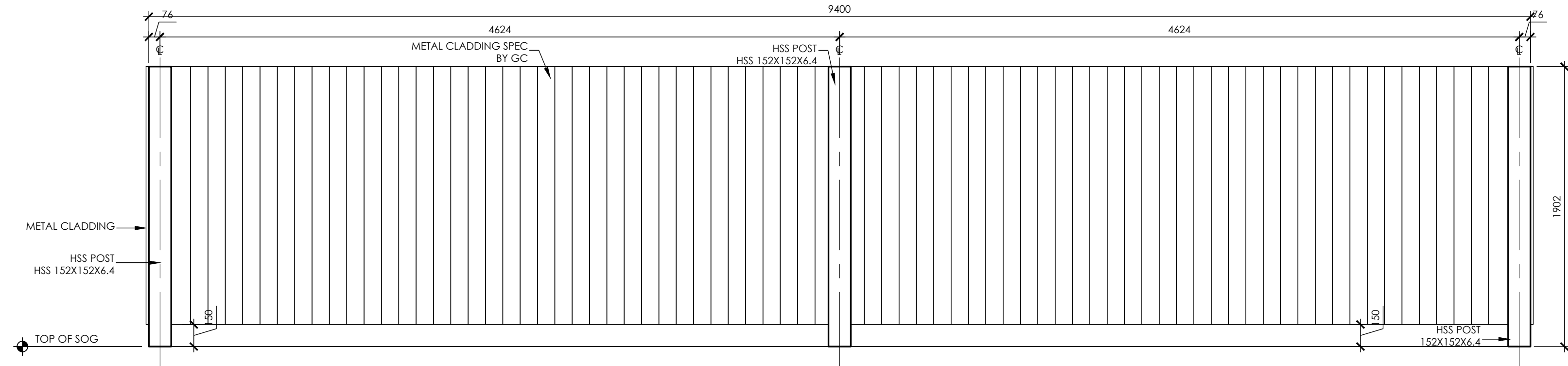
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DP1.4
GARBAGE ENCLOSURE PLAN
1:25



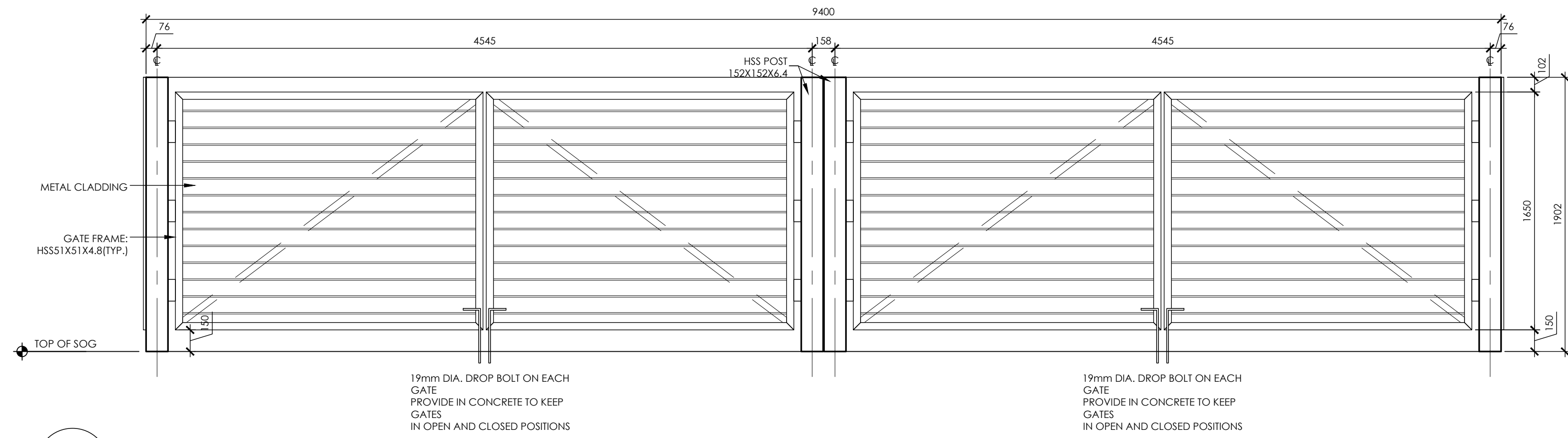
2
DP1.4
GARBAGE ENCLOSURE SECTION
1:25



3
DP1.4
GARBAGE ENCLOSURE ELEVATION
1:25



4
DP1.4
GARBAGE ENCLOSURE ELEVATION
1:25



5
DP1.4
GARBAGE ENCLOSURE ELEVATION
1:25

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NORTH ARROW

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- PAVING OR TRENCHING
- CONSTRUCTION
- NO CONSTRUCTION SHALL BEGIN WITHOUT AN APPROVED AND RELEASED BUILDING PERMIT FOR THE PROJECT, ISSUED BY THE AUTHORITY HAVING JURISDICTION.
- E.T.O.P.C. Architecture Inc. shall not be held liable for any errors, omissions, delays or unforeseen issues caused by work being performed without an approved building permit and issued construction drawings.

PRIME CONSULTANT SEAL

ISSUED	DATE
ISSUED FOR DP APPLICATION	XXXX-XX-XX
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CLIENT / OWNER



DEVELOPMENT PERMIT #: DP_###

BUILDING PERMIT #: BP_###

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**

1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS: P7655HF, BLOCK 1, LOT B & LOT 11

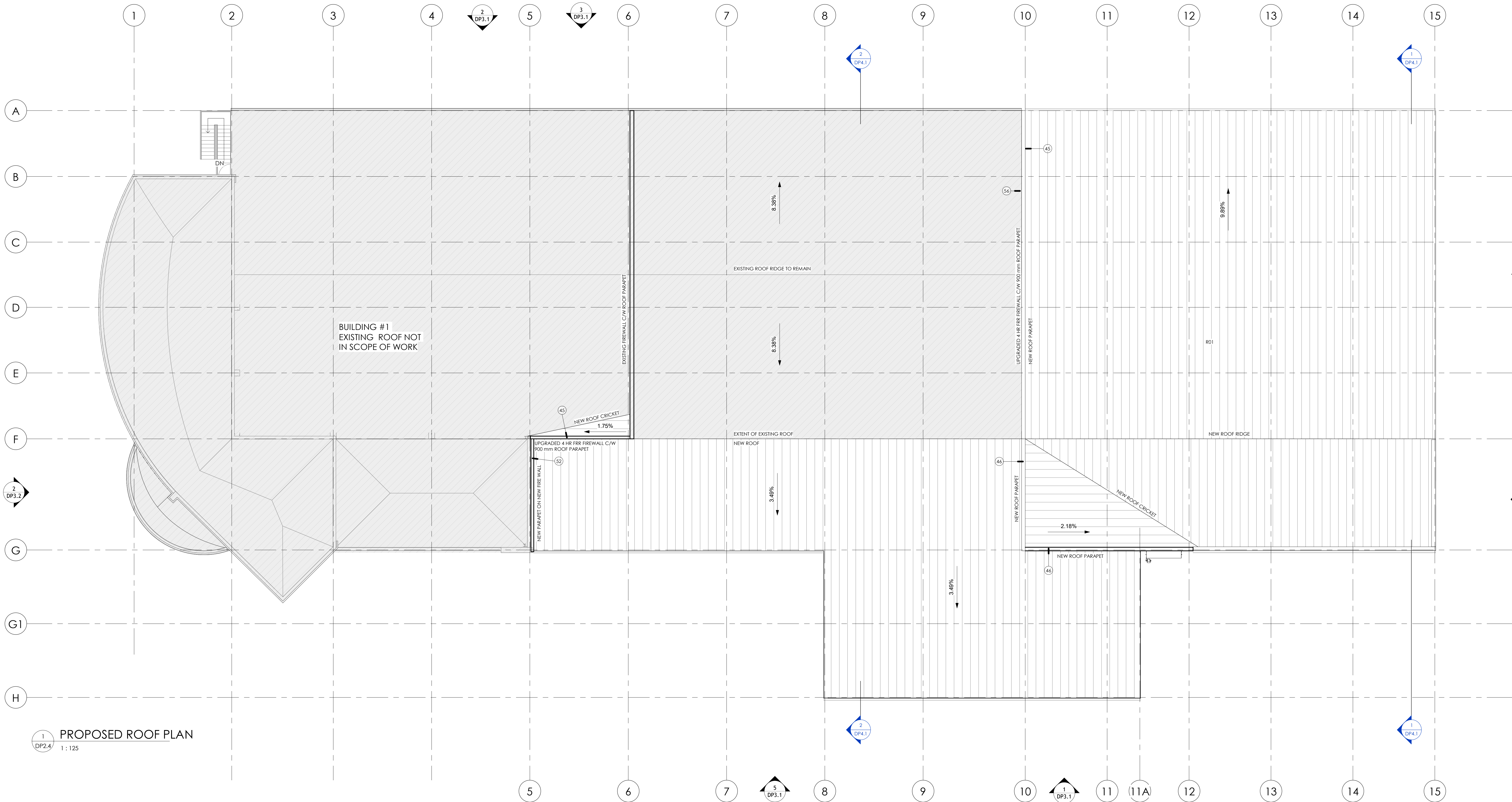
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**GARBAGE ENCLOSURE
DETAILS**

SCALE:	As indicated	DATE:	2024-11-04
DRAWN BY:	RC	CHECKED BY:	CHKD
PRINT ON:	A0	PROJECT No.:	24.224
DWG No.:			

DP1.4

2024.11.11 11:59 AM 11/25/2024 12:40:00 AM



PROPOSED ROOF PLAN
1 : 125

Keynote Legend	
Key Value	Keynote Text
45	UPGRADE EXIST CMU WALL TO BECOME 4 HR FIRE WALL. EXISTING CMU WALL TO BE EXTENDED ROOMS ABOVE TOP OF ROOF STRUCTURE. REFER TO SECTIONS AND ELEVATIONS.
46	PROPOSED NEW CMU 4 HR FIRE WALL.
52	NEW 4 HR FIRE CMU FIRE WALL TO EXTEND TO ROOMS ABOVE ADJACENT ROOFS PER CODE. NEW PRESURITIZES TO PROTECT EXISTING CURTAIN WALL OPENINGS IN ADJACENT EXISTING WALL.
56	NEW FLASHING TO TIE IN EXISTING ROOF MEMBRANE TO NEW PARAPET WALL.

Existing Symbol Legend

- EXISTING MAN DOOR TO REMAIN. REFER TO PLAN
- EXISTING OVERHEAD DOOR TO REMAIN
- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING PARTITION TO BE REPAIRED TO LIKE-NEW CONDITION

Demolition Symbol Legend

- EXISTING MAN DOOR TO BE REMOVED
- EXISTING OVERHEAD DOOR TO BE REMOVED
- EXISTING INTERIOR PARTITION TO BE REMOVED

Partition Notes

- DRAWINGS ARE NOT TO BE SCALED.
- DIMENSIONS AT EXTERIOR WALLS ARE TO FACE OF SHEATHING. FACE OF CONCRETE, UNLESS NOTED OTHERWISE. DIMENSIONS AT INTERIOR PARTITIONS ARE TO FACE OF STUD, OR FACE OF CONCRETE BLOCK. ASSEMBLIES SHALL BE CONSTRUCTED IN SEQUENCE AS WRITTEN, INITIATING FROM THE SIDE WHICH THE TAG IS LOCATED.
- REFER TO INTERIOR DESIGN SHEETS FOR MORE DETAILS ON INTERIOR FINISHES, MILLWORK, TRIMS, AND WARDROOM ACCESSORIES.
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL, STRUCTURAL & ELECTRICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES BETWEEN CONSULTANT DRAWINGS TO ARCHITECT FOR CLARIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING SITE MEASUREMENTS & DIMENSIONS AND MUST REPORT ALL DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING WORK.
- CONFIRM ALL CEILING HEIGHTS & CLEARANCES ON SITE PRIOR TO CONSTRUCTION.
- ALL WORK IS TO BE CARRIED OUT ACCORDING TO ALL RELEVANT CODES & STANDARDS & AS PER ANY SPECIFICATIONS ISSUED BY THE ARCHITECT. CONTRACTOR MUST OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY ALL RELEVANT AUTHORITIES PRIOR TO COMMENCEMENT OF THE WORK. CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING FIRE SEPARATIONS WITHIN AREA OF CONTRACT.
- CONTRACTOR TO ENSURE ALL EXISTING PLUMBING FIXTURES REMAINING ARE IN GOOD WORKING ORDER.
- ALL PARTITIONS ARE TO BE CHALKED ON SITE & APPROVED BY ARCHITECT PRIOR TO INSTALLATION OF FLOOR & CEILING TRACKS. UNLESS OTHERWISE NOTED ON THE PLAN ALL DIMENSIONS ARE TAKEN FROM PARTITION STUD INSIDE TO INSIDE. ALL DIMENSIONS TAKEN FROM THE CORE COLUMNS OR CONVECTORS ARE TAKEN FROM THE FACE OF THAT ARCHITECTURAL ELEMENT TO THE CENTER OF THE PARTITION.
- ALL DRYWALL PARTITION EDGES & FACES TO BE SMOOTH AND PLUMB LINE TRUE.
- CONTRACTOR TO ENSURE VARYING WALL THICKNESS CO-ORDINATE WITH DOOR FRAME SIZES. ANY DISCREPANCIES TO BE RESOLVED WITH ARCHITECT.
- CONTRACTOR TO ENSURE SUFFICIENT BLOCKING IS PROVIDED IN ALL AREAS REQUIRING SUPPORT OR WALL OR CEILING MOUNTED EQUIPMENT OR MATERIALS (E.G. MOUNTINGS, MILLWORK, COAT HOOKS, SECURITY EQUIPMENT, PROJECT SCREENS, WALL MOUNTED OUTLETS, SPECIAL EQUIPMENT, ETC.).
- CONTRACTOR TO ENSURE THE FLOOR IS LEVEL PRIOR TO THE CONSTRUCTION OF PARTITIONS. PROVIDED SKIM COAT IF NECESSARY. VARIANCE NOT TO EXCEED 3/4" IN AREAS WHERE FLOOR CABINETS OR SHELVING UNITS ARE TO BE LOCATED. REFER TO FURNITURE PLAN FOR DETAILED LAYOUTS.
- ALL NEW PARTITIONING TO BE TAPED, SANDED, SMOOTH, PRIMED TO FLOOR & MADE READY TO RECEIVE FINISHES AS SPECIFIED.
- CONTRACTOR TO PROVIDE APPROPRIATE SOUND BARRIERS WITHIN THE CONVECTOR WHERE PARTITIONS MEET THE PERIMETER WINDOW MULLIONS.
- CONTRACTOR TO REFER TO THE PARTITION PLAN FOR ALL WALLS THAT CONTINUE ABOVE SUSPENDED CEILING.
- CONTRACTOR TO REVIEW MECHANICAL DRAWINGS TO ENSURE PROVISION FOR AIR TRANSFER OPENINGS ABOVE CEILING PARTITION CONSTRUCTION.
- CONTRACTOR SHALL NOT USE MECHANICAL FASTENERS TO BOND BUILDING CEILING GRID, 1-BAR, OR WINDOW MULLIONS (GLASSY CLIPS ONLY).
- CONTRACTOR TO ENSURE THAT ACOUSTICAL CAULKING IS PROVIDED AT ALL PARTITION CONNECTIONS TO COLUMNS, CORE, FINISHED CEILING, FLOOR & CEILING SLAB.
- ALL MATERIALS USED SHALL BE NEW, UNLESS OTHERWISE NOTED.
- IN LOCATIONS WHERE BASE BUILDING WALLS OR COLUMNS ARE TO RECEIVE ELECTRICAL CONDUIT AND BOXES, DRYWALL CONTRACTOR IS RESPONSIBLE FOR FURRING, CUTTING, PATCHING, & FINISHING AS PER SPECIFICATIONS AT COMPLETION OF ELECTRICAL WORK.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS TO T1 STUDIOS FOR APPROVAL OF MILLWORK UNITS PRIOR TO FABRICATION.
- ALL NEW WALLS TO BE CONSTRUCTED ON GRID OR 1/2 GRID UNLESS OTHERWISE NOTED ON PLAN.
- ALL PERIMETER DIMENSIONS ARE FROM INSIDE FACE OF THE WINDOW FRAMES.
- WHERE NEW PARTITIONING ARE LOCATED ADJACENT TO EXISTING, CONTRACTOR TO ENSURE THAT PARTITION MATCHES NEW PARTITION CONSTRUCTION. CONTRACTOR TO CONTACT T1 STUDIOS FOR ANY AREA IN QUESTION.
- ALL ANGLED WALLS TO BE AT 45 DEGREES TO THE CEILING GRID UNLESS NOTED OTHERWISE ON DRAWINGS.

ROOF SCHEDULE

TYPE	CONSTRUCTION MATERIALS	NOTES
R01	STANDING SEAM ROOF PANELS BASED CLIP/BRIDGE FRAMING 2 FULL DEPTH LAYERS OF INSUL. INO COMPRESSION VAPOUR BARRIER FACING PREFINISHED METAL LINER	
R02	SYSTEM EFFECTIVE R-VALUE = R34 75 STONE BALLAST EPDM MEMBRANE, 1.5mm 100 EPS TAPERED INSUL. (R50) (AS SHOWN ON PLAN) 4 HR POLY VAPOUR BARRIER (ALL JOINTS SEALED) METAL ROOF DECK - SLOPED REFER TO STRUCTURAL DRAWINGS	

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CONSULTANT SEAL

ISSUED
1 ISSUE FOR DP APPLICATION

DATE
2024-11-04

CLIENT / OWNER

SUBARU CALGARY

DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT

T1 STUDIOS ARCHITECTURE
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PROJECT NAME AND ADDRESS

SUBARU CALGARY EXPANSION
1100 MERIDIAN RD NE
CALGARY, ALBERTA, T2A 2N9

LEGAL ADDRESS: 7655HF, 1: B

DRAWING TITLE

PROPOSED ROOF PLAN

SCALE: AS INDICATED DATE: 04/02/24

DRAWN BY: Author CHECKED BY: Checker

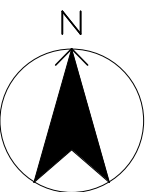
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DWG No.

DP2.4

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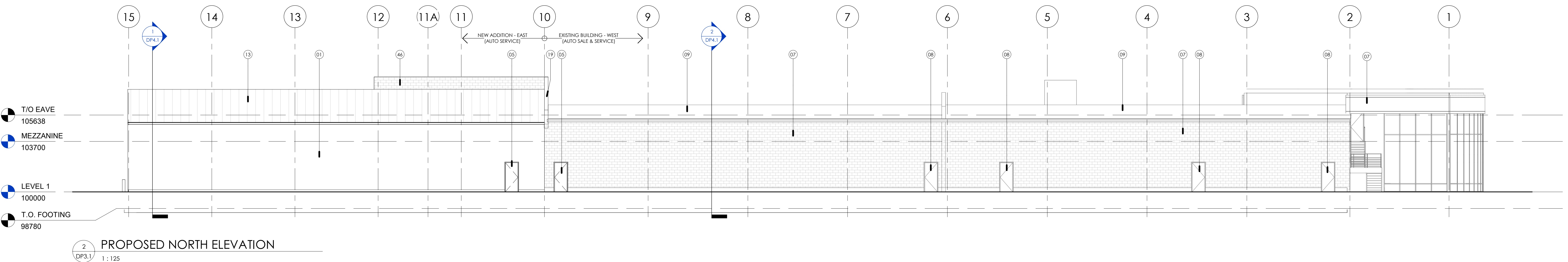
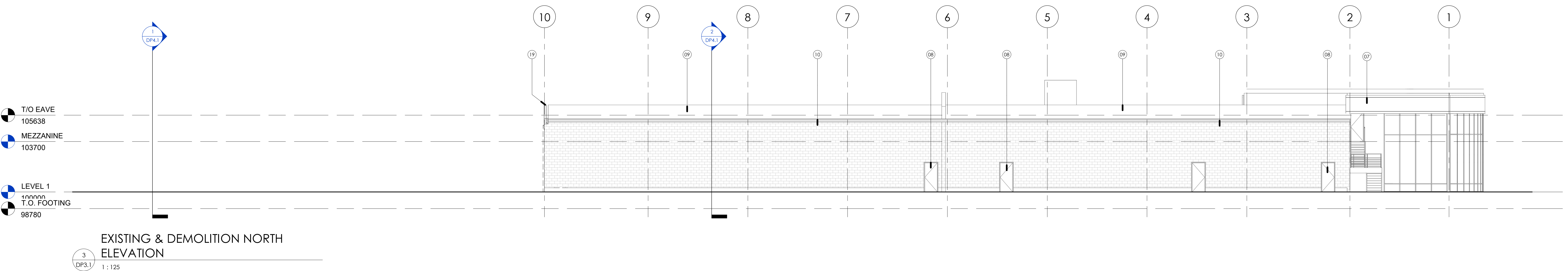
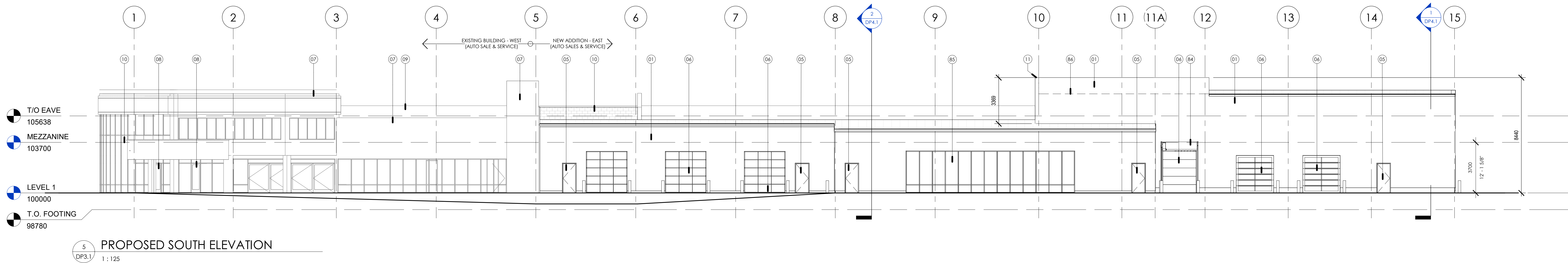
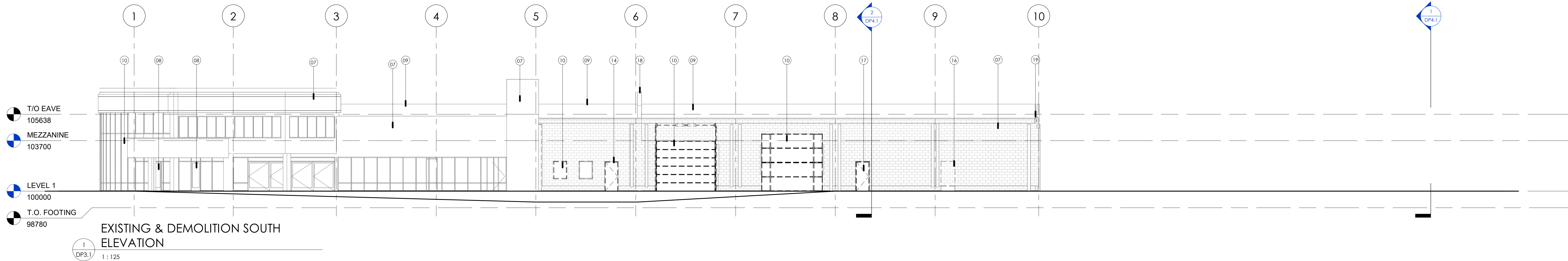


Exterior Finish Legend

- 01 PROPOSED PREFINISHED CORRUGATED METAL SIDING.
- 02 PROPOSED PREFINISHED GUTTER & DOWNSPOUT, COLOUR TBD
- 03 PROPOSED PREFINISHED CAP FLASHING, COLOUR TBD
- 04 PROPOSED STANDING SEAM METAL ROOF, COLOUR TBD
- 05 PROPOSED NEW EXTERIOR MAN DOOR
- 06 PROPOSED NEW OVERHEAD DOOR
- 07 EXISTING BUILDING EXTERIOR WALL & FINISH TO REMAIN
- 08 EXISTING MAN/OVERHEAD DOOR
- 09 EXISTING ROOF TO REMAIN

Keynote Legend

Key Value	Keynote Text
01	PROPOSED PREFINISHED METAL PANELS, COLOUR TBD.
02	PROPOSED NEW EXTERIOR MAN DOOR.
05	PROPOSED NEW EXTERIOR OVERHEAD DOOR.
06	EXISTING BUILDING EXTERIOR WALL & FINISH TO REMAIN.
07	EXISTING MAN/OH DOOR TO REMAIN. ELEC ENG TO CONFIRM EXISTING LIGHTING CONFORMS WITH CODE REQUIREMENTS.
08	EXISTING ROOF TO REMAIN.
09	EXISTING WINDOW TO BE REMOVED. INFILL WITH CHU BLOCK TO CONFORM TO NEW 4 HR FR FIRE WALL.
10	EXISTING WINDOW TO BE REMOVED. INFILL WITH CHU BLOCK TO CONFORM TO NEW 4 HR FR FIRE WALL.
11	NEW PARAPET ON EXISTING CHU BLOCK WALL TO BE EXTENDED TO A HEIGHT OF 100 mm ABOVE EXISTING ROOF TO CONFORM TO REQUIREMENTS OF 4 HR FR FIRE WALL.
12	NEW LOW SLOPE STANDING SEAM ROOFING, TYP IN TO EXISTING ROOFING AS REQUIRED.
13	EXISTING DOOR TO BE REPLACED WITH 3 HR FR MAN DOOR TO CONFORM TO REQUIREMENTS OF 4 HR FR FIRE WALL, FIRE CALLING AS REQUIRED.
14	WALL TO BE CUT TO RECEIVE NEW DOOR. PATCH/REPAIR WALL AS REQUIRED TO ENSURE GOOD FINISH.
15	EXISTING DOOR TO BE REMOVED. WALL TO BE INFILLED WITH CHU BLOCK. PATCH/REPAIR WALL AS REQUIRED TO ENSURE GOOD FINISH.
16	EXISTING FIREWALL TO REMAIN.
17	EXISTING UPPER PORTION OF STEEL STUD WALL TO BE REMOVED. CHU BLOCK TO BE EXTENDED UP TO REQUIREMENTS FOR 4 HR FR FIRE WALL.
18	PROPOSED NEW CHU 4 HR FIRE WALL.
19	PROPOSED EXTERIOR FIRE SHUTTER IN FIRE WALL, AS REQUIRED.
46	PROPOSED NEW CURTAIN WALL.
84	EDGE OF ROOF, BEHIND PARAPET.



CONSULTANT SEAL

ISSUED 1 ISSUE FOR DP APPLICATION DATE 2024-11-04

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SUBARU CALGARY



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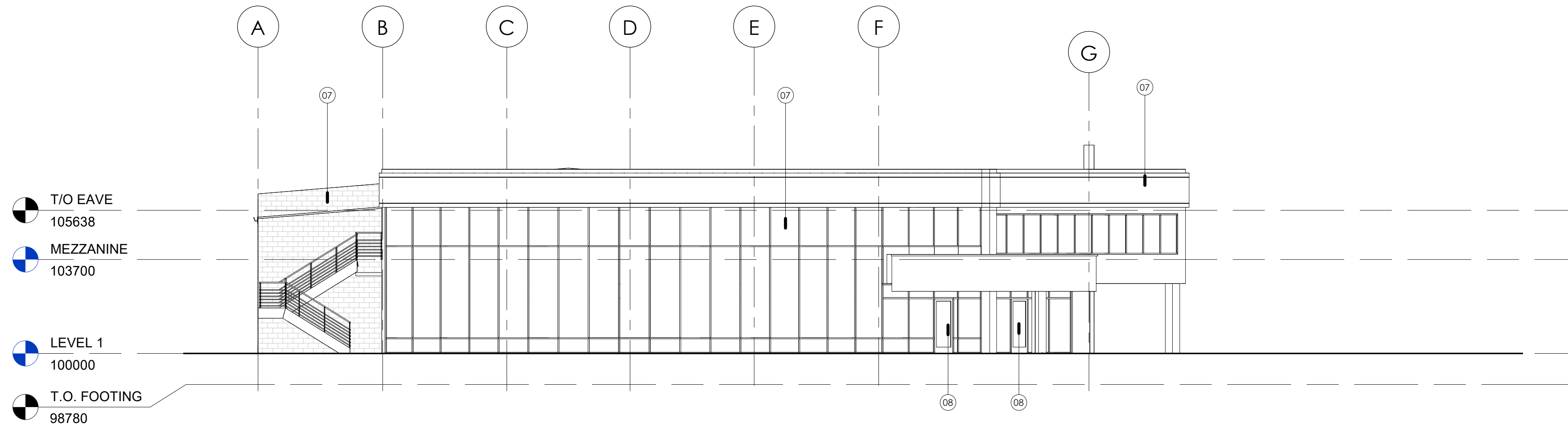
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EXISTING & PROPOSED EXTERIOR
ELEVATIONS

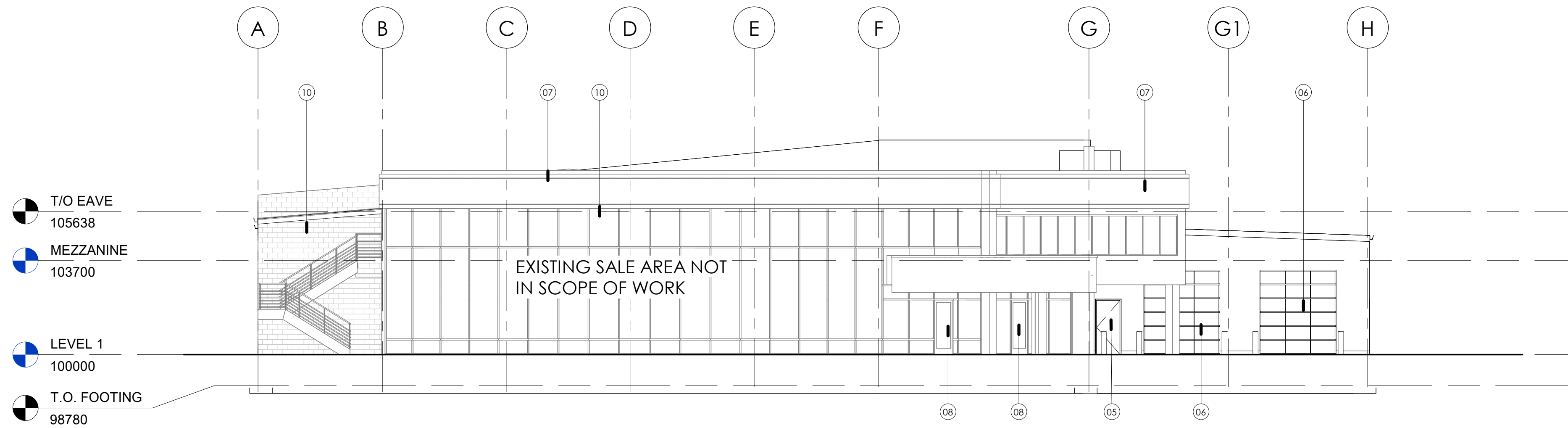
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DP3.1

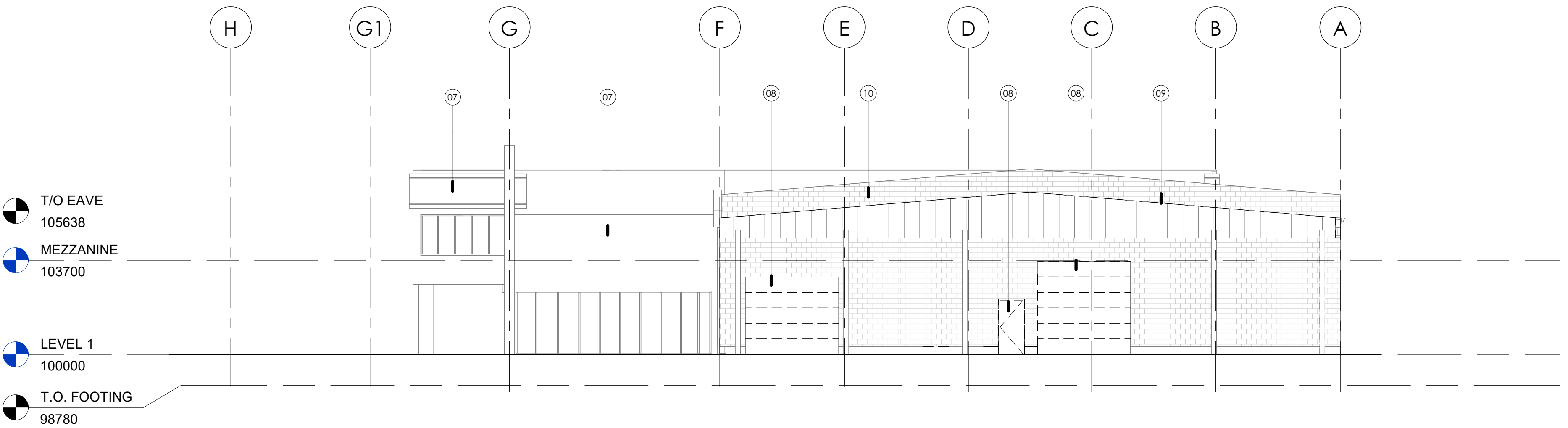
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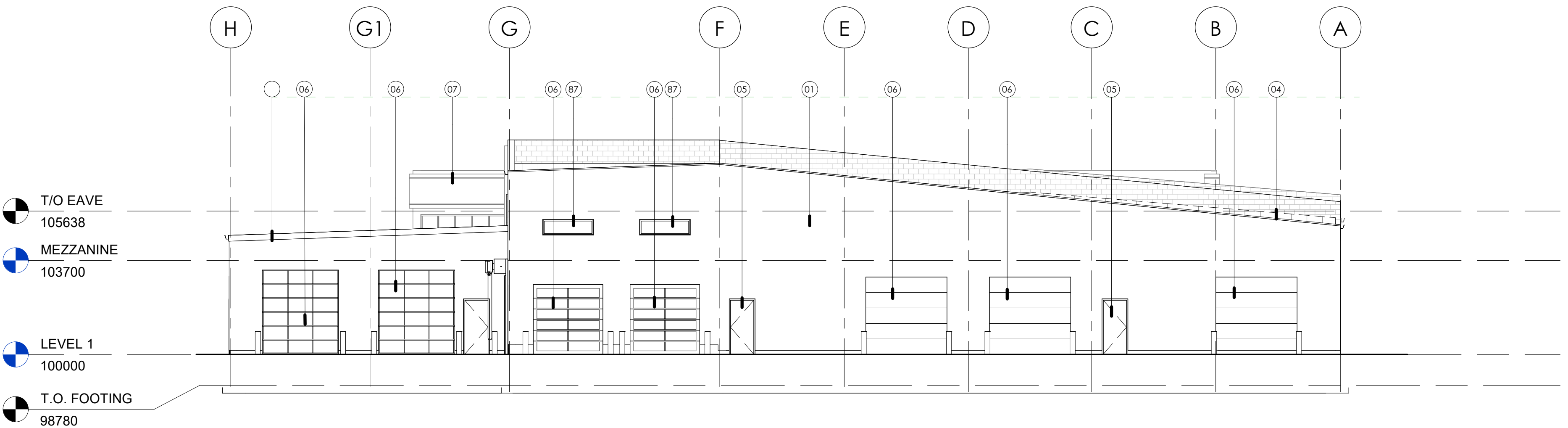
5 EXISTING WEST ELEVATION
DP3.2 1 : 125



2 PROPOSED WEST ELEVATION
DP3.2 1 : 125



1 EXISTING EAST ELEVATION
DP3.2 1 : 125

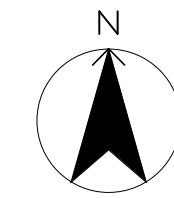


4 PROPOSED EAST ELEVATION
DP3.2 1 : 125

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CONSULTANT SEAL

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CLIENT / OWNER

SUBARU CALGARY



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BUILDING PERMIT #:

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PROJECT NAME AND ADDRESS

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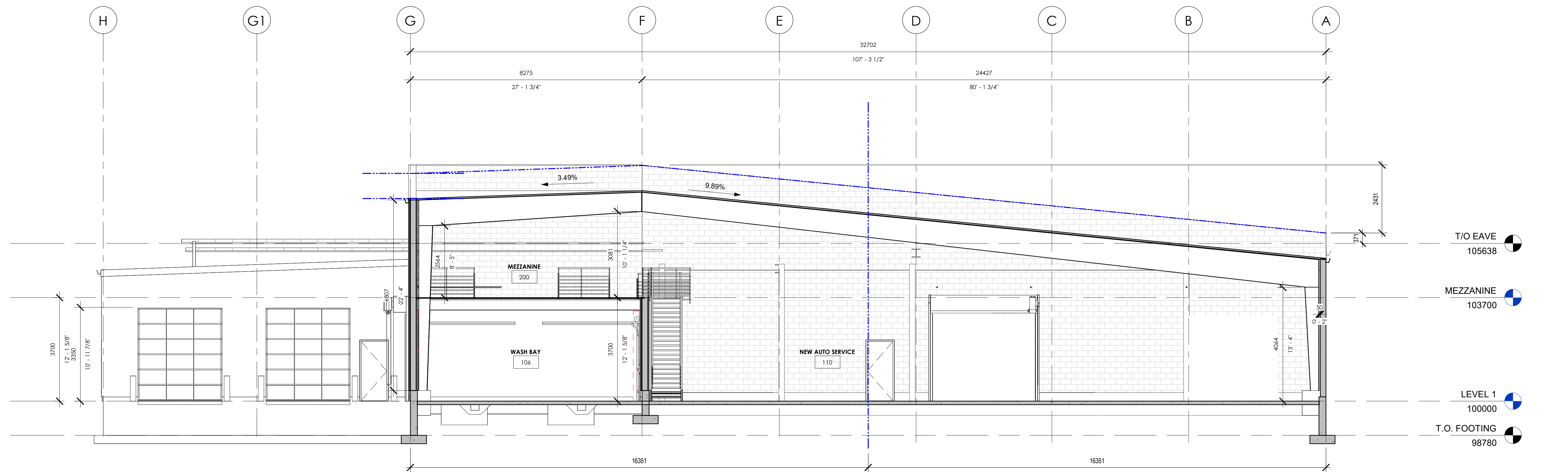
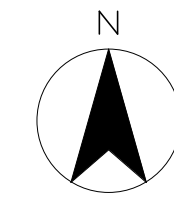
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**EXISTING & PROPOSED EXTERIOR
ELEVATIONS**

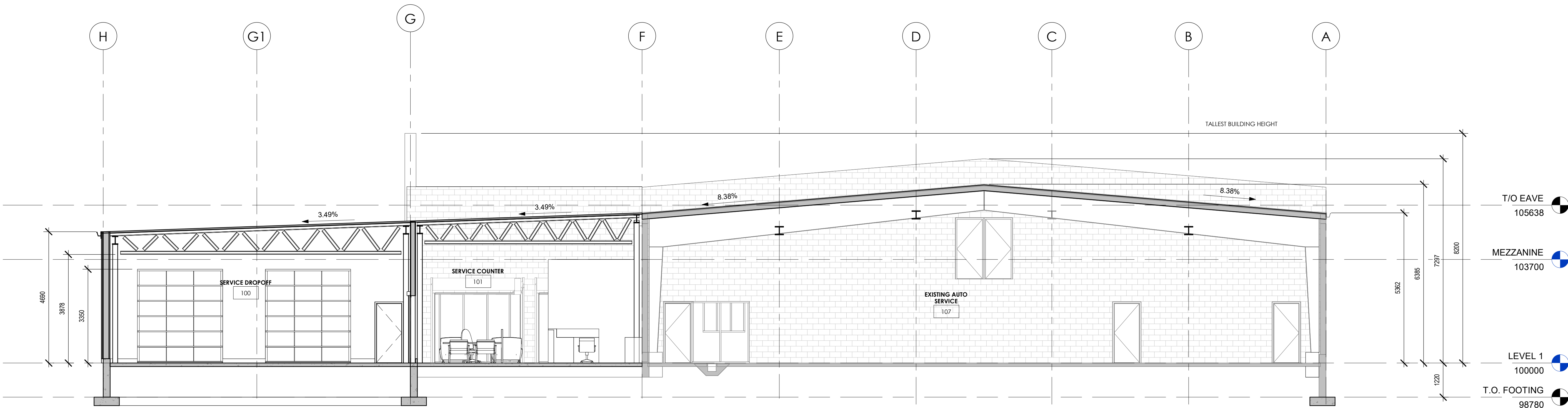
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DP3.2

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1 Section 1
DP4.1 1:75



2 Section 2
DP4.1 1:75

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BUILDING SECTIONS

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DP4.1