

SUBARU CALGARY EXPANSION

1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

ISSUED FOR DTR 2 RESPONSE - 2026-02-13



Architectural	
T.I. STUDIOS ARCHITECTURE Inc. 1802 11 St SE Unit F201 Calgary, AB T2G 3G2 Phone: 403.806.0555 Fax: 403.806.0558	
	
ARCHITECTURAL	
DP0.1	COVER PAGE
DP0.2	PROJECT INFORMATION & GENERAL NOTES
DP0.3	BUILDING CODE SUMMARY, LIFE SAFETY PLANS
DP1.1	EXISTING & DEMO SITE PLAN
DP1.2	PROPOSED SITE PLAN
DP1.3	SITE DETAILS
DP1.4	GARAGE ENCLOSURE DETAILS
DP1.5	VEHICLE MANEUVERING
DP1.6	VEHICLE MANEUVERING
DP2.1	EXISTING & DEMO FLOOR PLAN
DP2.2	LEVEL 1 OVERALL KEY PLAN
DP2.3	LEVEL 1 CONSTRUCTION PLAN
DP2.4	MEZZANINE & LARGE SCALE CONSTRUCTION PLANS
DP2.5	ROOF PLAN
DP3.1	SOUTH & WEST EXTERIOR ELEVATIONS
DP3.2	NORTH & EAST EXTERIOR ELEVATIONS
DP4.1	BUILDING SECTIONS

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

CONSULTANT SEAL

ISSUED	DATE
1	ISSUED FOR DP APPLICATION 2024-11-04
2	ISSUED FOR DTR RESPONSES 1 2025-07-14
3	ISSUED FOR DP REVISION 2025-09-22
5	ISSUED FOR DTR COMMENTS 2025-11-04
8	ISSUED FOR DTR 2 RESPONSE 2026-02-13

CLIENT / OWNER



DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**
1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

LEGAL ADDRESS:

DRAWING TITLE

COVER PAGE

SCALE:	1 : 50	DATE:	2026-02-13
DRAWN BY:	TD	CHECKED BY:	HB
PRINT ON:	A0	PROJECT No.	24-224
DWG No.			

DP0.1

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

THESE DRAWINGS ARE NOT TO BE USED FOR THE FOLLOWING:
PRECING OR TENDERING
CONSTRUCTION
NO CONSTRUCTION SHALL BEGIN WITHOUT AN APPROVED AND RELEASED BUILDING PERMIT FOR THE PROJECT, ISSUED BY THE AUTHORITY HAVING JURISDICTION.
E. BUDGET Architecture Inc. shall not be held liable for any errors, omissions, delays or unforeseen issues caused by work being performed without an approved building permit and issued construction drawings.

PRIME CONSULTANT SEAL

ISSUED DATE
1 ISSUED FOR DP APPLICATION 2024-11-04
2 ISSUED FOR DTR RESPONSES 1 2025-07-14
3 ISSUED FOR DTR RESPONSES 2 2025-02-05

CLIENT / OWNER

DEVELOPMENT PERMIT # DP_###
BUILDING PERMIT # BP_###

PRIME CONSULTANT

PROJECT NAME AND ADDRESS

SUBARU CALGARY
EXPANSION

1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS P7655HF, BLOCK 1, LOT B & LOT 11

DRAWING TITLE

EXISTING & DEMO
SITE PLAN

SCALE: As indicated DATE: 2025-01-20

DRAWN BY: RC CHECKED BY: CHKD
PRINT ON: A0 PROJECT No. 24.224

DWG No.

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

DP1.1

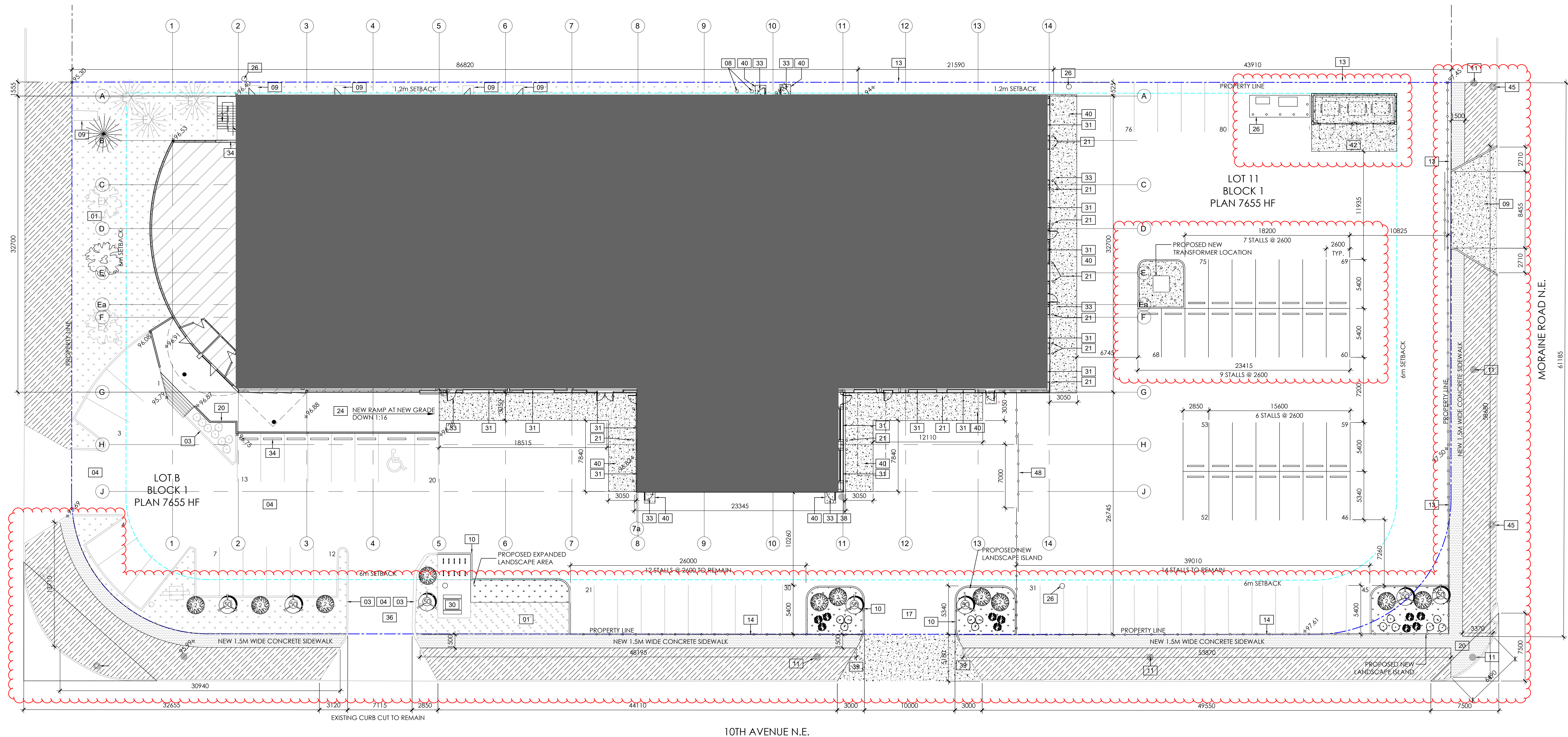
DP1.1

DP1.1

DP1.1

DP1.1

DP1.1



1 PROPOSED SITE PLAN
DP1.2 1:200

SITE LEGEND

	EXISTING GRASS LANDSCAPING
	EXISTING IRRIGATION TO REMAIN
	EXISTING LOW-DUTY ASPHALT PAVING
	EXISTING GEODETIC ELEVATION - REFER TO CIVIL FOR ADDITIONAL DATA POINTS
	EXISTING HYDROSEED
	EXISTING BUILDING TO REMAIN
	PROPOSED CITY OF CALGARY SIDEWALK
	PROPOSED HYDROSEED
	PROPOSED CONCRETE - REFER TO PROPOSED SITE PLAN
	PROPOSED GRASS LANDSCAPING IRRIGATION REQUIRED

LEGAL ADDRESS

LOT: B & 11
BLOCK: 1
7655 HF

MUNICIPAL ADDRESS

1100 MERIDIAN ROAD NE
CALGARY, AB

SITE AREA

9,189.2 m²
2,271.00 m²

FLOOR AREA RATIO:

EXISTING: 1.885 m² / 9,189.2 m² = 0.205 (20.5%)
PROPOSED: 3,484.0 m² / 9,189.2 m² = 0.374 (37.4%)

BYLAW ZONING

IC - INDUSTRIAL COMMERCIAL ZONE

***ALL FINISHED GRADES TO BE DETERMINED BY CIVIL ENGINEER. PROPOSED SITE GRADES AS SHOWN ON ARCHITECTURAL SITE PLAN ARE TO SET MAIN FLOOR ELEVATIONS ONLY. DGP GRADING PLAN SHALL GOVERN IN ALL CIRCUMSTANCES.**

***ALL CATCH BASINS AS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE PURPOSES ONLY. FINAL QUANTITY AND LOCATION OF ALL CATCH BASINS AND SITE DRAINING INCLUDING FLOODING SHALL BE DETERMINED BY CIVIL ENGINEER (SEWAGE WATER MANAGEMENT PLAN).**

SITE NOTES

- EXISTING LANDSCAPED AREA.
- EXISTING IRRIGATION TO REMAIN.
- EXISTING STORM SYSTEM TO BE MODIFIED. REFER TO CIVIL.
- EXISTING CONCRETE CURB.
- EXISTING CURB TO REMAIN. SITE ACCESS FROM THIS LOCATION TO REMAIN AS IS.
- DESIGNATED LOADING AREA (MIN. 3.1m X 9.2m X 4.3m CLEAR HEIGHT) TO BE RELOCATED.
- EXISTING WASTE/RECYCLING BIN LOCATION (ROLL OUT SERVICE) TO BE RELOCATED.
- EXISTING DRIVE ABLE FLARES.
- EXISTING OVERHEAD DOOR.
- EXISTING CONCRETE-FILLED STEEL BOLLARD.
- EXISTING CONCRETE PAD TO BE REMOVED.
- NEW CONCRETE CURB.
- EXISTING POWER POLE.
- BARRIER-FREE PARKING STALL. PAVEMENT MARKING AND SIGNAGE TO MEET CITY OF CALGARY STANDARDS.
- EXISTING FENCING TO REMAIN.
- EXISTING FENCING TO BE REMOVED.
- EXISTING POWER POLE TO BE RELOCATED. REFER TO PROPOSED PLAN FOR REVISED LOCATION.
- EXISTING CONCRETE PAD TO BE REMOVED.
- NEW ASPHALT DRIVEWAY.
- EXISTING SITE ACCESS TO REMAIN AS IS. GRADING TO BE PATCHED AND MADE SMOOTH. NO NEW GROUND FINISH OR CHANGE IN USE.
- EXISTING CHAIN LINK FENCE ROLLING GATE TO BE REMOVED AND REPLACED WITH NEW CHAIN LINK FENCE.
- PROPOSED CITY OF CALGARY SIDEWALK C/W BARRIER-FREE RAMP AT INTERSECTION OF 10 AVENUE & MORRIS STREET.
- PROPOSED STEEL CONCRETE FILLED BOLLARD REFER TO S/A1.0.
- EXISTING PRIMARY BUILDING ENTRY.
- EXISTING CONCRETE STAIRS - 7 RISERS.
- CONCRETE RAMP TO BE DEMOLISHED AND RE-POURED TO MEET PROPOSED GRADES - REFER TO CIVIL.
- EXISTING CATCH BASIN - REFER TO CIVIL.
- EXISTING SITE POLE LIGHTING.
- EXISTING BUILDING MOUNTED SITE LIGHTING.
- PROPOSED BUILDING MOUNTED SITE LIGHTING REFER TO ELEVATIONS (A4.1).
- EXISTING TALL SIGNAGE ON CONCRETE PAD.
- PROPOSED EMPLOYEE AMENITY AREA.
- EXISTING 3.2m X 3.2m = 10m².
- PROPOSED OVERHEAD DOOR - REFER TO ELEVATIONS.
- EXISTING CONCRETE PAD TO BE REMOVED.
- PROPOSED HALL DOOR.
- EXISTING ANCHORED CONCRETE WHEELSTOP. REFER TO SITE DETAILS.
- EXISTING CANTEEN/ROOF.
- EXISTING DRIVEWAY.
- EXISTING CLASS-2 BICYCLE PARKING STALLS. REFER TO S/A1.0.
- PROPOSED RELOCATED POWER POLE THIS LOCATION.
- NEW ASPHALT FLARES.
- PROPOSED CONC PAD.
- PROPOSED LOCATION OF LOADING AREA (MIN. 3.1m X 9.2m X 4.3m CLEAR HEIGHT).
- PROPOSED LOCATION OF GARBAGE ENCLOSURE. REFER TO GARBAGE ENCLOSURE DETAILS.
- EXISTING SHED TO BE REMOVED.
- EXISTING CHAIN LINK FENCE ROLLING GATE.
- EXISTING COC SIGNAGE (STOP, NO PARKING, ETC.)
- 7.5m X 7.5m VISIBILITY TRIANGLE AT INTERSECTION.
- DIVERSION TAKEN FROM FACE OF CURB. NO PROPOSED OBSTRUCTIONS WITHIN THIS AREA ARE PERMITTED TO EXCEED 0.75m IN HEIGHT.
- NEW LOCATION FOR USED OIL & COOLANT TANKS.
- NEW FENCE TO SECURE BACK LOT.
- SIGNIFICANT REMOVAL AND PATCHING OF ASPHALT IN THE FRONT LOT. REFER TO CIVIL.

PARKING

VEHICLE PARKING STALLS - MAJOR USE - 1 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 715 m² (EXISTING) 8 STALLS = 2.27 m² PROPOSED 23 STALLS.

VEHICLE PARKING STALLS - VEHICLE SALES - MAJOR USE - 4 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 1,145.0 m² (EXISTING TO REMAIN) = 47 STALLS.

1.0 PARKING SPACE FOR EVERY INVENTORY VEHICLE ON THE PARCEL = 23

EXISTING PARKING STALLS - 145

23 + 47 + 23 = 93 VEHICLE PARKING STALLS REQUIRED

PROPOSED 93 VEHICLE PARKING STALLS

BICYCLE PARKING STALLS - MAJOR USE - 1 CLASS-2 BICYCLE PARKING STALL PER 200.0 m² OF FLOOR AREA PROVIDED PROPOSED BUILDING GFA AREA = 2,279 m² 947.5 m² / 200 m² = 0.47

BICYCLE PARKING STALLS - VEHICLE SALES - MAJOR USE - 1 CLASS-2 BICYCLE PARKING STALL PER 250.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 1,145.0 m² 117.0 m² / 250 m² = 0.46

4.66 = 5 CLASS-2 BICYCLE STALLS (REQUIRED AND PROVIDED)

LOADING STALLS

1 LOADING STALL PER 9,300 m² OF FLOOR AREA PROVIDED. BUILDING GFA AREA = 11,450 m² 117.0 m² / 9,300 m² = 0.0126

LOADING STALLS = 3.1m WIDE X 9.2m LONG X 4.3m TALL CLEAR BUILDING GFA AREA = 2640.0 m² = 1 LOADING STALL

LANDSCAPING

LANDSCAPING REQUIREMENTS:

TOTAL # OF TREES:

WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST PROVIDE A MINIMUM OF 1 TREE AND 2 SHRUBS FOR EVERY 35.0 m².

TOTAL SETBACK AREA WITH LANDSCAPE = 516.07 m² 516.07 m² / 35.0 m² = 14.7

MINIMUM REQUIRED TREES: 15

MINIMUM REQUIRED SHRUBS: 30

TREES PROVIDED: 7

7 CONIFEROUS TREES

LANDSCAPING LEGEND

DECIDUOUS TREE (85mm CALIPER) MOUNTAIN ASH QUANTITY REQUIRED: 4 QUANTITY EXISTING: 0 PROPOSED: 4 NEW

DECIDUOUS SHRUB (2.0m HIGH MAX.) BLUE OR WHITE SPICE (OR EQUIV.) QUANTITY REQUIRED: 3 QUANTITY EXISTING: 0 PROPOSED: 3 NEW

CONIFEROUS TREE (3.5m HIGH) DWARF MOUNTAIN FINE (OR EQUIV.) QUANTITY REQUIRED: 4 QUANTITY EXISTING: 0 PROPOSED: 4 NEW

CONIFEROUS SHRUB (2m HIGH) DWARF MOUNTAIN FINE (OR EQUIV.) QUANTITY REQUIRED: 4 QUANTITY EXISTING: 0 PROPOSED: 4 NEW

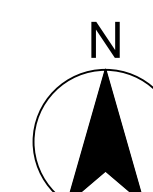
DECIDUOUS SHRUBS: SPECIES INCLUDE: SILVER LEAF DOGWOOD - 3BREMEN CORAL DOGWOOD QUANTITY REQUIRED: 4 QUANTITY PROVIDED: 0 REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

CONIFEROUS SHRUBS: QUANTITY REQUIRED: 4 QUANTITY PROVIDED: 0 REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

NOTE: PROPOSED TREES HAVE BEEN AMENDED TO SHRUBS TO ACCOUNT FOR 50MM UTILITY MAX. HEIGHT REQUIREMENTS. PROPOSED TREES/SHRUBS WITHIN THE SOUTH SETBACK AREA TO BE A MAX HEIGHT OF 2m TYP.

DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

NORTH ARROW



DRAWINGS ARE FOR PRELIMINARY REVIEW ONLY
NOT FOR PERMIT OR CONSTRUCTION

PRIME CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-04
2 ISSUED FOR DTR RESPONSES 1	2025-07-14
3 ISSUED FOR 90% REVIEW	2025-12-18
4 ISSUED FOR DTR RESPONSES 2	2026-02-05
5 ISSUED FOR SUB-TRADE TENDER	2026-02-06

CLIENT / OWNER



OLYMPIC AUTO GROUP

DEVELOPMENT PERMIT # - DP-###

BUILDING PERMIT # - BP-###

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

SUBARU CALGARY EXPANSION
1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS: P7655HF, BLOCK 1, LOT B & LOT 11

DRAWING TITLE

PROPOSED SITE PLAN

SCALE: As indicated DATE: 2026-02-24

DRAWN BY: RC CHECKED BY: CHKD

PRINT ON: A0 PROJECT No. 24-224

DWG No.

DP1.2



DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

NORTH ARROW



THESE DRAWINGS ARE NOT TO BE USED FOR THE FOLLOWING:
PIACING OR TENDERING
CONSTRUCTION PERMIT
CONSTRUCTION SHALL BEGIN WITHOUT AN APPROVED AND RELEASED
CONSIDERING FURTHER FOR THE PROJECT, ISSUED BY THE AUTHORITY HAVING
JURISDICTION.

STUDIOS Architecture Inc. shall not be held liable for any errors, omissions, or unforeseen issues caused by work being performed without the
approved building permit and issued construction drawings.

PRIME CONSULTANT SEAL

ISSUED	DATE
ISSUED FOR DP APPLICATION	2024-11-04
ISSUED FOR DTR RESPONSES 1	2025-07-14
ISSUED FOR DTR RESPONSES 2	2026-02-13

CLIENT / OWNER



OLYMPIC AUTO GROUP

DEVELOPMENT PERMIT #: DP_###

PRIME CONSULTANT

ti STUDIOS
ARCHITECTURE nc

PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**

1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

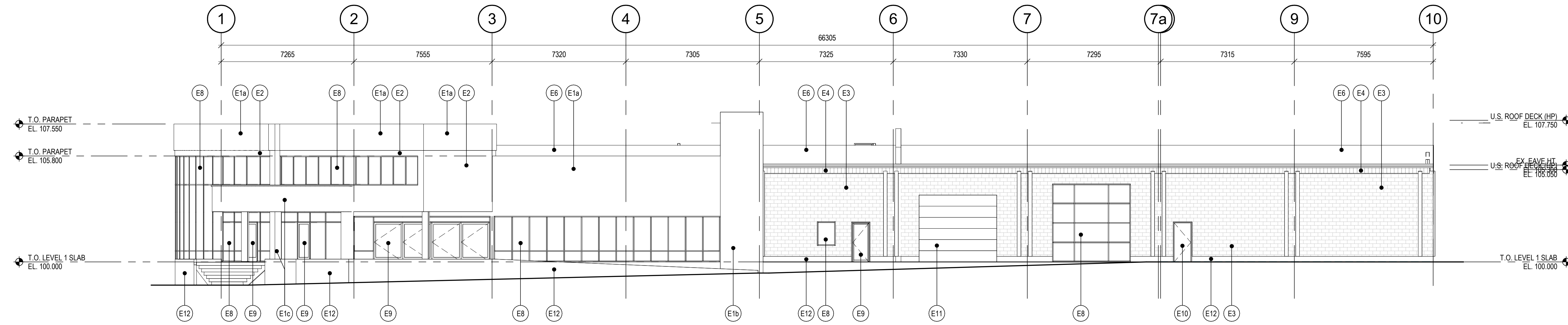
VEHICLE MANEUVERING PLAN

SCALE:	As indicated	DATE:	2026-02-26
DRAWN BY:	RC	CHECKED BY:	CHKD
PRINT ON:	A0	PROJECT No.	24.224

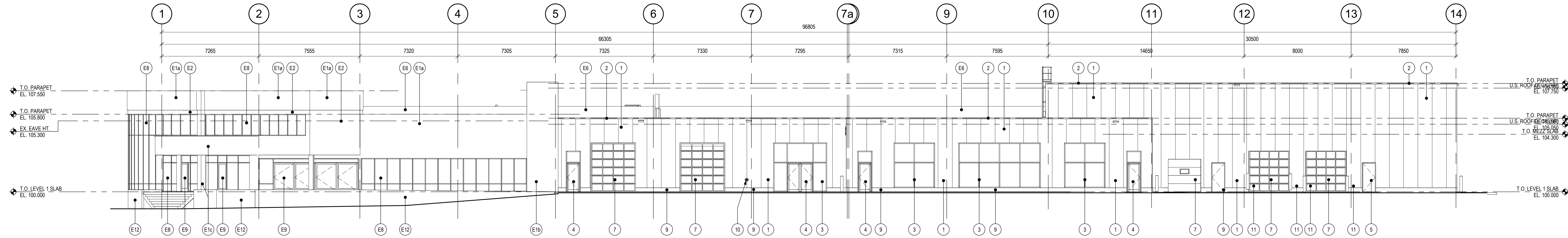
WG No.

DP1.5

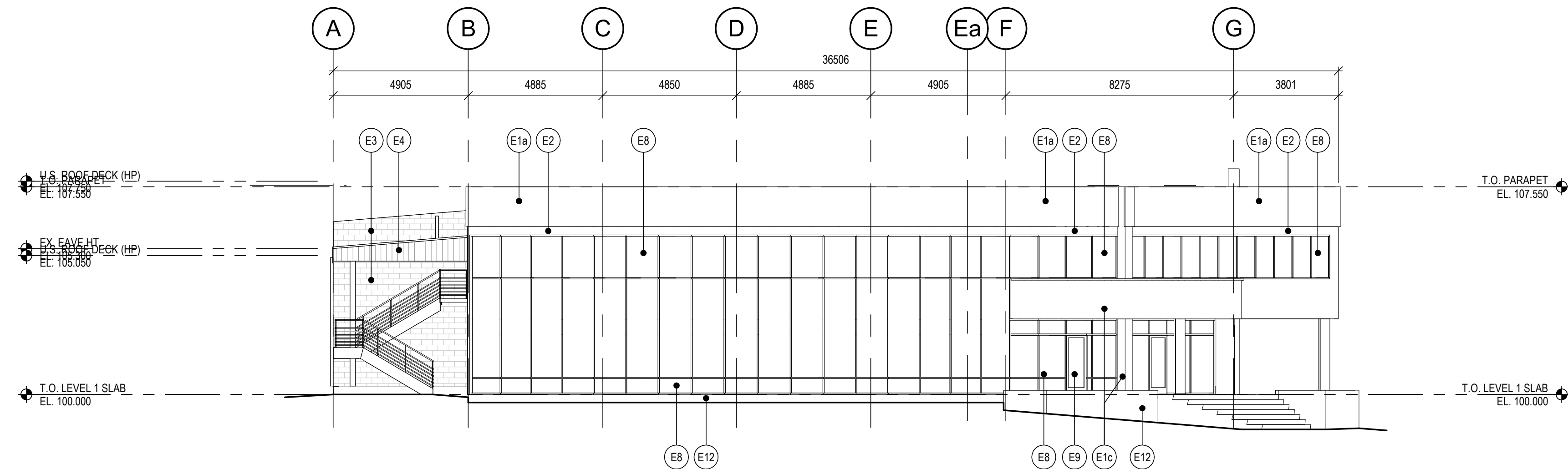
DO NOT SCALE ANY DRAWINGS. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE USED WITHOUT PERMISSION. REPORT ANY ERRORS, OMISSIONS, OR DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.



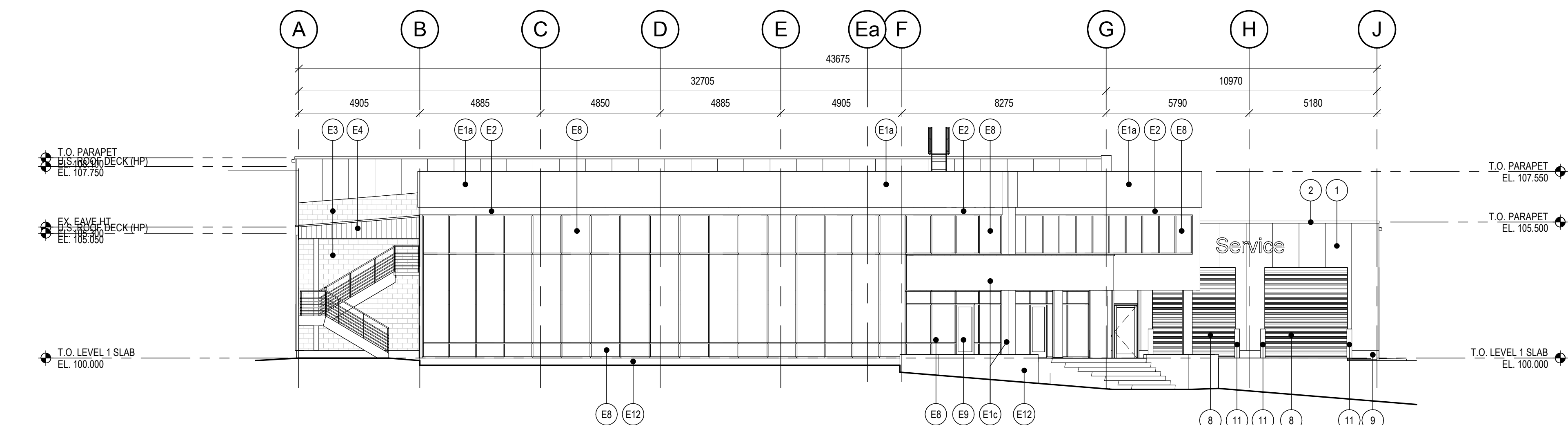
1 South Elevation - Existing
DP3.1 SCALE: 1:125



2 South Elevation - Proposed
DP3.1 SCALE: 1:125
DP2.2



3 West Elevation - Existing
DP3.1 SCALE: 1:125



4 West Elevation - Proposed
DP3.1 SCALE: 1:125
DP2.2

Exterior Elevation Keynotes

EXISTING

- E1 EXISTING ALUMINUM COMPOSITE METAL PANEL
COLOUR: WHITE
b: BLUE
c: SILVER
- E2 EXISTING EPS STUCCO
COLOUR: WHITE
- E3 EXISTING CONCRETE BLOCK
COLOUR: GREY
- E4 EXISTING PREFINISHED METAL CLADDING
COLOUR: GREY
- E5 EXISTING PREFINISHED METAL FASCIA
COLOUR: GREY
- E6 EXISTING ROOF COVER
COLOUR: BLACK
- E7 EXISTING PREFINISHED METAL EAVESTROUGH / GABLE TRIM
COLOUR: GREY
- E8 EXISTING ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: FRAMES: ANODIZED ALUMINUM
GLASS: CLEAR
- E9 EXISTING ALUMINUM FRAME ENTRANCE DOOR
COLOUR: FRAMES: ANODIZED ALUMINUM
GLASS: CLEAR
- E10 EXISTING METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- E11 EXISTING SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- E12 EXISTING EXPOSED CONCRETE WALL
COLOUR: NATURAL CONCRETE

PROPOSED

- 1 INSULATED METAL PANEL
COLOUR: WHITE
- 2 PREFINISHED METAL FLASHING
COLOUR: WHITE
- 3 ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 4 ALUMINUM FRAME ENTRANCE DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 5 METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- 6 SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- 7 GLAZED SECTIONAL OVERHEAD DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 8 GLAZED HIGH SPEED OVERHEAD COILING DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 9 EXPOSED CONCRETE FACED INSULATION
COLOUR: NATURAL CONCRETE

CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-04
2 ISSUED FOR DTR RESPONSES 1	2025-07-14
3 ISSUED FOR DP REVISION	2025-09-22
5 ISSUED FOR DTR COMMENTS	2025-11-04
8 ISSUED FOR DTR 2 RESPONSE	2026-02-13

CLIENT / OWNER



DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**

1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

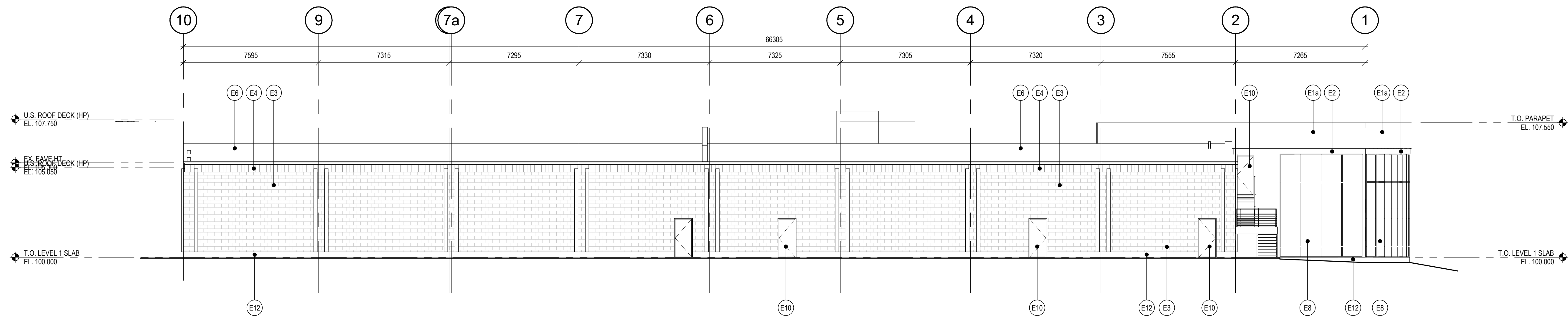
LEGAL ADDRESS:

DRAWING TITLE

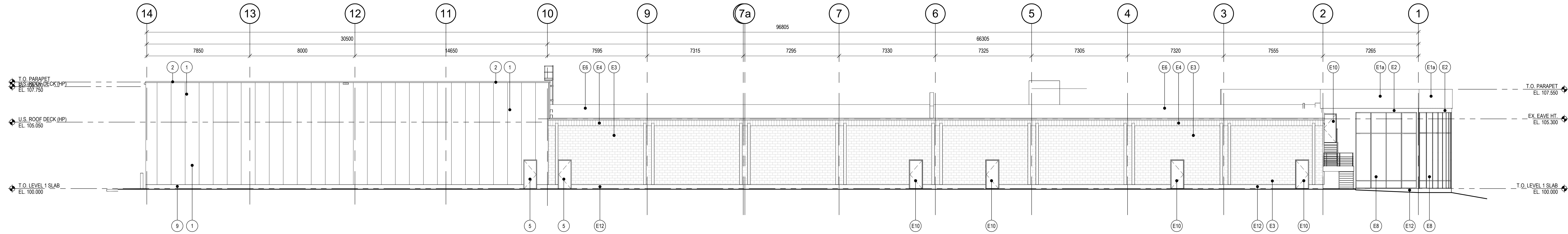
**SOUTH & WEST EXTERIOR
ELEVATIONS**

SCALE:	As indicated	DATE:	2026-02-13
DRAWN BY:	TD	CHECKED BY:	HB
PRINT ON:	A0	PROJECT No.	24-224
DWG No.			

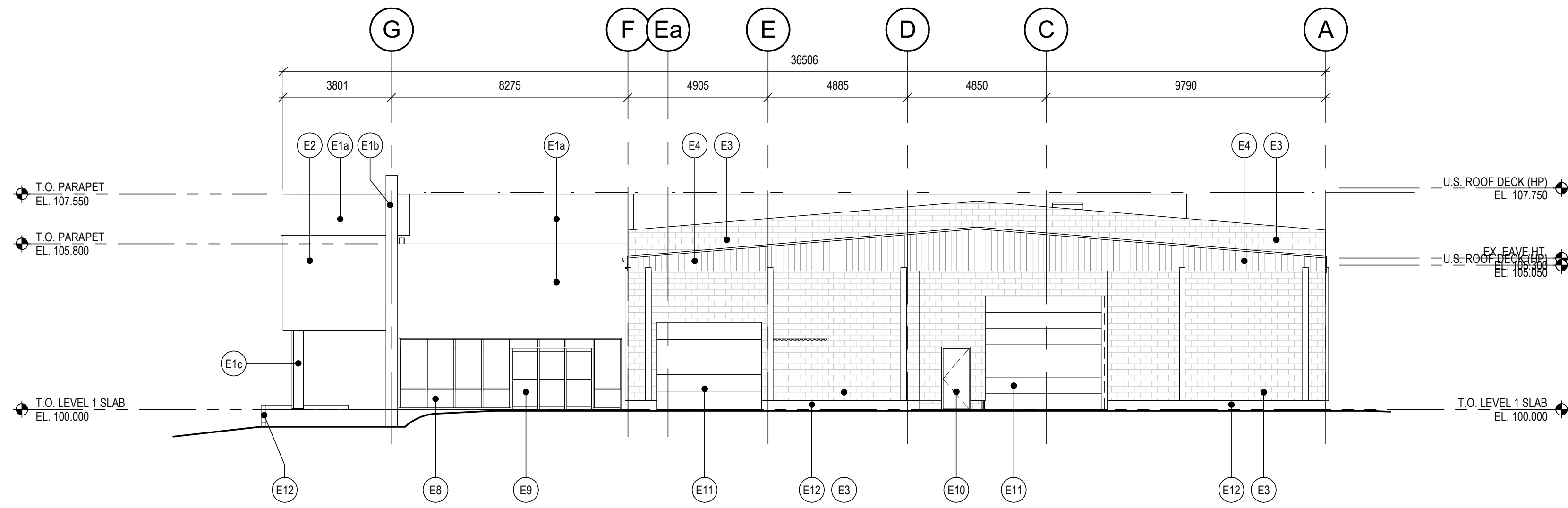
DP3.1



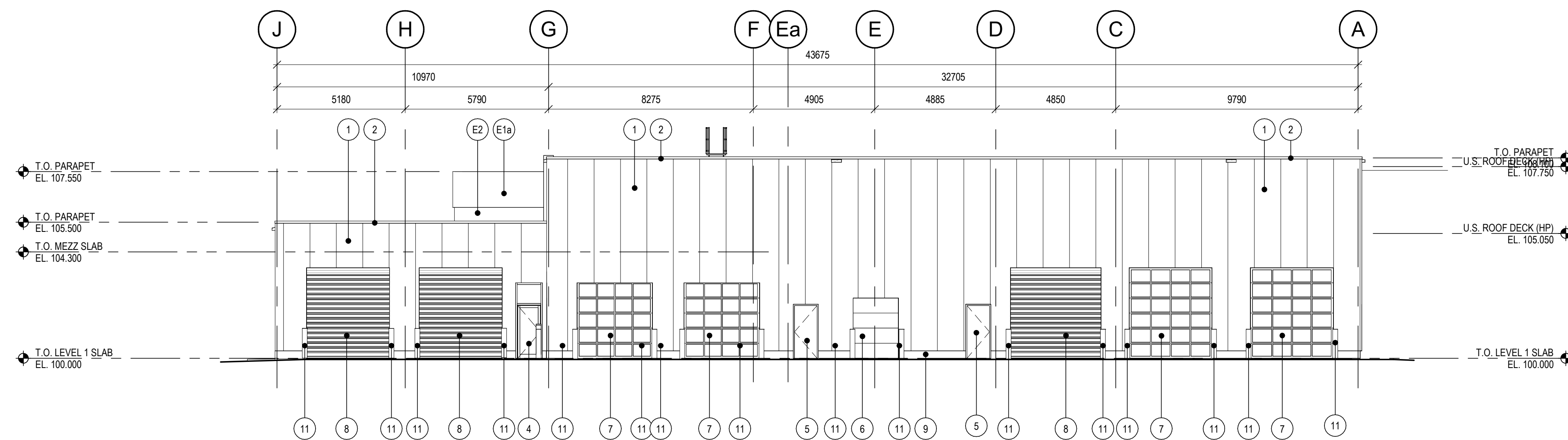
1 North Elevation - Existing
DP3.2 SCALE: 1:125



2 North Elevation - Proposed
DP3.2 SCALE: 1:125
DP2.2



3 East Elevation - Existing
DP3.2 SCALE: 1:125



4 East Elevation - Proposed
DP3.2 SCALE: 1:125
DP2.2

Exterior Elevation Keynotes

EXISTING

- E1 EXISTING ALUMINUM COMPOSITE METAL PANEL
COLOUR: WHITE
b: BLUE
c: SILVER
- E2 EXISTING EIFS STUCCO
COLOUR: WHITE
- E3 EXISTING CONCRETE BLOCK
COLOUR: GREY
- E4 EXISTING PREFINISHED METAL GLAZING
COLOUR: GREY
- E5 EXISTING PREFINISHED METAL FASCIA
COLOUR: GREY
- E6 EXISTING ROOF COVER
COLOUR: BLACK
- E7 EXISTING PREFINISHED METAL EAVESTROUGH / GABLE TRIM
COLOUR: GREY
- E8 EXISTING ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: FRAMES: ANODIZED ALUMINUM
GLASS: CLEAR
- E9 EXISTING ALUMINUM FRAME ENTRANCE DOOR
COLOUR: FRAMES: ANODIZED ALUMINUM
GLASS: CLEAR
- E10 EXISTING METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- E11 EXISTING SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- E12 EXISTING EXPOSED CONCRETE WALL
COLOUR: NATURAL CONCRETE

PROPOSED

- 1 INSULATED METAL PANEL
COLOUR: WHITE
- 2 PREFINISHED METAL FLASHING
COLOUR: WHITE
- 3 ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 4 ALUMINUM FRAME ENTRANCE DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 5 METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- 6 SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- 7 GLAZED SECTIONAL OVERHEAD DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 8 GLAZED HIGH SPEED OVERHEAD COILING DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 9 EXPOSED CONCRETE FACED INSULATION
COLOUR: NATURAL CONCRETE

CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-04
2 ISSUED FOR DTR RESPONSES 1	2025-07-14
3 ISSUED FOR DP REVISION	2025-09-22
5 ISSUED FOR DTR2 COMMENTS	2025-11-04
8 ISSUED FOR DTR 2 RESPONSE	2026-02-13

CLIENT / OWNER



DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**
1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

LEGAL ADDRESS:

DRAWING TITLE

**NORTH & EAST EXTERIOR
ELEVATIONS**

SCALE:	As indicated	DATE:	2026-02-13
DRAWN BY:	TD	CHECKED BY:	HB
PRINT ON:	A0	PROJECT No.	24-224
DWG No.			

DP3.2