

SUBARU CALGARY EXPANSION

1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

ISSUED FOR DTR 3 RESPONSE - 2026-04-09



Architectural	
T.I. STUDIOS ARCHITECTURE Inc. 1802 11 St SE Unit F201 Calgary, AB T2G 3G2 Phone: 403.806.0555 Fax: 403.806.0558	
	
ARCHITECTURAL	
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CONSULTANT SEAL

ISSUED	DATE
1. ISSUED FOR DP APPLICATION	2024-11-04
2. ISSUED FOR DTR RESPONSES 1	2025-07-14
3. ISSUED FOR DP REVISION	2025-09-22
5. ISSUED FOR DTR COMMENTS	2025-11-04
8. ISSUED FOR DTR 2 RESPONSE	2026-02-13
9. ISSUED FOR DTR 3 RESPONSE	2026-04-09

CLIENT / OWNER



SUBARU CALGARY.COM
SUBARU

DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT



T.I. STUDIOS
ARCHITECTURE Inc.

201 - 1902 11 St SE, Calgary, Alberta T2G 3G2
(403) 806-0555 info@tistudios.ca

PROJECT NAME AND ADDRESS

SUBARU CALGARY
EXPANSION

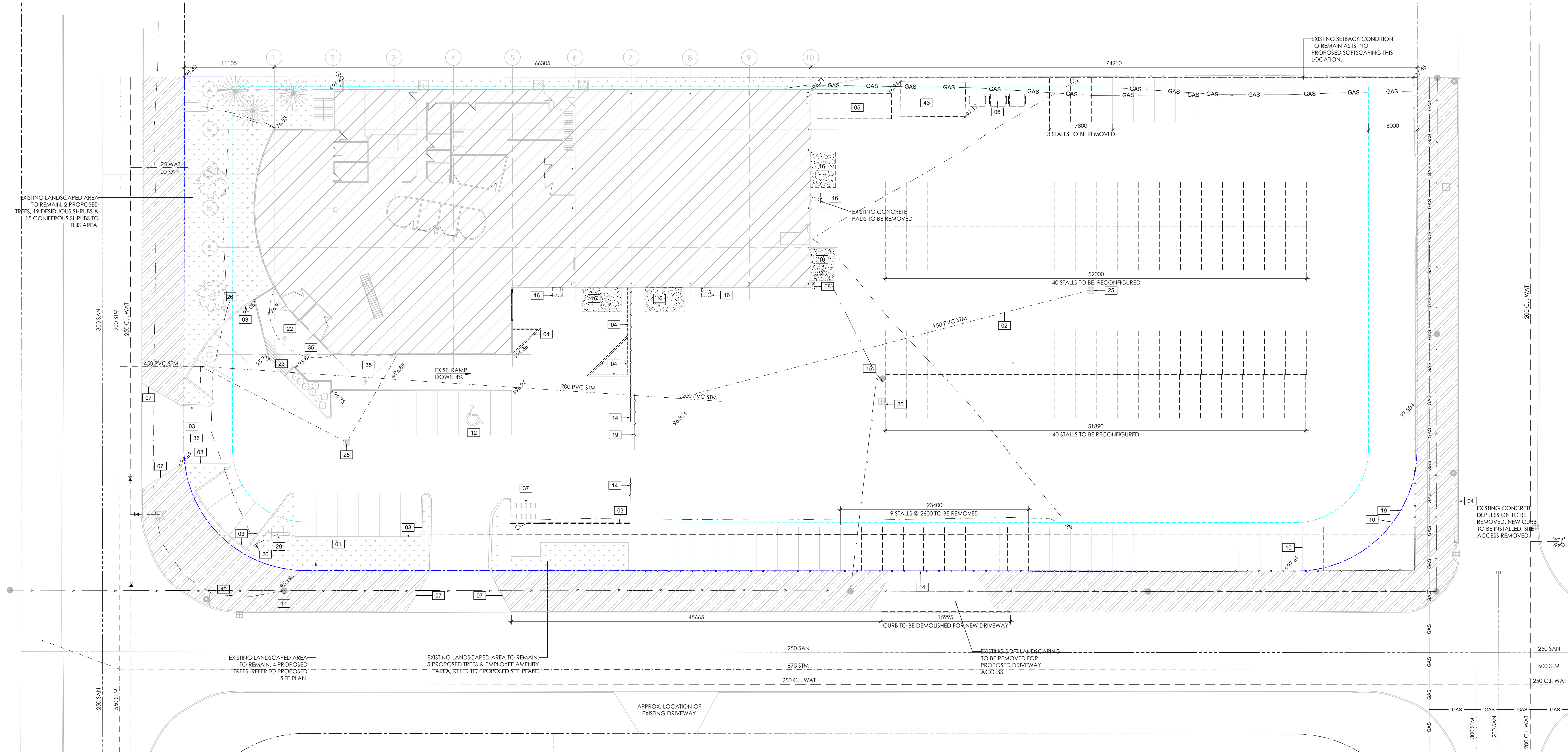
1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

LEGAL ADDRESS:

DRAWING TITLE

COVER PAGE

SCALE:	1 : 50	DATE:	2026-04-09
DRAWN BY:	TD	CHECKED BY:	HB
PRINT ON:	A0	PROJECT No.	24-224
DWG No.	DP0.1		



1 EXISTING/DEMO SITE PLAN
DP1.1 1 : 200

SITE LEGEND

- EXISTING GRASS LANDSCAPING
- EXISTING IRRIGATION TO REMAIN
- EXISTING LOW-DUTY ASPHALT PAVING
- EXISTING GEODETIC ELEVATION - REFER TO CIVIL FOR ADDITIONAL DATA POINTS
- EXISTING HYDROSEED
- EXISTING BUILDING TO REMAIN
- PROPOSED CITY OF CALGARY SIDEWALK
- PROPOSED HYDROSEED
- PROPOSED CONCRETE - REFER TO PROPOSED SITE PLAN
- PROPOSED GRASS LANDSCAPING

LEGAL ADDRESS

LOT: 8 & 11
BLOCK: 1
PLAN: 7655 HF

MUNICIPAL ADDRESS

1100 MERIDIAN ROAD NE
CALGARY, AB

SITE AREA

9,189.2 m²
2,271.00 m²

BUILDING GROSS FLOOR AREA:
EXISTING TOTAL 1,883 m², PROPOSED TOTAL 3,434 m²

FLOOR AREA RATIO:
EXISTING: 1.883 m² / 9,189.2 m² = 0.205 (20.5%)
PROPOSED: 3,434 m² / 9,189.2 m² = 0.374 (37.4%)

BY-LAW ZONING

IC - INDUSTRIAL COMMERCIAL ZONE

***ALL FINISHED GRADES TO BE DETERMINED BY CIVIL ENGINEER.
PROPOSED SITE GRADES AS SHOWN ON ARCHITECTURAL SITE PLAN ARE TO SET MAIN FLOOR ELEVATIONS ONLY. DSEP GRADING PLAN SHALL GOVERN IN ALL CIRCUMSTANCES.**

***ALL CATCH BASINS AS SHOWN ON ARCHITECTURAL SITE PLAN ARE FOR REFERENCE PURPOSES ONLY. FINAL QUANTITY AND LOCATION OF ALL CATCH BASINS AND SITE DRAINING INCLUDING FLOODING SHALL BE DETERMINED BY CIVIL ENGINEER (FROM WATER MANAGEMENT PLAN).**

SITE NOTES

- EXISTING LANDSCAPED AREA.
- EXISTING STORM SYSTEM TO BE MODIFIED. REFER TO CIVIL.
- EXISTING CONCRETE CURB.
- EXISTING CURB TO REMAIN. SITE ACCESS FROM THIS LOCATION TO REMAIN AS IS.
- DESIGNATED LOADING AREA (MIN. 3.1m X 9.2m X 4.3m CLEAR HEIGHT) TO BE RELOCATED.
- EXISTING WASTE/RECYCLING BIN LOCATION (ROLL OUT SERVICE) TO BE RELOCATED.
- PROPOSED OVERHEAD DOOR - REFER TO ELEVATIONS.
- EXISTING DRIVE AISLE FLARES.
- EXISTING CONCRETE-FILLED STEEL BOLLARD.
- EXISTING CONCRETE PAD TO BE REMOVED.
- NEW CONCRETE CURB.
- EXISTING POWER POLE.
- BARRIER-FREE PARKING STALL. PAVEMENT MARKING AND SIGNAGE TO MEET CITY OF CALGARY STANDARDS. REFER TO 2(A).D.
- EXISTING FENCING TO REMAIN.
- EXISTING FENCING TO BE REMOVED.
- EXISTING POWER POLE TO BE RELOCATED. REFER TO PROPOSED PLAN FOR REVISED LOCATION.
- EXISTING CONCRETE PAD TO BE REMOVED.
- NEW ASPHALT DRIVEWAY.
- EXISTING SITE ACCESS TO REMAIN AS IS. GRADING TO BE PATCHED AND MADE SMOOTH. NO NEW GROUND FINISH OR CHANGE IN SIZE.
- EXISTING CHAIN LINK FENCE ROLLING GATE TO BE REMOVED AND REPLACED WITH NEW CHAIN LINK FENCE.
- PROPOSED CITY OF CALGARY SIDEWALK C/W BARRIER-FREE RAMP AT INTERSECTION OF 10 AVENUE & MORRIS STREET.
- PROPOSED STEEL CONCRETE FILLED BOLLARD REFER TO 3(A).D.
- EXISTING PRIMARY BUILDING ENTRY.
- EXISTING CONCRETE STAIRS - 7 RISERS.
- CONCRETE RAMP TO BE DEMOLISHED AND REPOURED TO MEET PROPOSED GRADES. REFER TO CIVIL.
- EXISTING CATCH BASIN - REFER TO CIVIL.
- EXISTING SITE POLE LIGHTING.
- EXISTING BUILDING MOUNTED SITE LIGHTING REFER TO ELEVATIONS - A-4.1.
- EXISTING TALL SIGNAGE ON CONCRETE PAD.
- PROPOSED EMPLOYEE AMENITY AREA 3.2m X 3.2m X 10m².
- PROPOSED OVERHEAD DOOR - REFER TO ELEVATIONS.
- EXISTING OVERHEAD DOOR REFER TO ELEVATIONS (A-4.1).
- PROPOSED MAN DOOR REFER TO ELEVATIONS (A-4.1).
- PROPOSED ANCHORED CONCRETE WHEELSTOP. REFER TO SITE DETAILS.
- EXISTING CANTEEN/BEVERIDGE ROOF.
- EXISTING DRIVEWAY.
- EXISTING CLASS 2 BICYCLE PARKING STALLS REFER TO 3(A).D.
- PROPOSED RELOCATED POWER POLE THIS LOCATION PROPOSED: 15.
- NEW ASPHALT FLARES.
- PROPOSED CONC PAD.
- PROPOSED LOCATION OF LOADING AREA (MIN 3.41m X 7.9m X 4.3m CLEAR HEIGHT).
- PROPOSED LOCATION OF GARAGE ENCLOSURE. REFER TO GARAGE ENCLOSURE DETAILS.
- EXISTING SHED TO BE REMOVED.
- PROPOSED CHAIN LINK FENCE ROLLING GATE.
- EXISTING C/O/S SIGNAGE (STOP, NO PARKING, ETC.) 7.5m X 7.5m VISIBILITY TRIANGLE AT INTERSECTION. DIMENSION TAKEN FROM FACE OF CURB. NO PROPOSED OBSTRUCTIONS WITHIN THIS AREA ARE PERMITTED TO EXCEED 0.75m IN HEIGHT.
- NEW LOCATION FOR USED OIL & COOLANT TANKS.
- NEW FENCE & GATE TO SECURE BACK LOT.
- SIGNIFICANT REMOVAL AND PATCHING OF ASPHALT IN THE FRONT LOT. REFER TO CIVIL.
- NEW 2.0m WIDE PEDESTRIAN WALKWAY. PAINTED LINES ON ASPHALT. COLOUR: TRAFFIC YELLOW.

PARKING

VEHICLE PARKING STALLS - AUTO SERVICE - MAJOR USE:
1. PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 715 m² (EXISTING) - 8 STALLS
= 2.27 m² m² PROPOSED 23 STALLS
VEHICLE PARKING STALLS - VEHICLE SALES - MAJOR USE:
4. PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 1,165.0 m² (EXISTING TO REMAIN) = 47 STALLS
1.0 PARKING SPACE FOR EVERY INVENTORY VEHICLE ON THE PARCEL = 23
EXISTING PARKING STALLS - 145
23 + 47 + 23 = 93 VEHICLE PARKING STALLS REQUIRED
PROPOSED 93 VEHICLE PARKING STALLS
BICYCLE PARKING STALLS - AUTO SERVICE - MAJOR USE:
1. CLASS 2 BICYCLE PARKING STALL PER 2000.0 m² OF FLOOR AREA PROVIDED
PROPOSED BUILDING GFA AREA = 2,271 m²
947.0 m² / 2000.0 m² = 0.47
BICYCLE PARKING STALLS - VEHICLE SALES - MAJOR USE:
1. CLASS 2 BICYCLE PARKING STALL PER 250.0 m² OF FLOOR AREA PROVIDED
BUILDING GFA AREA = 1,165.0 m²
1,172.0 m² / 250.0 m² = 4.68
4.68 = 5 CLASS-2 BICYCLE STALLS (REQUIRED AND PROVIDED)
LOADING STALL:
1. LOADING STALL PER 9,300 m² OF FLOOR AREA PROVIDED. LOADING STALLS = 3.1m WIDE X 9.2m LONG X 4.3m TALL CURB BUILDING GFA AREA = 204.0 m² = 1 LOADING STALL

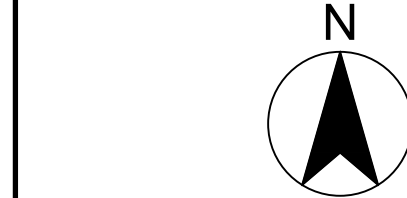
LANDSCAPING

LANDSCAPING REQUIREMENTS:
TOTAL # OF TREES:
WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST PROVIDE A MINIMUM OF 1 TREE AND 2 SHRUBS FOR EVERY 35.0 m²
TOTAL SETBACK AREA WITH LANDSCAPE = 1,681.56 m²
1,681.56 m² / 35.0 m² = 48
MINIMUM REQUIRED TREES (Below Requirement): 48
MINIMUM REQUIRED SHRUBS (Below Requirement): 96
TREES PROVIDED:
7 CONIFEROUS TREES
4 DECIDUOUS TREES
LANDSCAPING TREE
DECIDUOUS TREE (25mm CALIPER)
MOUNTAIN ASH
QUANTITY REQUIRED: 2
QUANTITY EXISTING: 2
PROPOSED: 4 (2 NEW)
DECIDUOUS SHRUB (2.0m HIGH MAX.)
FREE CARE OTOMANDRA (OR EQUIV.)
QUANTITY REQUIRED: 3
QUANTITY EXISTING: 0
PROPOSED: 15
CONIFEROUS TREES (3.5m HIGH)
BLUE OR WHITE SPRUCE (OR EQUIV.)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 3
PROPOSED: 7 (4 NEW) - 63% OF ALL TREES
CONIFEROUS SHRUBS (2m HIGH)
DWARF MOUNTAIN PINE (OR EQUIV.)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 4
PROPOSED: 14
DECIDUOUS SHRUBS:
SPECIES INCLUDE:
SILVER LEAF DOGWOOD
SIBERIAN COTONEASTER
QUANTITY REQUIRED: 22
QUANTITY PROVIDED: 31
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.
CONIFEROUS SHRUBS:
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 31
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

NOTE: PROPOSED TREES HAVE BEEN AMOUNTED TO SHRUBS TO ACCOUNT FOR ENMAX UTILITY R.O.W. REQUIREMENTS IN THE SOUTH SETBACK AREA. PROPOSED TREES/SHRUBS WITHIN THE SOUTH SETBACK ARE TO BE A MAX HEIGHT OF 2m TYP. WITHIN

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NORTH ARROW



DRAWINGS ARE FOR PRELIMINARY REVIEW ONLY
NOT FOR PERMIT OR CONSTRUCTION

PRIME CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-04
2 ISSUED FOR DTR RESPONSES 1	2025-07-14
3 ISSUED FOR DTR RESPONSES 2	2026-02-05
4 ISSUED FOR SUB-TRADE TENDER	2026-02-06
5 ISSUED FOR DTR#3 RESPONSE #2	2026-04-09

CLIENT / OWNER



DEVELOPMENT PERMIT #: DP-###

BUILDING PERMIT #: BP-###

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

SUBARU CALGARY EXPANSION
1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS: P7655HF, BLOCK 1, LOT 8 & LOT 11

DRAWING TITLE

EXISTING & DEMO SITE PLAN

SCALE: As indicated DATE: 2026-04-10

DRAWN BY: RC CHECKED BY: CHKD

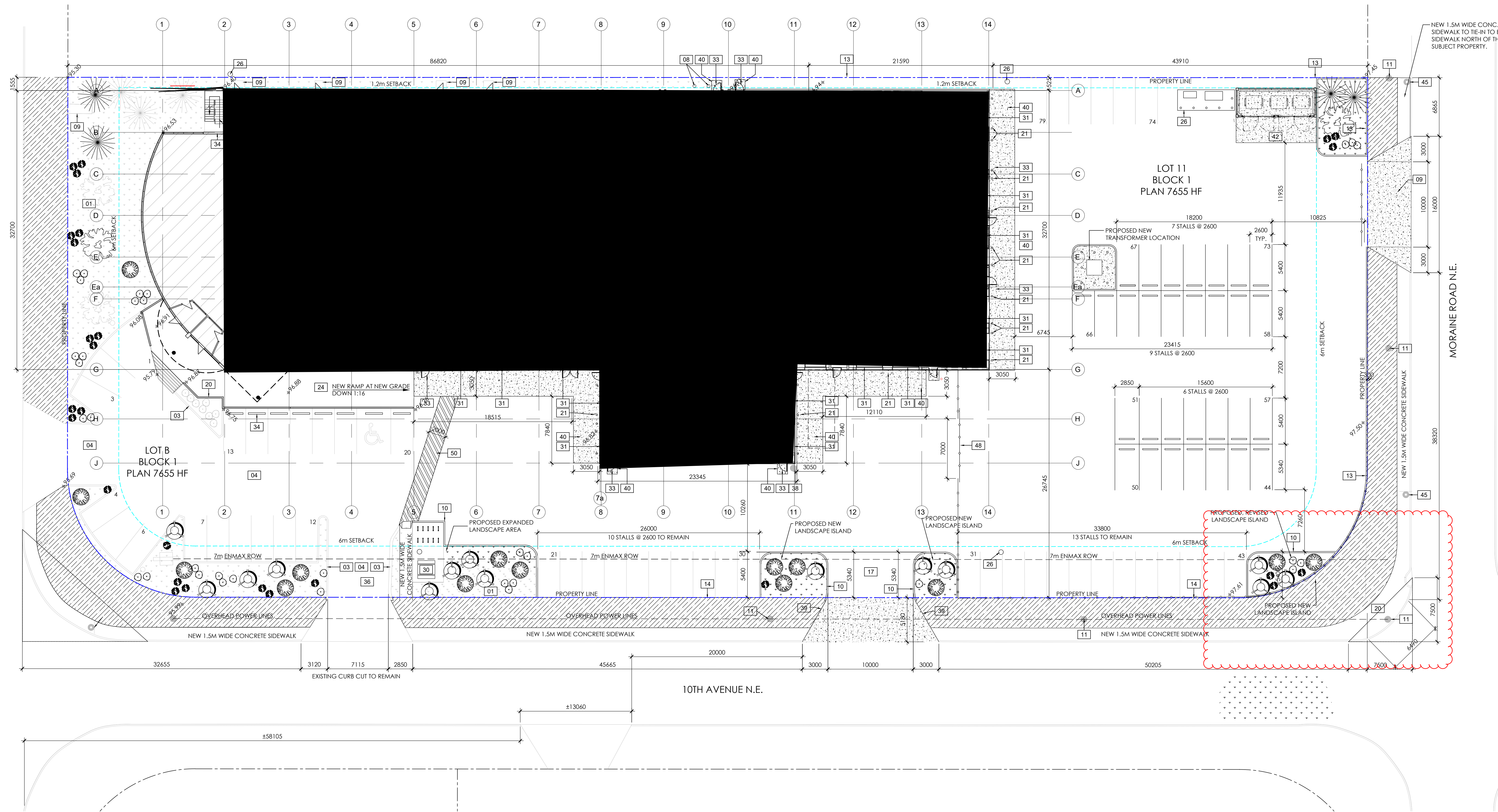
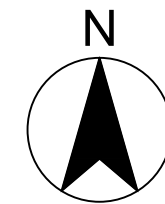
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DP1.1

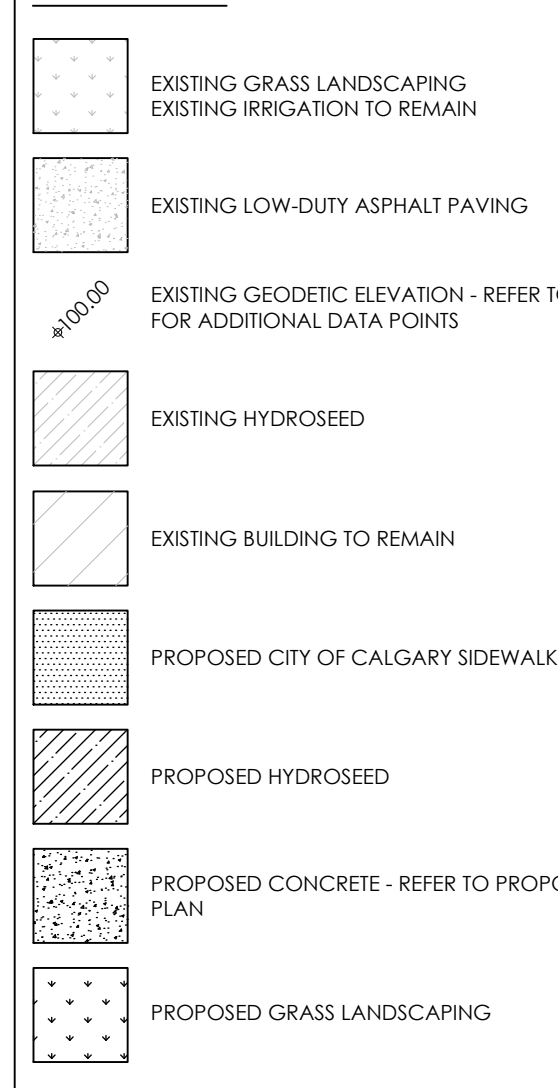
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NORTH ARROW



1 PROPOSED SITE PLAN
DP1.2 1:200

SITE LEGEND



LEGAL ADDRESS

LOT:
BLOCK:
PLAN:
MUNICIPAL ADDRESS

1100 MERIDIAN ROAD NE
CALGARY, AB

SITE AREA

9,189.2 m²
2,271.00 m²

BUILDING GROSS FLOOR AREA:
EXISTING TOTAL 1,883 m², PROPOSED TOTAL 3,434 m²

FLOOR AREA RATIO:
EXISTING: 1.883 m² / 9,189.2 m² = 0.205 (20.5%)
PROPOSED: 3,434 m² / 9,189.2 m² = 0.374 (37.4%)

BYLAW ZONING

IC - INDUSTRIAL COMMERCIAL ZONE

***ALL FINISHED GRADES TO BE DETERMINED BY CIVIL ENGINEER. PROPOSED SITE GRADES AS SHOWN ON ARCHITECTURAL SITE PLAN ARE TO SET MAIN FLOOR ELEVATIONS ONLY. DGP GRADING PLAN SHALL GOVERN IN ALL CIRCUMSTANCES.**

***ALL CATCH BASINS AS SHOWN ON ARCHITECTURAL SITE PLAN ARE TO SET MAIN FLOOR ELEVATIONS ONLY. DGP GRADING PLAN SHALL GOVERN IN ALL CIRCUMSTANCES.**

SITE NOTES

- EXISTING LANDSCAPED AREA.
- EXISTING STORM SYSTEM TO BE MODIFIED. REFER TO CIVIL.
- EXISTING CONCRETE CURB.
- EXISTING CURB TO REMAIN. SITE ACCESS FROM THIS LOCATION TO REMAIN AS IS.
- DESIGNATED LOADING AREA (MIN. 3.1m X 9.2m X 4.3m CLEAR HEIGHT) TO BE RELOCATED.
- EXISTING WASTE/RECYCLING BIN LOCATION (ROLL OFF SERVICE) TO BE RELOCATED.
- EXISTING DRIVE ABLE FLARES.
- EXISTING CONCRETE-FILLED STEEL BOLLARD.
- PROPOSED HAZARDOUS DOOR REFER TO ELEVATIONS (A4.1).
- EXISTING CONCRETE PAD TO BE REMOVED.
- NEW CONCRETE CURB.
- EXISTING POWER POLE.
- BARRIER-FREE PARKING STALL, PAVEMENT MARKING AND SIGNAGE TO MEET CITY OF CALGARY STANDARDS.
- EXISTING FENCING TO REMAIN.
- EXISTING FENCING TO BE REMOVED.
- EXISTING POWER POLE TO BE RELOCATED. REFER TO PROPOSED PLAN FOR REVISED LOCATION.
- EXISTING CONCRETE PAD TO BE REMOVED.
- NEW ASPHALT DRIVEWAY.
- EXISTING SITE ACCESS TO REMAIN AS IS. GRADING TO BE PATCHED AND MADE SMOOTH. NO NEW GROUND FINISH OR CHANGE IN USE.
- EXISTING CHAIN LINK FENCE ROLLING GATE TO BE REMOVED AND REPLACED WITH NEW CHAIN LINK FENCE.
- PROPOSED CITY OF CALGARY SIDEWALK C/W BARRIER-FREE RAMP AT INTERSECTION OF 10 AVENUE & MORRIS STREET.
- PROPOSED STEEL CONCRETE FILLED BOLLARD REFER TO SIA1.0.
- EXISTING PRIMARY BUILDING ENTRY.
- EXISTING CONCRETE STAIRS - 7 RISERS.
- CONCRETE RAMP TO BE DEMOLISHED AND RE-POURED TO MEET PROPOSED GRADES - REFER TO CIVIL.
- EXISTING CATCH BASIN - REFER TO CIVIL.
- EXISTING SITE POLE LIGHTING.
- EXISTING BUILDING MOUNTED SITE LIGHTING REFER TO ELEVATIONS (A4.1).
- PROPOSED EMPLOYEE AMENITY AREA 3.2m X 3.2m = 10m².
- PROPOSED OVERHEAD DOOR - REFER TO ELEVATIONS.
- EXISTING OVERHEAD DOOR REFER TO ELEVATIONS (A4.1).
- PROPOSED HAZARDOUS DOOR REFER TO ELEVATIONS (A4.1).
- PROPOSED ANCHORED CONCRETE WHEELSTOP. REFER TO SITE DETAILS.
- EXISTING CANTILEVERED ROOF.
- EXISTING DRIVEWAY.
- EXISTING CLASS-2 BICYCLE PARKING STALLS REFER TO SIA1.0.
- PROPOSED RELOCATED POWER POLE THIS LOCATION.
- NEW ASPHALT FLARES.
- PROPOSED CONC PCD.
- PROPOSED LOCATION OF LOADING AREA (MIN 3.1m X 9.2m X 4.3m CLEAR HEIGHT).
- PROPOSED LOCATION OF GARBAGE ENCLOSURE. REFER TO GARBAGE ENCLOSURE DETAILS.
- EXISTING SHED TO BE REMOVED.
- PROPOSED CHAIN LINK FENCE ROLLING GATE.
- EXISTING COC SIGNAGE (STOP, NO PARKING, ETC.) 7.5m X 7.5m VISIBILITY TRIANGLE AT INTERSECTION.
- DIVIDED-TAKEN FROM FACE OF CURB. NO PROPOSED OBSTRUCTIONS WITHIN THIS AREA ARE PERMITTED TO EXCEED 0.25m IN HEIGHT.
- NEW LOCATION FOR USED OIL & COOLANT TANKS.
- NEW FENCE & GATE TO SECURE BACKLOT.
- SIGNIFICANT REMOVAL AND PATCHING OF ASPHALT IN THE FRONT LOT. REFER TO CIVIL.
- NEW 2.0m WIDE PEDESTRIAN WALKWAY. PAINTED LINES ON ASPHALT. COLOUR: TRAFFIC YELLOW.

PARKING

VEHICLE PARKING STALLS - AUTO SERVICE - MAJOR USE:
1 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 715 m² (EXISTING) = 8 STALLS
= 2,271 m² PROPOSED 23 STALLS

VEHICLE PARKING STALLS - VEHICLE SALES - MAJOR USE:
4 PARKING SPACES PER 100.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 1,165.0 m² (EXISTING TO REMAIN) = 47 STALLS

1.0 PARKING SPACE FOR EVERY INVENTORY VEHICLE ON THE PARCEL = 23

EXISTING PARKING STALLS = 145

23 + 47 + 23 = 93 VEHICLE PARKING STALLS REQUIRED

PROPOSED 93 VEHICLE PARKING STALLS

BICYCLE PARKING STALLS - AUTO SERVICE - MAJOR USE:
1 CLASS-2 BICYCLE PARKING STALL PER 200.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 2,271 m²
947.0 m² / 200 m² = 4.73
QUANTITY REQUIRED: 4

BICYCLE PARKING STALLS - VEHICLE SALES - MAJOR USE:
1 CLASS-2 BICYCLE PARKING STALL PER 250.0 m² OF FLOOR AREA PROVIDED BUILDING GFA AREA = 1,165.0 m²
117.0 m² / 250 m² = 0.47
QUANTITY REQUIRED: 0

4.46 = 5 CLASS-2 BICYCLE STALLS (REQUIRED AND PROVIDED)

LOADING STALLS:
1 LOADING STALL PER 9,300 m² OF FLOOR AREA PROVIDED. BUILDING GFA AREA = 3,434 m² (LONG X 4.3m TALL CLEAR BUILDING GFA AREA = 2,640 m² = 1 LOADING STALL

LANDSCAPING

LANDSCAPING REQUIREMENTS:
TOTAL # OF TREES:
WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A STREET, EXPRESSWAY OR MAJOR STREET, THE SETBACK AREA MUST PROVIDE A MINIMUM OF 1 TREE AND 2 SHRUBS FOR EVERY 35.0 m²

TOTAL SETBACK AREA WITH LANDSCAPE = 1,681.56 m²
1,681.56 m² / 35.0 m² = 48

MINIMUM REQUIRED TREES (Bylaw Requirement): 48

MINIMUM REQUIRED SHRUBS (Bylaw Requirement): 96

TREES PROVIDED:
7 CONIFEROUS TREES
4 DECIDUOUS TREES

LANDSCAPING LEGEND

DECIDUOUS TREE (85mm CALIPER)
MOUNTAIN ASH
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 2
PROPOSED: 4 (2 NEW)

DECIDUOUS SHRUB (2.0m HIGH MAX.)
BLUE OR WHITE SPRUCE (OR EQUIV.)
QUANTITY REQUIRED: 3
QUANTITY EXISTING: 0
PROPOSED: 15

CONIFEROUS TREE (2.0m HIGH MAX.)
DWARF MOUNTAIN PINE (OR EQUIV.)
QUANTITY REQUIRED: 4
QUANTITY EXISTING: 3
PROPOSED: 7 (4 NEW) - 65% OF ALL TREES

CONIFEROUS SHRUB (2.0m HIGH MAX.)
DWARF MOUNTAIN PINE (OR EQUIV.)
QUANTITY REQUIRED: 48
QUANTITY EXISTING: 14

DECIDUOUS SHRUBS:
SPECIES INCLUDE:
- SILVER LEAF DOGWOOD
- SIBERIAN CORAL DOGWOOD
QUANTITY REQUIRED: 27
QUANTITY EXISTING: 3
PROPOSED: 24

CONIFEROUS SHRUBS:
QUANTITY REQUIRED: 48
QUANTITY PROVIDED: 31
REQUIRED HEIGHT OR SPREAD: 0.6m MIN.

NOTE: PROPOSED TREES HAVE BEEN AMENDED TO SHRUBS TO ACCOUNT FOR ENMAX UTILITY R.O.W. REQUIREMENTS IN THE SOUTH SETBACK AREA. PROPOSED TREES SHRUBS WITHIN THE SOUTH SETBACK ARE TO BE A MAX HEIGHT OF 2m TYP. WITHIN 1.7m OF THE POWER LINES, THEREFORE TREES ARE NOT

PRIME CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-04
2 ISSUED FOR DTR RESPONSES 1	2025-07-14
3 ISSUED FOR 90% REVIEW	2025-12-18
4 ISSUED FOR DTR RESPONSES 2	2026-02-05
5 ISSUED FOR SUB-TRADE TENDER	2026-02-08
6 ISSUED FOR DTR #3 RESPONSE	2026-04-02
7 ISSUED FOR DTR #3 RESPONSE #2	2026-04-09

CLIENT / OWNER



DEVELOPMENT PERMIT # DP_###

BUILDING PERMIT # BP_###

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

SUBARU CALGARY
EXPANSION

1100 MERIDIAN ROAD N.E.
CALGARY, ALBERTA

LEGAL ADDRESS: P7655HF, BLOCK 1, LOT B & LOT 11

DRAWING TITLE

PROPOSED SITE PLAN

SCALE: As indicated DATE: 2026-04-09

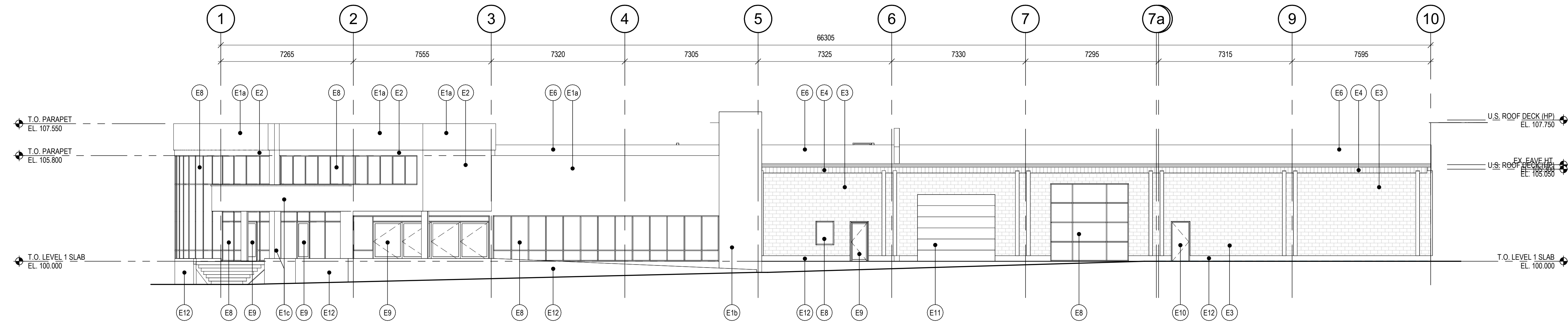
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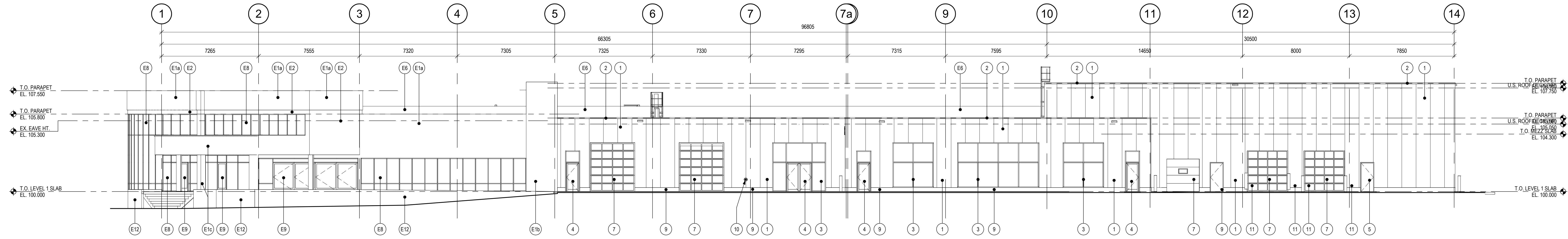
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DP1.2

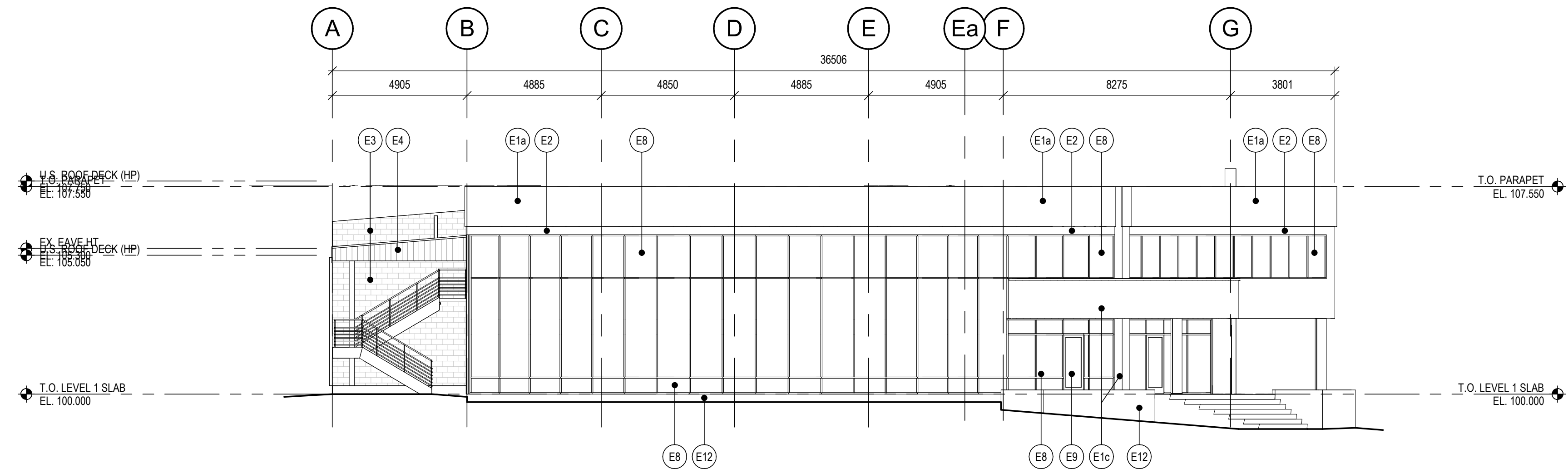
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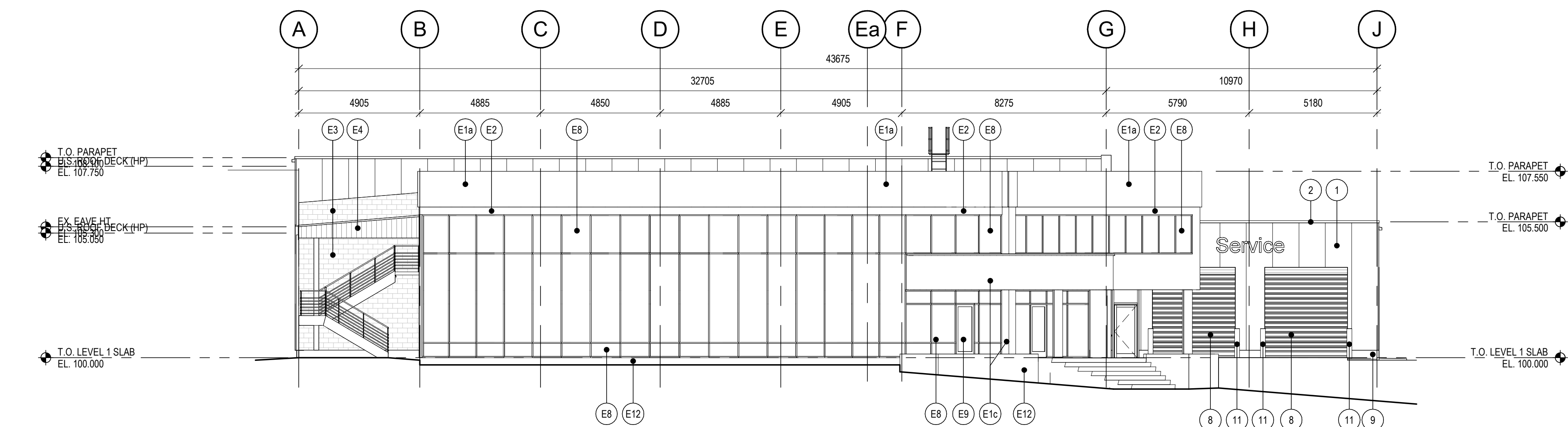
1 South Elevation - Existing
DP3.1 SCALE: 1:125



2 South Elevation - Proposed
DP3.1 SCALE: 1:125
DP2.2



3 West Elevation - Existing
DP3.1 SCALE: 1:125



4 West Elevation - Proposed
DP3.1 SCALE: 1:125
DP2.2

Exterior Elevation Keynotes

EXISTING

- E1 EXISTING ALUMINUM COMPOSITE METAL PANEL
COLOUR: WHITE
b: BLUE
c: SILVER
- E2 EXISTING EPS STUCCO
COLOUR: WHITE
- E3 EXISTING CONCRETE BLOCK
COLOUR: GREY
- E4 EXISTING PREFINISHED METAL CLADDING
COLOUR: GREY
- E5 EXISTING PREFINISHED METAL FASCIA
COLOUR: GREY
- E6 EXISTING ROOF COVER
COLOUR: BLACK
- E7 EXISTING PREFINISHED METAL EAVESTROUGH / GABLE TRIM
COLOUR: GREY
- E8 EXISTING ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: FRAMES: ANODIZED ALUMINUM
GLASS: CLEAR
- E9 EXISTING ALUMINUM FRAME ENTRANCE DOOR
COLOUR: FRAMES: ANODIZED ALUMINUM
GLASS: CLEAR
- E10 EXISTING METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- E11 EXISTING SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- E12 EXISTING EXPOSED CONCRETE WALL
COLOUR: NATURAL CONCRETE

PROPOSED

- 1 INSULATED METAL PANEL
COLOUR: WHITE
- 2 PREFINISHED METAL FLASHING
COLOUR: WHITE
- 3 ALUMINUM FRAME GLAZING ASSEMBLY
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 4 ALUMINUM FRAME ENTRANCE DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 5 METAL DOOR & FRAME
COLOUR: MATCH ADJACENT WALL COLOUR
- 6 SECTIONAL OVERHEAD DOOR
COLOUR: WHITE
- 7 GLAZED SECTIONAL OVERHEAD DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 8 GLAZED HIGH SPEED OVERHEAD COILING DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 9 EXPOSED CONCRETE FACED INSULATION
COLOUR: NATURAL CONCRETE

CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-04
2 ISSUED FOR DTR RESPONSES 1	2025-07-14
3 ISSUED FOR DP REVISION	2025-09-22
4 ISSUED FOR DTR COMMENTS	2025-11-04
5 ISSUED FOR DTR 2 RESPONSE	2026-02-13
6 ISSUED FOR DTR 3 RESPONSE	2026-04-09

CLIENT / OWNER



DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**
1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

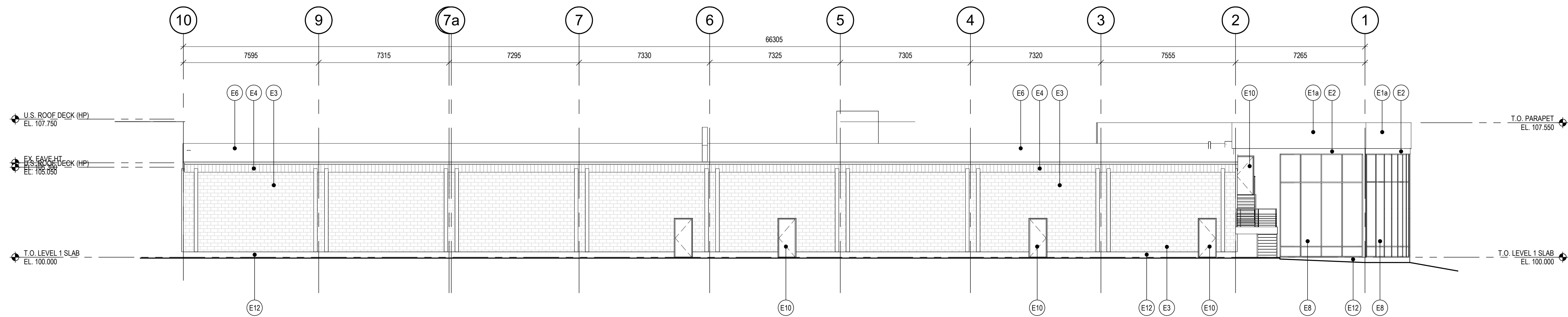
LEGAL ADDRESS:

DRAWING TITLE

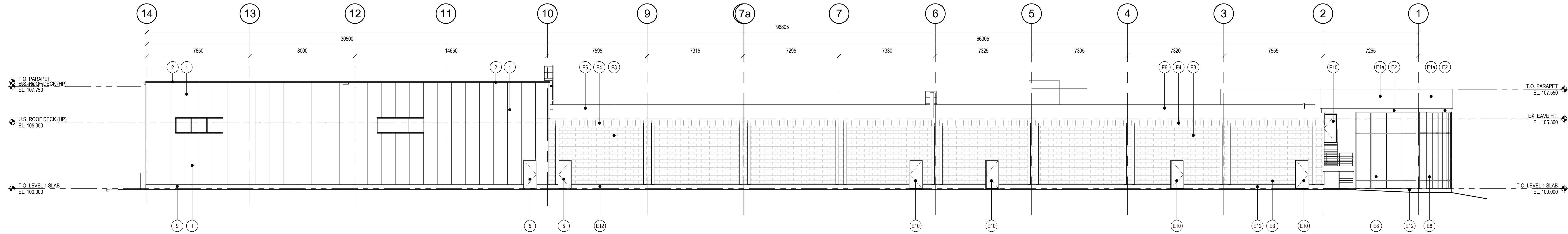
**SOUTH & WEST EXTERIOR
ELEVATIONS**

SCALE:	As indicated	DATE:	2026-04-09
DRAWN BY:	TD	CHECKED BY:	HB
PRINT ON:	A0	PROJECT No.	24-224
DWG No.			

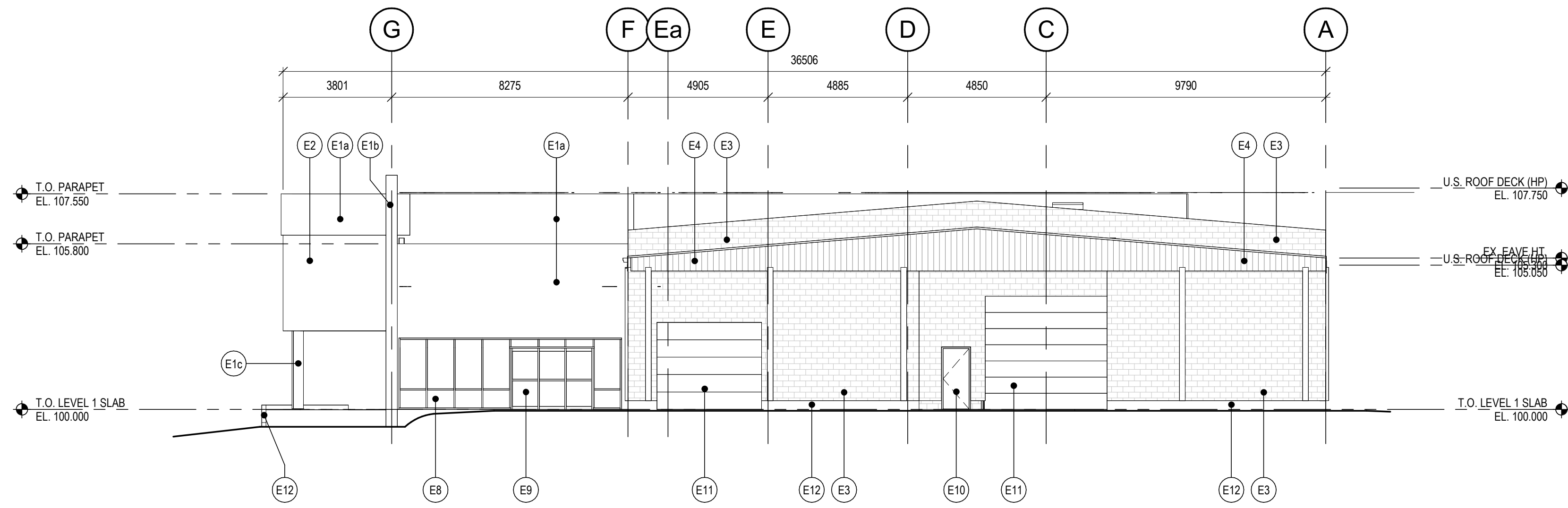
DP3.1



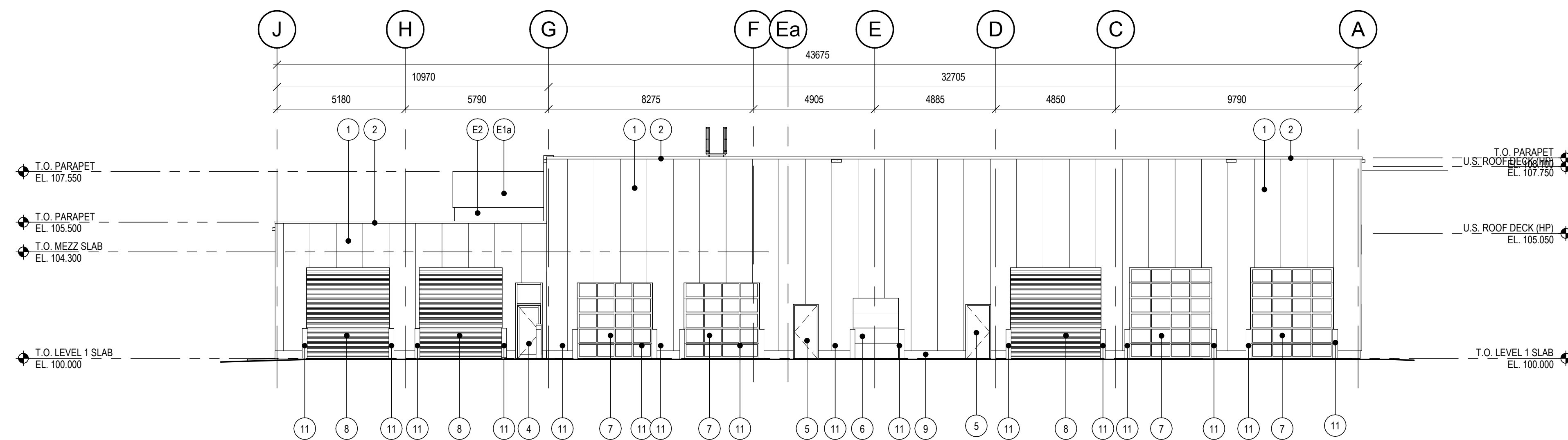
1 North Elevation - Existing
DP3.2 SCALE: 1:125



2 North Elevation - Proposed
DP3.2 SCALE: 1:125
DP2.2



3 East Elevation - Existing
DP3.2 SCALE: 1:125



4 East Elevation - Proposed
DP3.2 SCALE: 1:125
DP2.2

Exterior Elevation Keynotes

EXISTING

- E1 EXISTING ALUMINUM COMPOSITE METAL PANEL
COLOUR: WHITE
b: BLUE
c: SILVER
- E2 EXISTING EIFS STUCCO
COLOUR: WHITE
- E3 EXISTING CONCRETE BLOCK
COLOUR: GREY
- E4 EXISTING PREFINISHED METAL CLADDING
COLOUR: GREY
- E5 EXISTING PREFINISHED METAL FASCIA
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PROPOSED

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COLOUR: WHITE
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COLOUR: ANODIZED ALUMINUM
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COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 8 GLAZED HIGH SPEED OVERHEAD COILING DOOR
COLOUR: ANODIZED ALUMINUM
GLASS: CLEAR
- 9 EXPOSED CONCRETE FACED INSULATION
COLOUR: NATURAL CONCRETE

CONSULTANT SEAL

ISSUED	DATE
1 ISSUED FOR DP APPLICATION	2024-11-04
2 ISSUED FOR DTR RESPONSES 1	2025-07-14
3 ISSUED FOR DP REVISION	2025-09-22
5 ISSUED FOR DTR2 COMMENTS	2025-11-04
6 ISSUED FOR DTR 2 RESPONSE	2026-02-13
9 ISSUED FOR DTR 3 RESPONSE	2026-04-09

CLIENT / OWNER



DEVELOPMENT PERMIT #:

BUILDING PERMIT #:

PRIME CONSULTANT



PROJECT NAME AND ADDRESS

**SUBARU CALGARY
EXPANSION**
1100 Meridian Road NE
Calgary, Alberta, T2A 2N9

LEGAL ADDRESS:

DRAWING TITLE

**NORTH & EAST EXTERIOR
ELEVATIONS**

SCALE:	As indicated	DATE:	2026-04-09
DRAWN BY:	TD	CHECKED BY:	HB
PRINT ON:	A0	PROJECT No.	24-224
DWG No.			

DP3.2