

# 2132 29TH AVENUE SW CALGARY, AB

LEGAL DESCRIPTION  
LOT 44  
BLOCK 21  
PLAN 2410135

**DEANTHOMAS**  
DESIGN GROUP

403 | 719 | 6641

1109 OLYMPIC WAY SE  
CALGARY, ALBERTA  
T2G 1B9



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

## ISSUED FOR DEVELOPMENT PERMIT REVISIONS #3: 2026/01/30

### BUILDING NOTES

-THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF

REPRODUCED, OR COPIED IN FULL OR IN PORTION WITHOUT WRITTEN CONSENT.

THE FIRM AND CAN NOT BE USED,

-DO NOT SCALE DRAWINGS.

-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.

-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

-UTILITIES SUBJECT TO CHANGE LOCATION DEPENDING ON BUILDING SITE CONDITIONS.

-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.

-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.

-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.

-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.

- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.

-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.

-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.

-4'-0" MIN FROST COVER REQUIRED AS PER ABC. SUBJECT TO ACTUAL SITE PLAN GRADES OR GRADE SLIP.

-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.

### DRAWING LIST

A0-1 - INFORMATION SHEET & ASSEMBLIES

A1.1 - BLOCK PLAN

A1.2 - SITE PLAN

A1.3 - GRADING PLAN

A2.1 - FOUNDATION PLAN

A2.2 - LOWER LEVEL STRUCTURE PLAN

A2.3 - LOWER LEVEL FRAMING PLAN

A2.4 - MAIN FLOOR STRUCTURAL PLAN

A2.5 - MAIN FLOOR FRAMING PLAN

A2.6 - SECOND FLOOR STRUCTURAL PLAN

A2.7 - SECOND FLOOR FRAMING PLAN

A2.8 - SECOND FLOOR ROOF DRAINAGE PLAN

A2.9 - THIRD FLOOR STRUCTURAL PLAN

A2.10 - THIRD FLOOR FRAMING PLAN

A2.11 - ROOF PLAN

A3.1 - FRONT ELEVATION

A3.2 - RIGHT ELEVATION

A3.3 - REAR ELEVATION

A3.4 - LEFT ELEVATION

A4.1 - SECTION 1

A4.2 - SECTION 2

A4.3 - SECTION 3

A4.4 - SECTION 4

A5.1 - WINDOW & DOOR SCHEDULE

A6.1 - BUILDING SPECIFIC DETAILS

A6.2 - CONSTRUCTION DETAILS

A6.3 - CONSTRUCTION DETAILS

A6.4 - CONSTRUCTION DETAILS

A6.5 - CONSTRUCTION DETAILS

E1.1 - LOWER LEVEL ELECTRICAL PLAN

E1.2 - MAIN FLOOR ELECTRICAL PLAN

E1.3 - SECOND FLOOR ELECTRICAL PLAN

E1.4 - THIRD FLOOR ELECTRICAL PLAN

PROJECT:  
ISSUED FOR DR #4

2132 29TH AVENUE SW  
CALGARY, AB

LOT 44  
BLOCK 21  
PLAN 2410135

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CANNOT BE USED, REPRODUCED OR COPIED IN FULL OR IN PART WITHOUT WRITTEN CONSENT.  
DO NOT SCALE THIS DRAWING.  
VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.  
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	JAN 30, 2026
6.	ISSUED FOR DR#4	APRIL 21, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2400 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	5950 SQ. FT.
LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

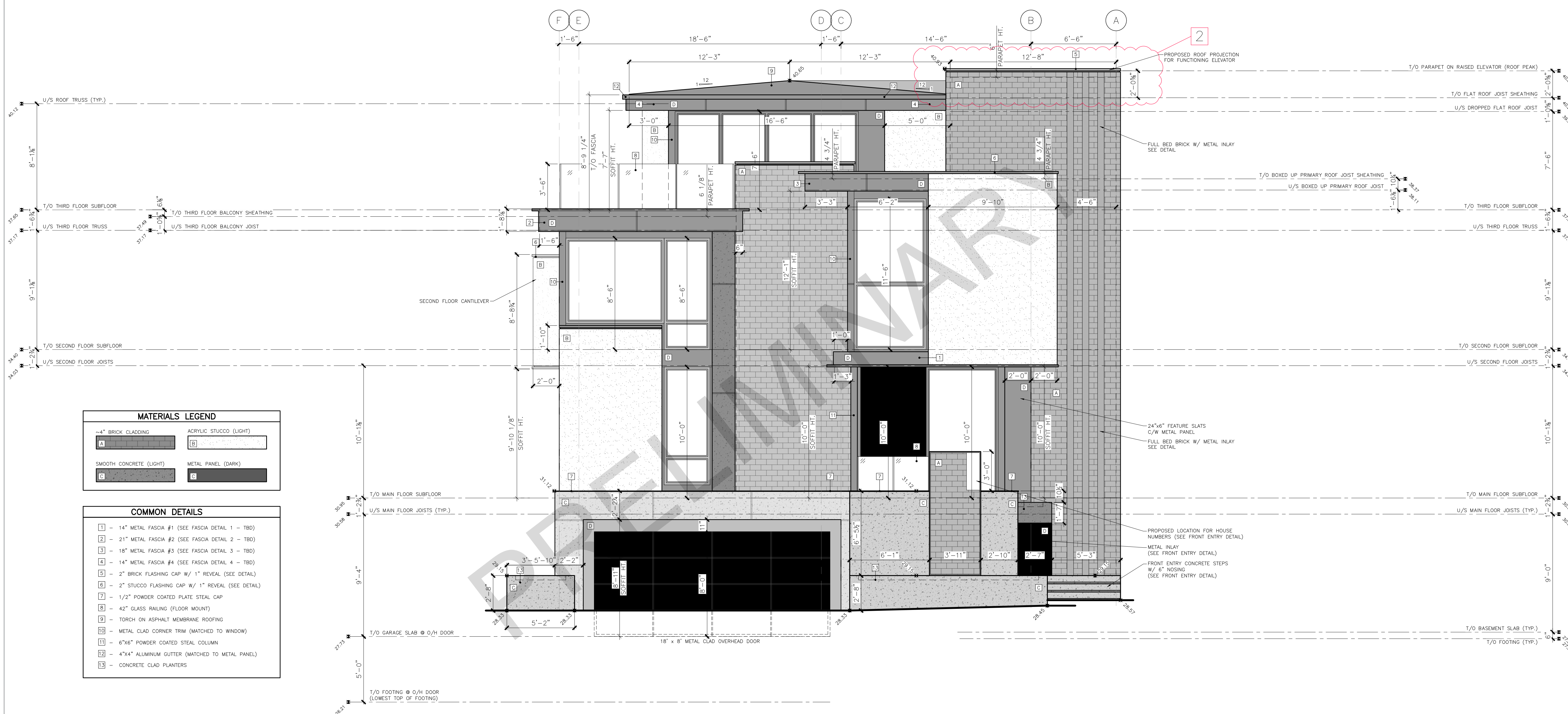
DRAWING TITLE:

FRONT ELEVATION

SCALE: 1/4" = 1'-0"  
DATE: APRIL 21, 2026

SHEET:

A3.1



1 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT:  
ISSUED FOR DR #4

2132 29TH AVENUE SW  
CALGARY, AB

LOT 44  
BLOCK 21  
PLAN 2410135

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED OR COPIED IN FULL OR IN PART WITHOUT WRITTEN CONSENT.  
DO NOT SCALE THIS DRAWING.  
VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.  
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	JAN. 30, 2026
6.	ISSUED FOR DR#4	APRIL 21, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2400 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	5950 SQ. FT.
LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

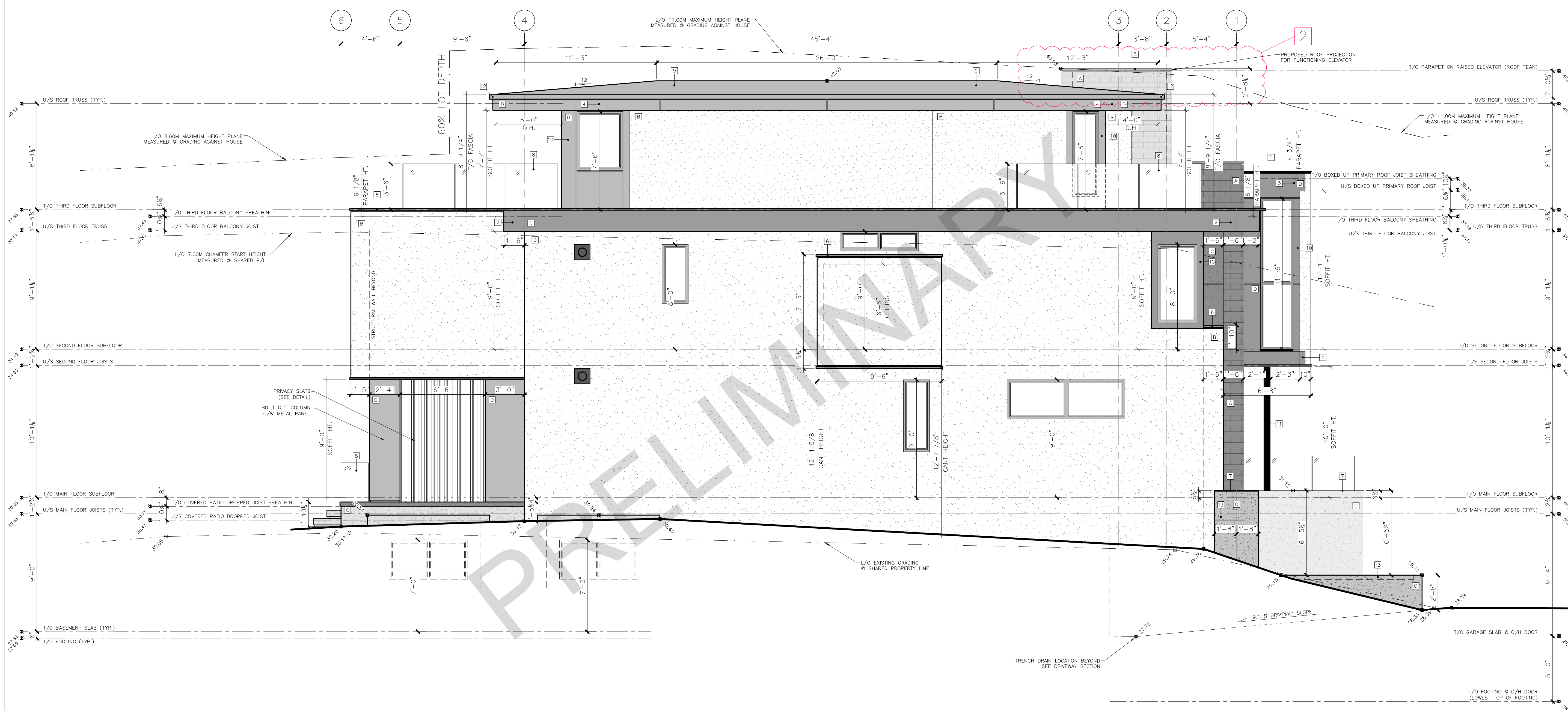
DRAWING TITLE:

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"  
DATE: APRIL 21, 2026

SHEET:

A3.2



1 RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT:  
ISSUED FOR DR #4

2132 29TH AVENUE SW  
CALGARY, AB

LOT 44  
BLOCK 21  
PLAN 2410135

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CANNOT BE USED, REPRODUCED OR COPIED IN FULL OR IN PART WITHOUT WRITTEN CONSENT.  
DO NOT SCALE THIS DRAWING.  
VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.  
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	JAN 30, 2026
6.	ISSUED FOR DR#4	APRIL 21, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2400 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	5950 SQ. FT.
LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

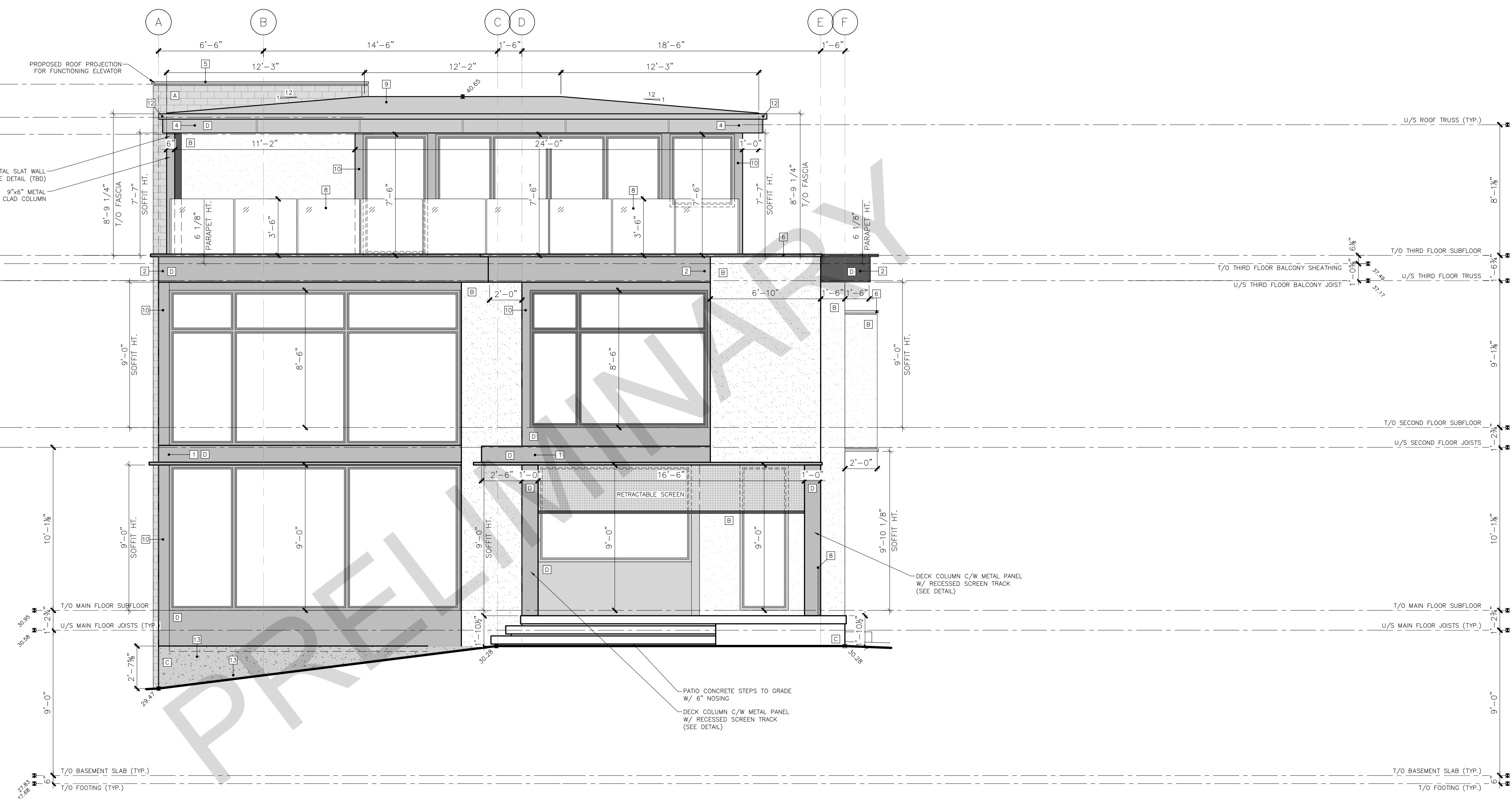
DRAWING TITLE:

REAR ELEVATION

SCALE: 1/4" = 1'-0"  
DATE: APRIL 21, 2026

SHEET:

A3.3



**MATERIALS LEGEND**

~4" BRICK CLADDING	ACRYLIC STUCCO (LIGHT)
SMOOTH CONCRETE (LIGHT)	METAL PANEL (DARK)

**COMMON DETAILS**

1 - 14" METAL FASCIA #1 (SEE FASCIA DETAIL 1 - TBD)
2 - 21" METAL FASCIA #2 (SEE FASCIA DETAIL 2 - TBD)
3 - 18" METAL FASCIA #3 (SEE FASCIA DETAIL 3 - TBD)
4 - 14" METAL FASCIA #4 (SEE FASCIA DETAIL 4 - TBD)
5 - 2" BRICK FLASHING CAP W/ 1" REVEAL (SEE DETAIL)
6 - 2" STUCCO FLASHING CAP W/ 1" REVEAL (SEE DETAIL)
7 - 1/2" POWDER COATED PLATE STEEL CAP
8 - 42" GLASS RAILING (FLOOR MOUNT)
9 - TORCH ON ASPHALT MEMBRANE ROOFING
10 - METAL CLAD CORNER TRIM (MATCHED TO WINDOW)
11 - 6"x6" POWDER COATED STEEL COLUMN
12 - 4"x4" ALUMINUM GUTTER (MATCHED TO METAL PANEL)
13 - CONCRETE CLAD PLANTERS

1 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT:  
ISSUED FOR DR #4

2132 29TH AVENUE SW  
CALGARY, AB

LOT 44  
BLOCK 21  
PLAN 2410135

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CANNOT BE USED, REPRODUCED OR COPIED IN FULL OR IN PART WITHOUT WRITTEN CONSENT.

DO NOT SCALE THIS DRAWING. VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	JAN. 30, 2026
6.	ISSUED FOR DR#4	APRIL 21, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2400 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.
<b>TOTAL DEVELOPED FLOOR AREA ABOVE GRADE</b>	<b>5950 SQ. FT.</b>
LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

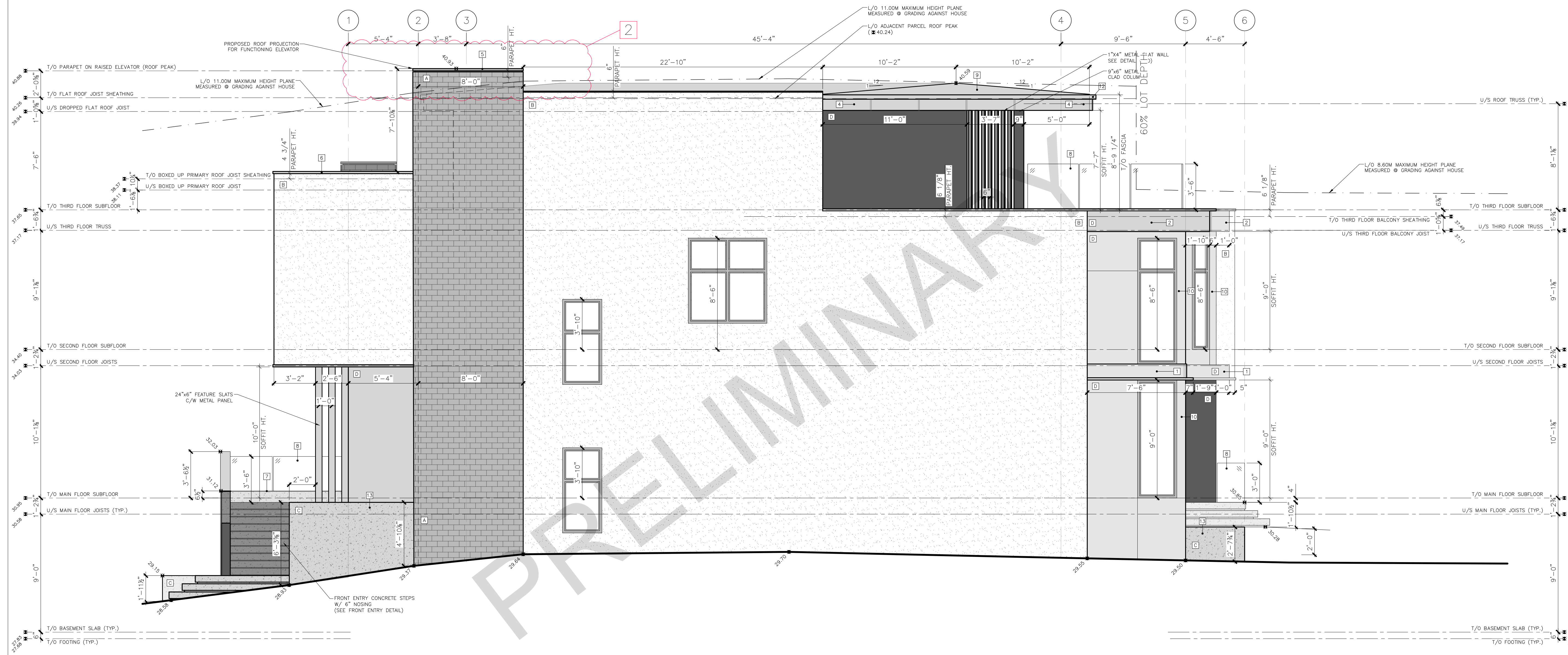
DRAWING TITLE:

LEFT ELEVATION

SCALE: 1/4" = 1'-0"  
DATE: APRIL 21, 2026

SHEET:

A3.4



1 LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

PROJECT:  
ISSUED FOR DR #4

2132 29TH AVENUE SW  
CALGARY, AB

LOT 44  
BLOCK 21  
PLAN 2410135

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED OR COPIED IN FULL OR IN PART WITHOUT WRITTEN CONSENT.  
DO NOT SCALE THIS DRAWING.  
VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.  
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	JAN. 30, 2026
6.	ISSUED FOR DR#4	APRIL 21, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2403 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	5953 SQ. FT.
LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

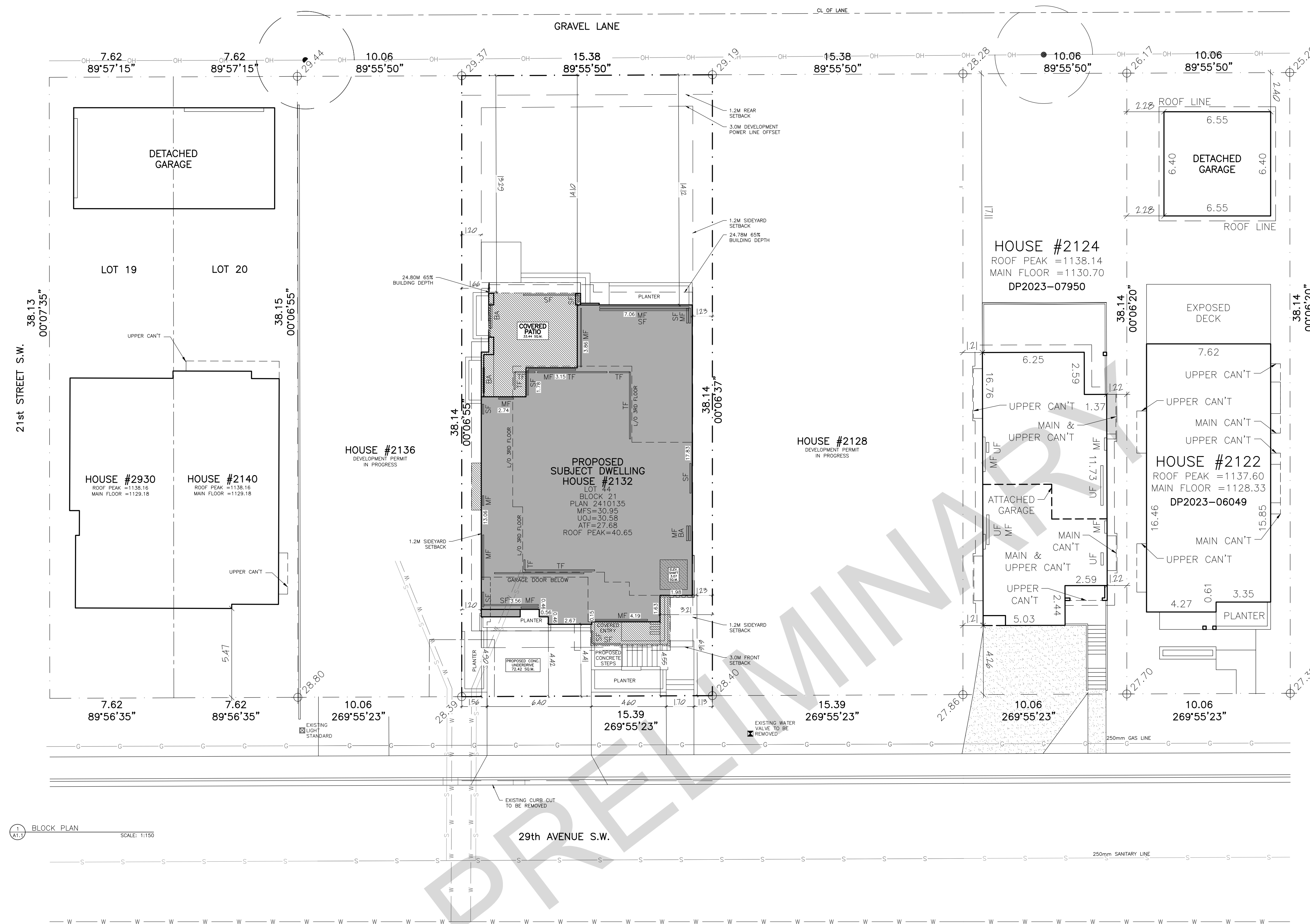
DRAWING TITLE:

BLOCK PLAN

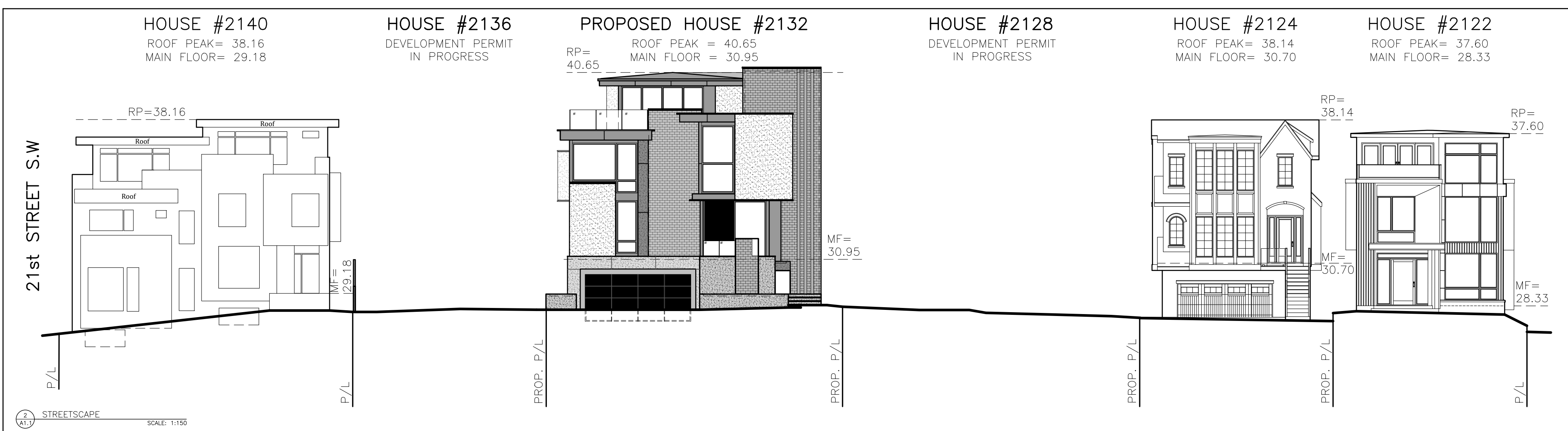
SCALE: 1:150  
DATE: APRIL 21, 2026

SHEET:

A1.1



BLOCK PLAN SCALE: 1:150



STREETSCAPE SCALE: 1:150

**SITE PLAN**

NOTES:  
ELEVATIONS ARE SHOWN THUS:  $\phi$  = 1028.00 METRES.  
ELEVATIONS ARE DERIVED FROM ON XXXXXX (XXMARKERXX) XXXXX M  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- 'CANT.' DENOTES CANTILEVERS
- 'ENC.' DENOTES ENCROACHMENT(S)
- 'BW' DENOTES BACK OF WALKWAY
- 'CONC.' DENOTES CONCRETE
- 'RET.' DENOTES RETAINING
- 'BC' DENOTES BACK OF CURB
- 'TOW' DENOTES TOP OF WALL
- 'BOW' DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

- DENOTES SUBJECT PROPERTY LINE
- - - DENOTES ADJACENT PROPERTY LINES
- DENOTES SUBJECT SETBACKS
- DENOTES SUBJECT ROOF LINE
- DENOTES SUBJECT UPPER FLOOR
- DENOTES UTILITY RIGHT OF WAY
- x-x-x- DENOTES PROPOSED FENCE
- x-x-x- DENOTES PROPOSED LOT DRAINAGE
- x-x-x- DENOTES EXISTING TO BE REMOVED
- x-x-x- DENOTES EXISTING FENCE
- w-w-w- DENOTES EXISTING WATER
- s-s-s- DENOTES EXISTING SANITARY
- g-g-g- DENOTES EXISTING GAS
- sf-sf-sf- DENOTES EXISTING STORM
- oh-oh-oh- DENOTES OVERHEAD POWER
- p-p-p- DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

- $\phi$  DENOTES EXISTING GEODETIC DATUM POINT
- $\otimes$  DENOTES INTERPOLATED EXISTING GEODETIC POINT
- $\otimes$  DENOTES PROPOSED GEODETIC DATUM POINT
- BA DENOTES PROPOSED LOWER LEVEL WINDOW
- MF DENOTES PROPOSED MAIN FLOOR WINDOW
- UF DENOTES PROPOSED UPPER FLOOR WINDOW
- U2 DENOTES PROPOSED LOFT FLOOR WINDOW
- CONC DENOTES PROPOSED CONCRETE OR ASPHALT
- $\bullet$  DENOTES EXISTING POWER POLE
- $\odot$  DENOTES EXISTING MANHOLE
- $\square$  DENOTES EXISTING CATCH BASIN
- $\square$  DENOTES EXISTING SIGN
- $\square$  DENOTES EXISTING WATER VALVE
- $\square$  DENOTES EXISTING GAS VALVE
- $\square$  DENOTES EXISTING STREET LIGHT
- $\odot$  DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 263.43 SQ. M.  
LOT AREA: 586.6 SQ. M.  
BUILDING COVERAGE: 44.91%

PROJECT:  
ISSUED FOR DR #4

2132 29TH AVENUE SW  
CALGARY, AB

LOT 44  
BLOCK 21  
PLAN 2410135

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED OR COPIED IN FULL OR IN PART WITHOUT WRITTEN CONSENT.  
DO NOT SCALE THIS DRAWING.  
VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.  
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	JAN. 30, 2026
6.	ISSUED FOR DR#4	APRIL 21, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2403 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 5953 SQ. FT.

LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

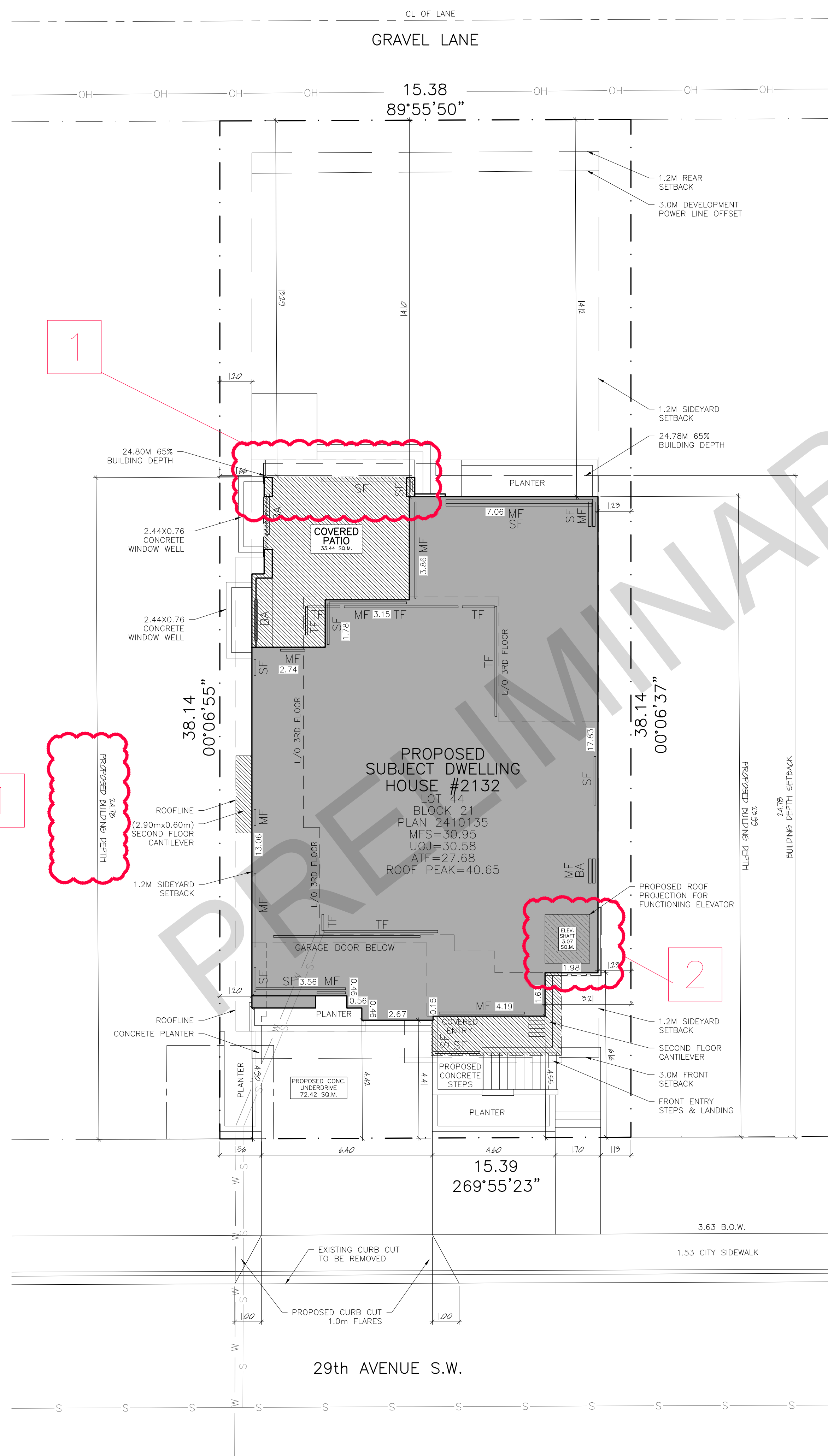
DRAWING TITLE:

SITE PLAN

SCALE: 1:100  
DATE: APRIL 21, 2026

SHEET:

A1.2



**SITE PLAN**

NOTES:  
ELEVATIONS ARE SHOWN THUS:  $\phi = 1028.00$  METRES.  
ELEVATIONS ARE DERIVED FROM ON XXXXXX (XXMARKERXX) XXXX M  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:  
'CANT.' DENOTES CANTILEVERS  
'ENC.' DENOTES ENCROACHMENT(S)  
'BW' DENOTES BACK OF WALKWAY  
'CONC.' DENOTES CONCRETE  
'RET.' DENOTES RETAINING  
'BC' DENOTES BACK OF CURB  
'TOW' DENOTES TOP OF WALL  
'BOW' DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

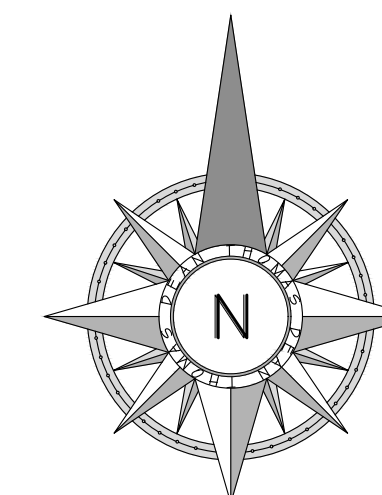
---	DENOTES SUBJECT PROPERTY LINE
- - -	DENOTES ADJACENT PROPERTY LINES
---	DENOTES SUBJECT SETBACKS
---	DENOTES SUBJECT ROOF LINE
---	DENOTES SUBJECT UPPER FLOOR
---	DENOTES UTILITY RIGHT OF WAY
-X-X-	DENOTES PROPOSED FENCE
-X-X-	DENOTES PROPOSED LOT DRAINAGE
-X-X-	DENOTES EXISTING TO BE REMOVED
-X-X-	DENOTES EXISTING FENCE
W	DENOTES EXISTING WATER
S	DENOTES EXISTING SANITARY
G	DENOTES EXISTING GAS
ST	DENOTES EXISTING STORM
OH	DENOTES OVERHEAD POWER
P	DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

$\phi$	DENOTES EXISTING GEODETIC DATUM POINT
$\otimes$	DENOTES INTERPOLATED EXISTING GEODETIC POINT
$\otimes$	DENOTES PROPOSED GEODETIC DATUM POINT
$\otimes$	DENOTES PROPOSED LOWER LEVEL WINDOW
MF	DENOTES PROPOSED MAIN FLOOR WINDOW
UF	DENOTES PROPOSED UPPER FLOOR WINDOW
U2	DENOTES PROPOSED LOFT FLOOR WINDOW
$\square$	DENOTES PROPOSED CONCRETE OR ASPHALT
$\bullet$	DENOTES EXISTING POWER POLE
$\bullet$	DENOTES EXISTING MANHOLE
$\bullet$	DENOTES EXISTING CATCH BASIN
$\bullet$	DENOTES EXISTING SIGN
$\bullet$	DENOTES EXISTING WATER VALVE
$\bullet$	DENOTES EXISTING GAS VALVE
$\bullet$	DENOTES EXISTING STREET LIGHT
$\bullet$	DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING):	263.43 SQ. M.
LOT AREA:	586.6 SQ. M.
BUILDING COVERAGE:	44.91%



PROJECT:  
ISSUED FOR DR #4

2132 29TH AVENUE SW  
CALGARY, AB

LOT 44  
BLOCK 21  
PLAN 2410135

THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED OR COPIED IN FULL OR IN PART WITHOUT WRITTEN CONSENT.  
DO NOT SCALE THIS DRAWING.  
VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.  
ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	JAN. 30, 2026
6.	ISSUED FOR DR#4	APRIL 21, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2403 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 5953 SQ. FT.

LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

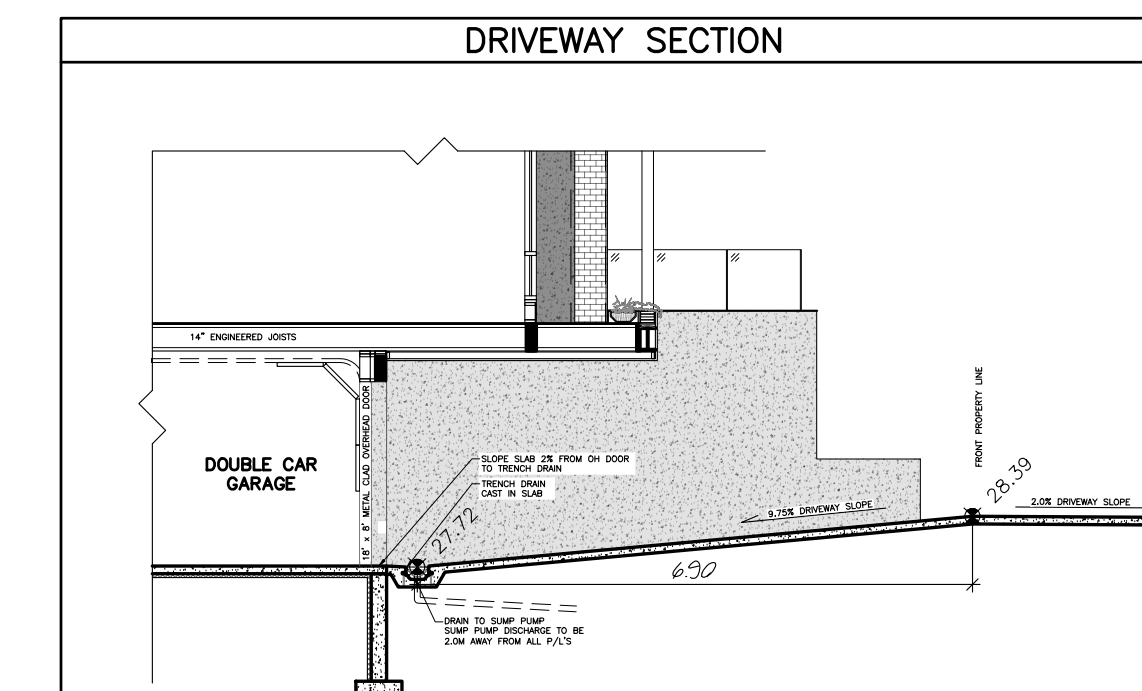
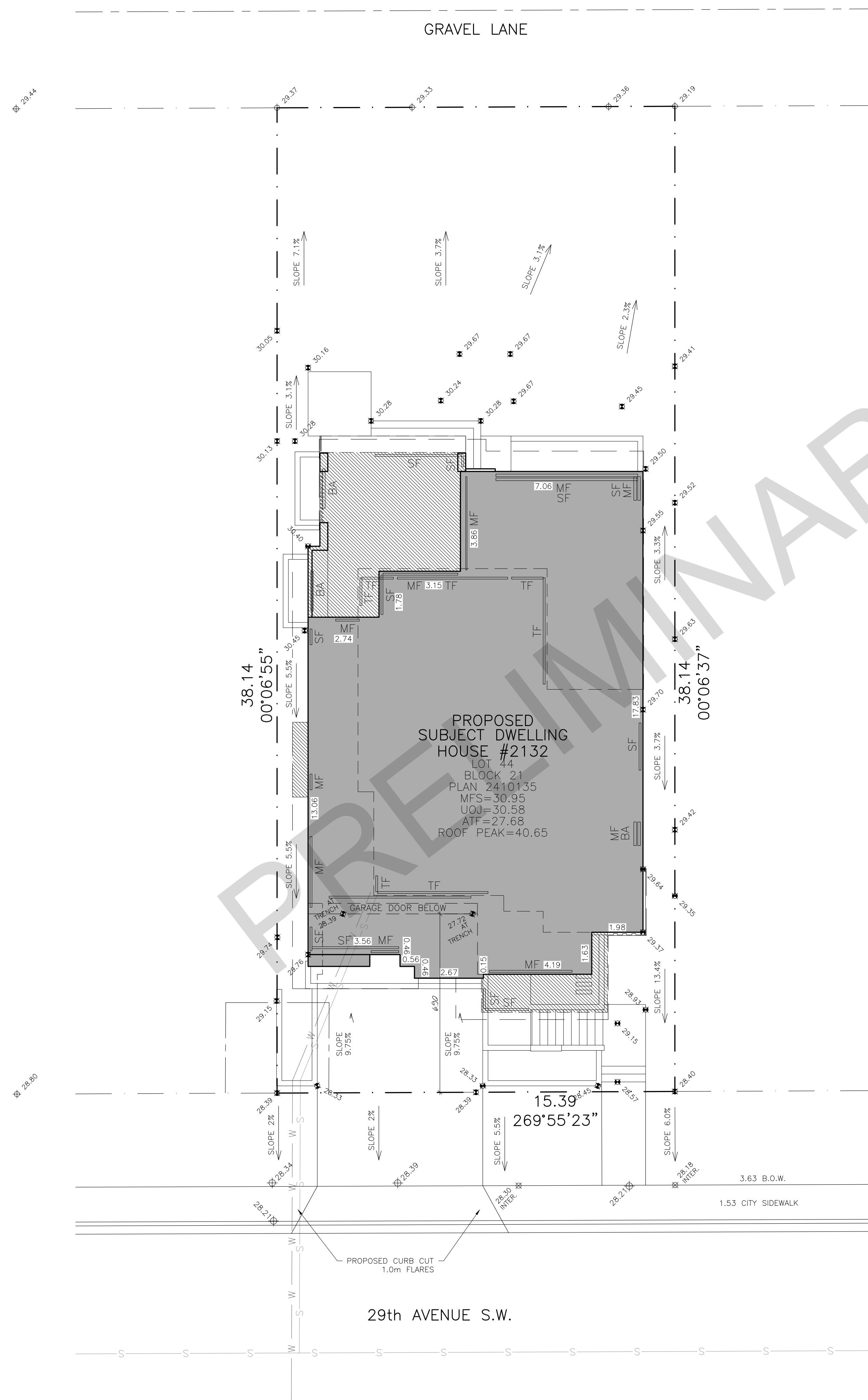
DRAWING TITLE:

GRADING PLAN

SCALE: 1:100  
DATE: APRIL 21, 2026

SHEET:

A1.3



**SITE PLAN**

NOTES:  
ELEVATIONS ARE SHOWN THUS:  $\phi = 1028.00$  METRES.  
ELEVATIONS ARE DERIVED FROM ON XXXXXX (XXMARKERXX) XXXX M  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:  
'CANT.' DENOTES CANTILEVERS  
'ENC.' DENOTES ENCROACHMENT(S)  
'BW' DENOTES BACK OF WALKWAY  
'CONC.' DENOTES CONCRETE  
'RET.' DENOTES RETAINING  
'BC' DENOTES BACK OF CURB  
'TOW' DENOTES TOP OF WALL  
'BOW' DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

- DENOTES SUBJECT PROPERTY LINE
- - - DENOTES ADJACENT PROPERTY LINES
- DENOTES SUBJECT SETBACKS
- DENOTES SUBJECT ROOF LINE
- DENOTES SUBJECT UPPER FLOOR
- DENOTES UTILITY RIGHT OF WAY
- X - X DENOTES PROPOSED FENCE
- - - DENOTES PROPOSED LOT DRAINAGE
- - - DENOTES EXISTING TO BE REMOVED
- X - X DENOTES EXISTING FENCE
- W DENOTES EXISTING WATER
- S DENOTES EXISTING SANITARY
- G DENOTES EXISTING GAS
- ST DENOTES EXISTING STORM
- OH DENOTES OVERHEAD POWER
- P DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

- $\phi$  DENOTES EXISTING GEODETIC DATUM POINT
- $\otimes$  DENOTES INTERPOLATED EXISTING GEODETIC POINT
- $\otimes$  DENOTES PROPOSED GEODETIC DATUM POINT
- BA DENOTES PROPOSED LOWER LEVEL WINDOW
- MF DENOTES PROPOSED MAIN FLOOR WINDOW
- UF DENOTES PROPOSED UPPER FLOOR WINDOW
- U2 DENOTES PROPOSED LOFT FLOOR WINDOW
- CONC DENOTES PROPOSED CONCRETE OR ASPHALT
- POLE DENOTES EXISTING POWER POLE
- MANHOLE DENOTES EXISTING MANHOLE
- CATCH BASIN DENOTES EXISTING CATCH BASIN
- SIGN DENOTES EXISTING SIGN
- WATER VALVE DENOTES EXISTING WATER VALVE
- GAS VALVE DENOTES EXISTING GAS VALVE
- STREET LIGHT DENOTES EXISTING STREET LIGHT
- TREE DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 263.43 SQ. M.  
LOT AREA: 586.6 SQ. M.  
BUILDING COVERAGE: 44.91%

