

2132 29TH AVENUE SW CALGARY, AB

LEGAL DESCRIPTION
LOT 44
BLOCK 21
PLAN 2410135



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

ISSUED FOR DEVELOPMENT PERMIT REVISIONS #3: 2026/01/30

BUILDING NOTES

-THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF

REPRODUCED, OR COPIED IN FULL OR IN PORTION WITHOUT WRITTEN CONSENT.

THE FIRM AND CAN NOT BE USED,

-DO NOT SCALE DRAWINGS.

-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.

-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

-UTILITIES SUBJECT TO CHANGE LOCATION DEPENDING ON BUILDING SITE CONDITIONS.

-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.

-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.

-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.

-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.

- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.

-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.

-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.

-4'-0" MIN FROST COVER REQUIRED AS PER ABC. SUBJECT TO ACTUAL SITE PLAN GRADES OR GRADE SLIP.

-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.

DRAWING LIST

A0-1 - INFORMATION SHEET & ASSEMBLIES
A1.1 - BLOCK PLAN
A1.2 - SITE PLAN
A1.3 - GRADING PLAN
A2.1 - FOUNDATION PLAN
A2.2 - LOWER LEVEL STRUCTURE PLAN
A2.3 - LOWER LEVEL FRAMING PLAN
A2.4 - MAIN FLOOR STRUCTURAL PLAN
A2.5 - MAIN FLOOR FRAMING PLAN
A2.6 - SECOND FLOOR STRUCTURAL PLAN
A2.7 - SECOND FLOOR FRAMING PLAN
A2.8 - SECOND FLOOR ROOF DRAINAGE PLAN

A2.9 - THIRD FLOOR STRUCTURAL PLAN
A2.10 - THIRD FLOOR FRAMING PLAN
A2.11 - ROOF PLAN
A3.1 - FRONT ELEVATION
A3.2 - RIGHT ELEVATION
A3.3 - REAR ELEVATION
A3.4 - LEFT ELEVATION
A4.1 - SECTION 1
A4.2 - SECTION 2
A4.3 - SECTION 3
A4.4 - SECTION 4
A5.1 - WINDOW & DOOR SCHEDULE

A6.1 - BUILDING SPECIFIC DETAILS
A6.2 - CONSTRUCTION DETAILS
A6.3 - CONSTRUCTION DETAILS
A6.4 - CONSTRUCTION DETAILS
A6.5 - CONSTRUCTION DETAILS
E1.1 - LOWER LEVEL ELECTRICAL PLAN
E1.2 - MAIN FLOOR ELECTRICAL PLAN
E1.3 - SECOND FLOOR ELECTRICAL PLAN
E1.4 - THIRD FLOOR ELECTRICAL PLAN

PROJECT:
ISSUED FOR DR #3

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REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
4.	ISSUED FOR DR#3	JAN 30, 2026

DRAWN BY: BL

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2308 SQ. FT.
SECOND FLOOR AREA (DEVELOPED)	2403 SQ. FT.
THIRD FLOOR AREA (DEVELOPED)	1242 SQ. FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	5953 SQ. FT.
LOWER LEVEL AREA (DEVELOPED)	1659 SQ. FT.
ATTACHED GARAGE AREA	535 SQ. FT.
MECH/STORAGE	213 SQ. FT.
THIRD FLOOR BALCONY AREA	854 SQ. FT.
COVERED ENTRY	49 SQ. FT.
COVERED PATIO	360 SQ. FT.

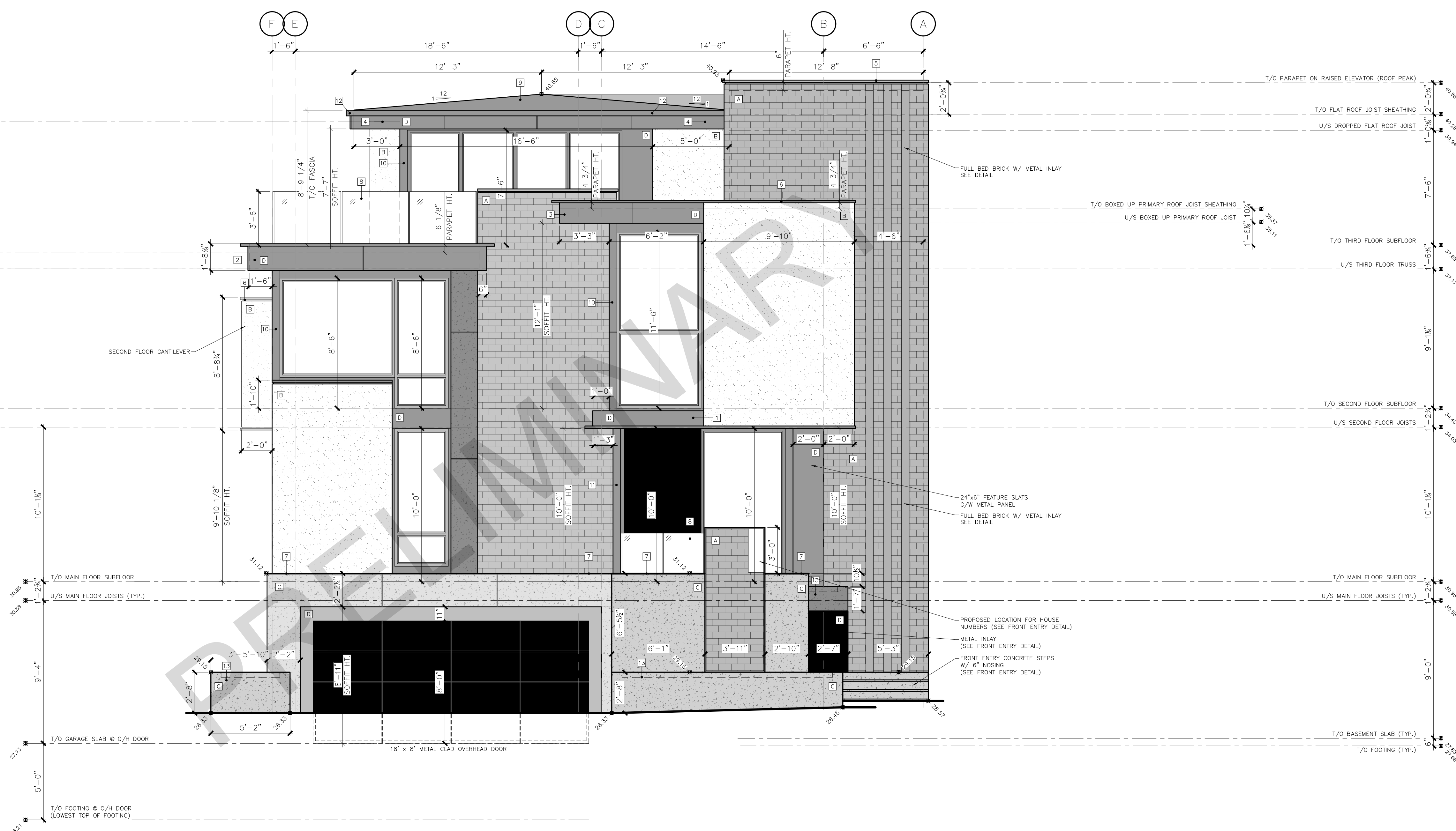
DRAWING TITLE:

FRONT ELEVATION

SCALE: 1/4" = 1'-0"
DATE: 2026-01-30

SHEET:

A3.1



MATERIALS LEGEND

~4" BRICK CLADDING	ACRYLIC STUCCO (LIGHT)
SMOOTH CONCRETE (LIGHT)	METAL PANEL (DARK)

COMMON DETAILS

1	14" METAL FASCIA #1 (SEE FASCIA DETAIL 1 - TBD)
2	21" METAL FASCIA #2 (SEE FASCIA DETAIL 2 - TBD)
3	18" METAL FASCIA #3 (SEE FASCIA DETAIL 3 - TBD)
4	14" METAL FASCIA #4 (SEE FASCIA DETAIL 4 - TBD)
5	2" BRICK FLASHING CAP W/ 1" REVEAL (SEE DETAIL)
6	2" STUCCO FLASHING CAP W/ 1" REVEAL (SEE DETAIL)
7	1/2" POWDER COATED PLATE STEEL CAP
8	42" GLASS RAILING (FLOOR MOUNT)
9	TORCH ON ASPHALT MEMBRANE ROOFING
10	METAL CLAD CORNER TRIM (MATCHED TO WINDOW)
11	6"x6" POWDER COATED STEEL COLUMN
12	4"x4" ALUMINUM GUTTER (MATCHED TO METAL PANEL)
13	CONCRETE CLAD PLANTERS

1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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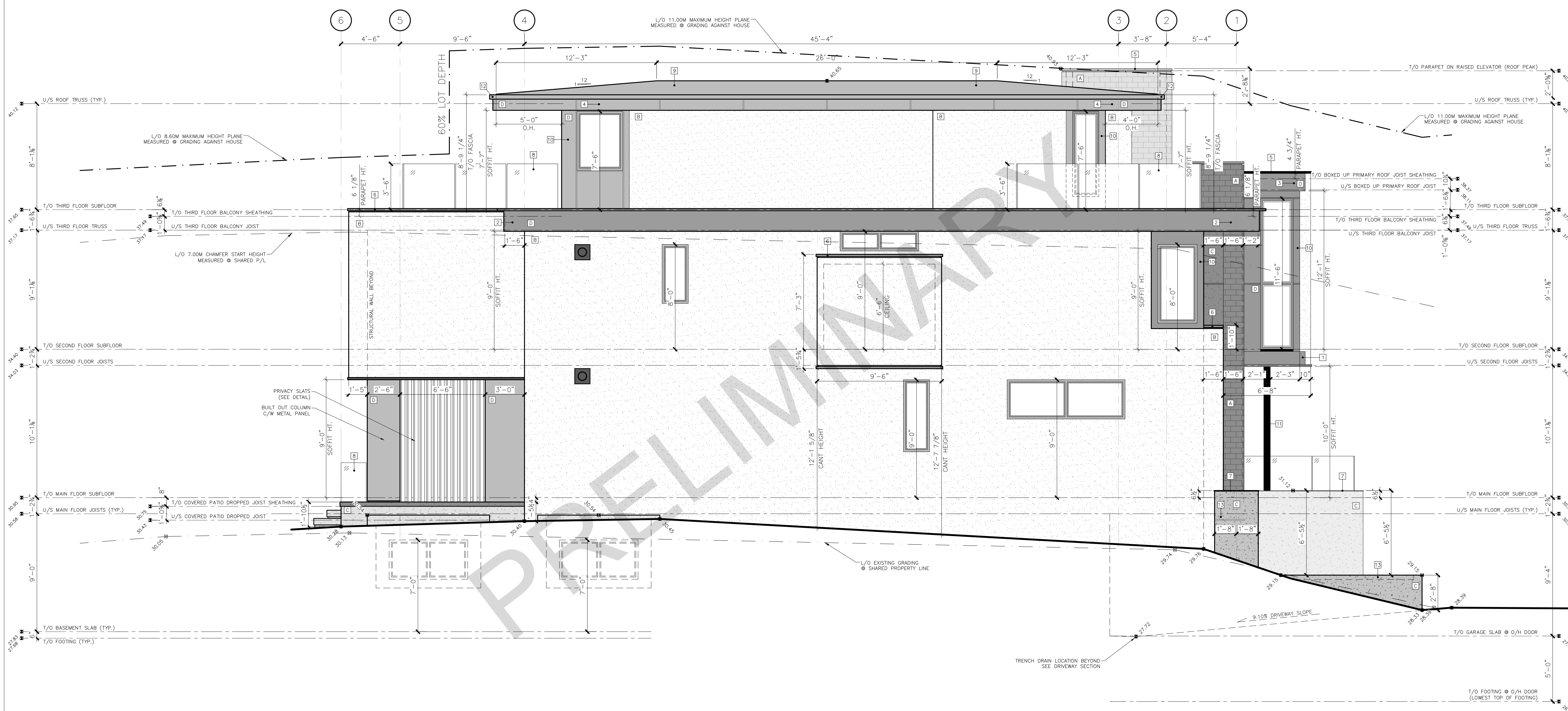
DRAWING TITLE:

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"
DATE: 2026-01-30

SHEET:

A3.2



1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

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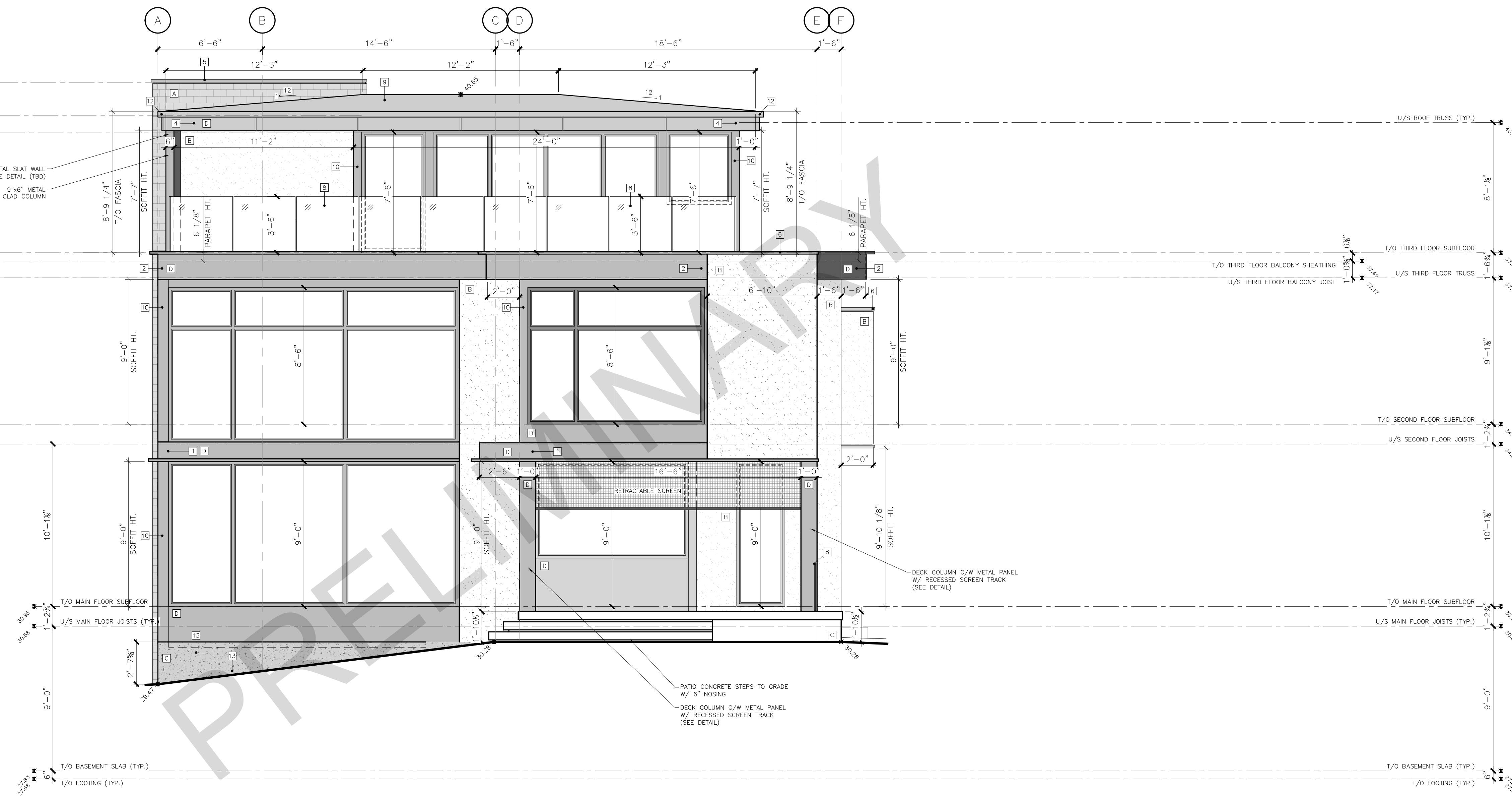
DRAWING TITLE:

REAR ELEVATION

SCALE: 1/4" = 1'-0"
DATE: 2026-01-30

SHEET:

A3.3



MATERIALS LEGEND

~4" BRICK CLADDING	ACRYLIC STUCCO (LIGHT)
SMOOTH CONCRETE (LIGHT)	METAL PANEL (DARK)

COMMON DETAILS

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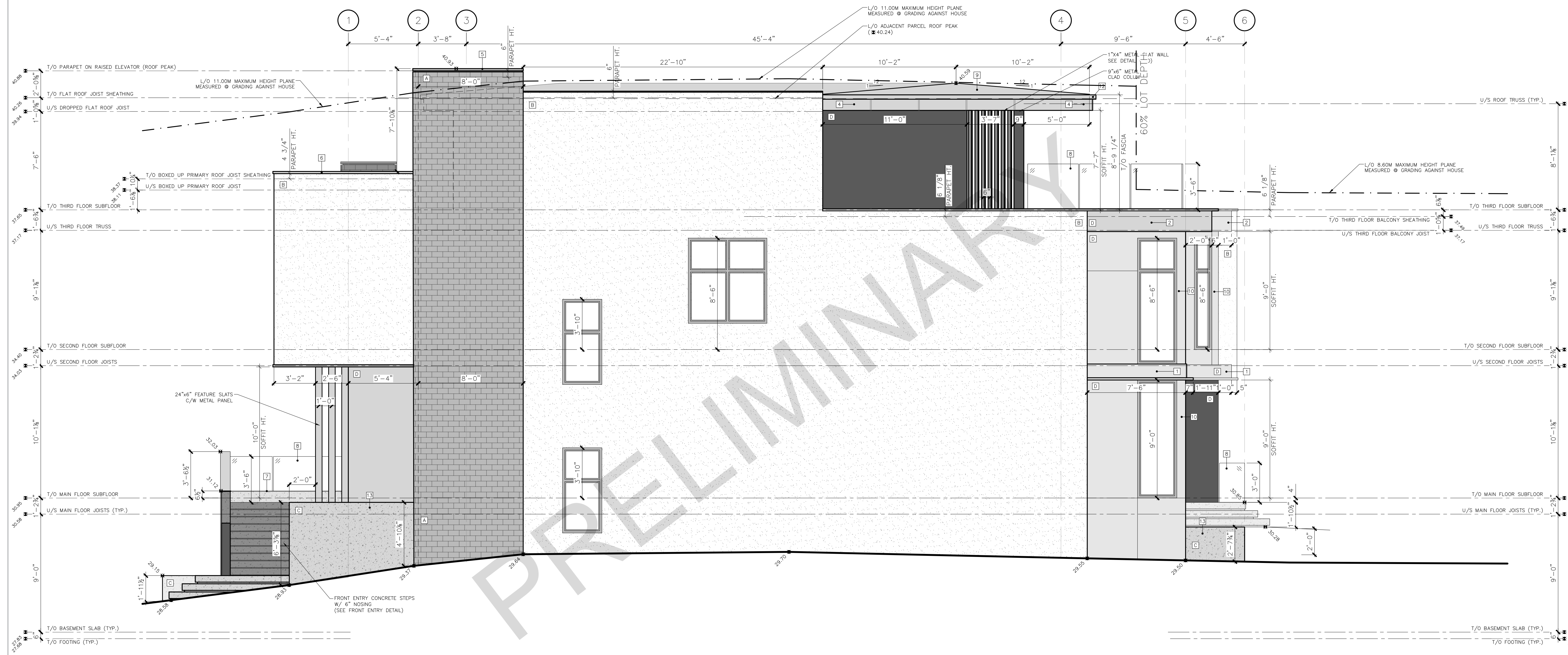
DRAWING TITLE:

LEFT ELEVATION

SCALE: 1/4" = 1'-0"
DATE: 2026-01-30

SHEET:

A3.4



1 LEFT ELEVATION
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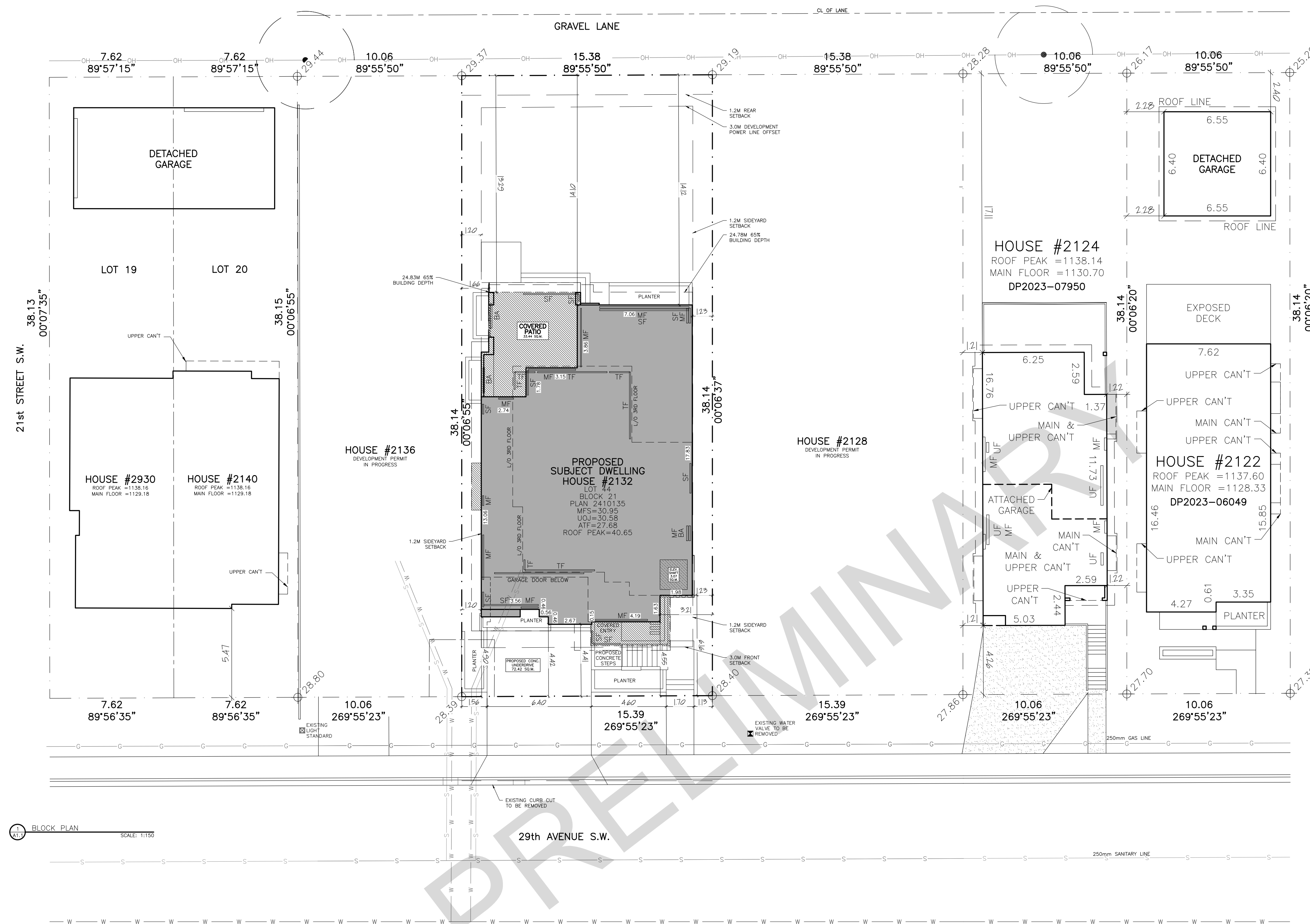
DRAWING TITLE:

BLOCK PLAN

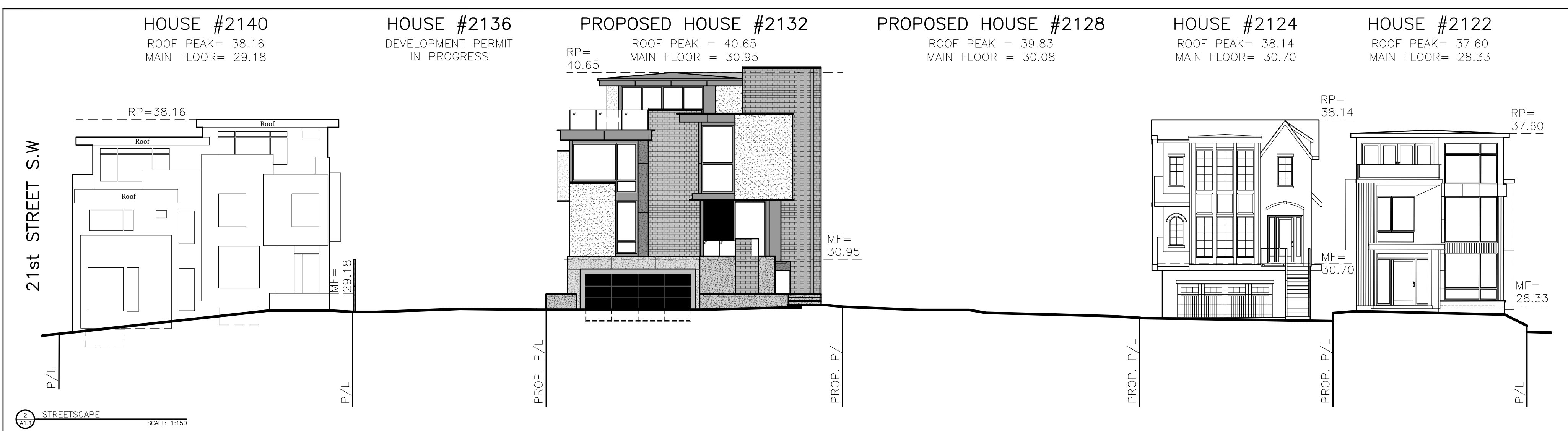
SCALE: 1:150
DATE: 2026-01-30

SHEET:

A1.1



BLOCK PLAN SCALE: 1:150



STREETSCAPE SCALE: 1:150

SITE PLAN

NOTES:
ELEVATIONS ARE SHOWN THUS: ϕ = XXXX.00 METRES.
ELEVATIONS ARE DERIVED FROM ON XXXXXX (XXMARKERXX) XXXX M
CONTOURS ARE AT XX METRE INTERVALS.
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:
'CANT.' DENOTES CANTILEVERS
'ENC.' DENOTES ENCROACHMENT(S)
'BW' DENOTES BACK OF WALKWAY
'CONC.' DENOTES CONCRETE
'RET.' DENOTES RETAINING
'BC' DENOTES BACK OF CURB
'TOW' DENOTES TOP OF WALL
'BOW' DENOTES BOTTOM OF WALL

LINETYPE LEGEND

- DENOTES SUBJECT PROPERTY LINE
- - - DENOTES ADJACENT PROPERTY LINES
- DENOTES SUBJECT SETBACKS
- DENOTES SUBJECT ROOF LINE
- DENOTES SUBJECT UPPER FLOOR
- DENOTES UTILITY RIGHT OF WAY
- x-x-x-x- DENOTES PROPOSED FENCE
- DENOTES PROPOSED LOT DRAINAGE
- x-x-x-x- DENOTES EXISTING TO BE REMOVED
- x-x-x-x- DENOTES EXISTING FENCE
- w-w-w-w- DENOTES EXISTING WATER
- s-s-s-s- DENOTES EXISTING SANITARY
- g-g-g-g- DENOTES EXISTING GAS
- sf-sf-sf-sf- DENOTES EXISTING STORM
- oh-oh-oh-oh- DENOTES OVERHEAD POWER
- p-p-p-p- DENOTES UNDERGROUND POWER

SYMBOLS LEGEND

- ϕ DENOTES EXISTING GEODETIC DATUM POINT
- \otimes DENOTES INTERPOLATED EXISTING GEODETIC POINT
- \otimes DENOTES PROPOSED GEODETIC DATUM POINT
- BA DENOTES PROPOSED LOWER LEVEL WINDOW
- MF DENOTES PROPOSED MAIN FLOOR WINDOW
- UF DENOTES PROPOSED UPPER FLOOR WINDOW
- U2 DENOTES PROPOSED LOFT FLOOR WINDOW
- CONC DENOTES PROPOSED CONCRETE OR ASPHALT
- \bullet DENOTES EXISTING POWER POLE
- \odot DENOTES EXISTING MANHOLE
- \square DENOTES EXISTING CATCH BASIN
- \square DENOTES EXISTING SIGN
- \square DENOTES EXISTING WATER VALVE
- \square DENOTES EXISTING GAS VALVE
- \square DENOTES EXISTING STREET LIGHT
- \odot DENOTES EXISTING TREE

BUILDING AREA

BUILDING AREA (DWELLING): 263.43 SQ. M.
LOT AREA: 586.6 SQ. M.
BUILDING COVERAGE: 44.91%

PROJECT:
ISSUED FOR DR #3

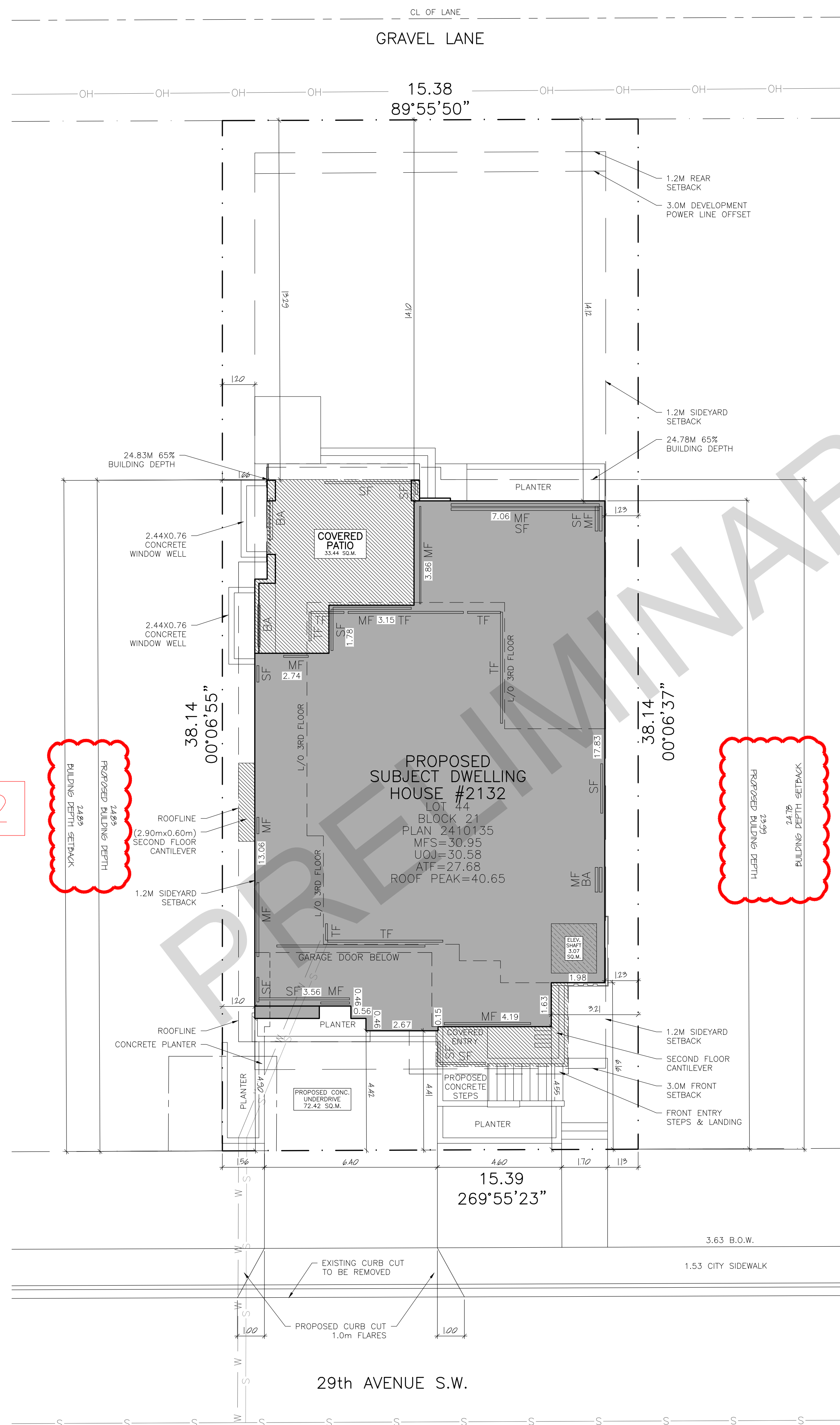
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DRAWN BY: BL

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COVERED PATIO	360 SQ. FT.

DRAWING TITLE:

SITE PLAN

SCALE: 1:100
DATE: 2026-01-30

SHEET:

A1.2

PROJECT:
ISSUED FOR DR #3

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COVERED PATIO	360 SQ. FT.

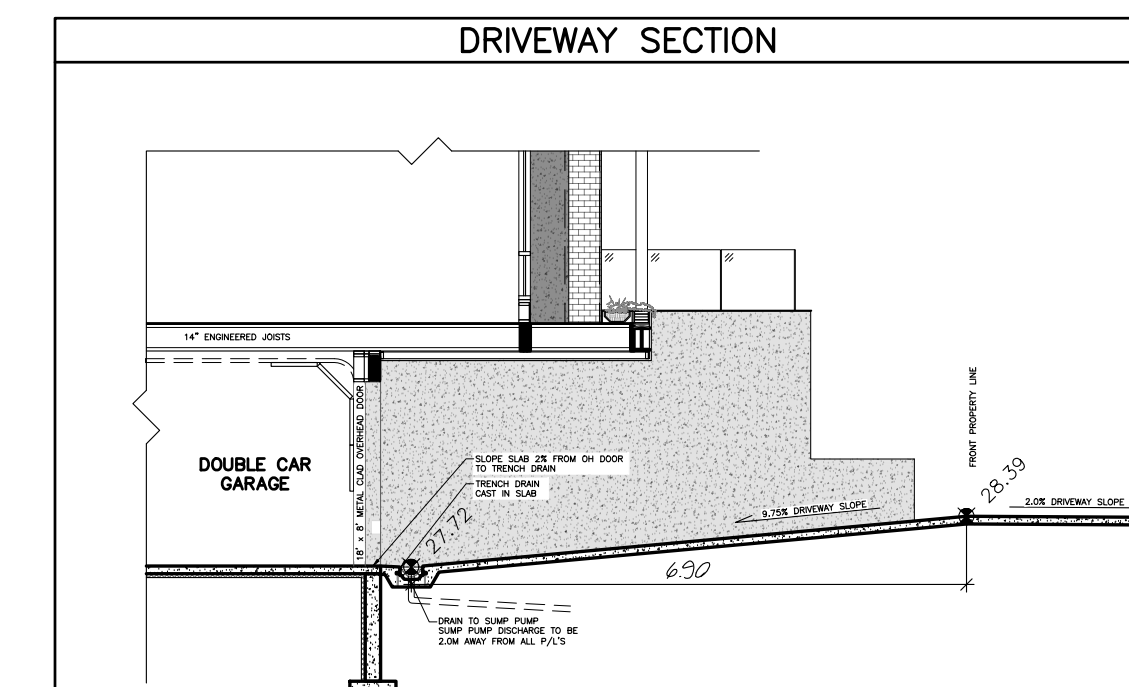
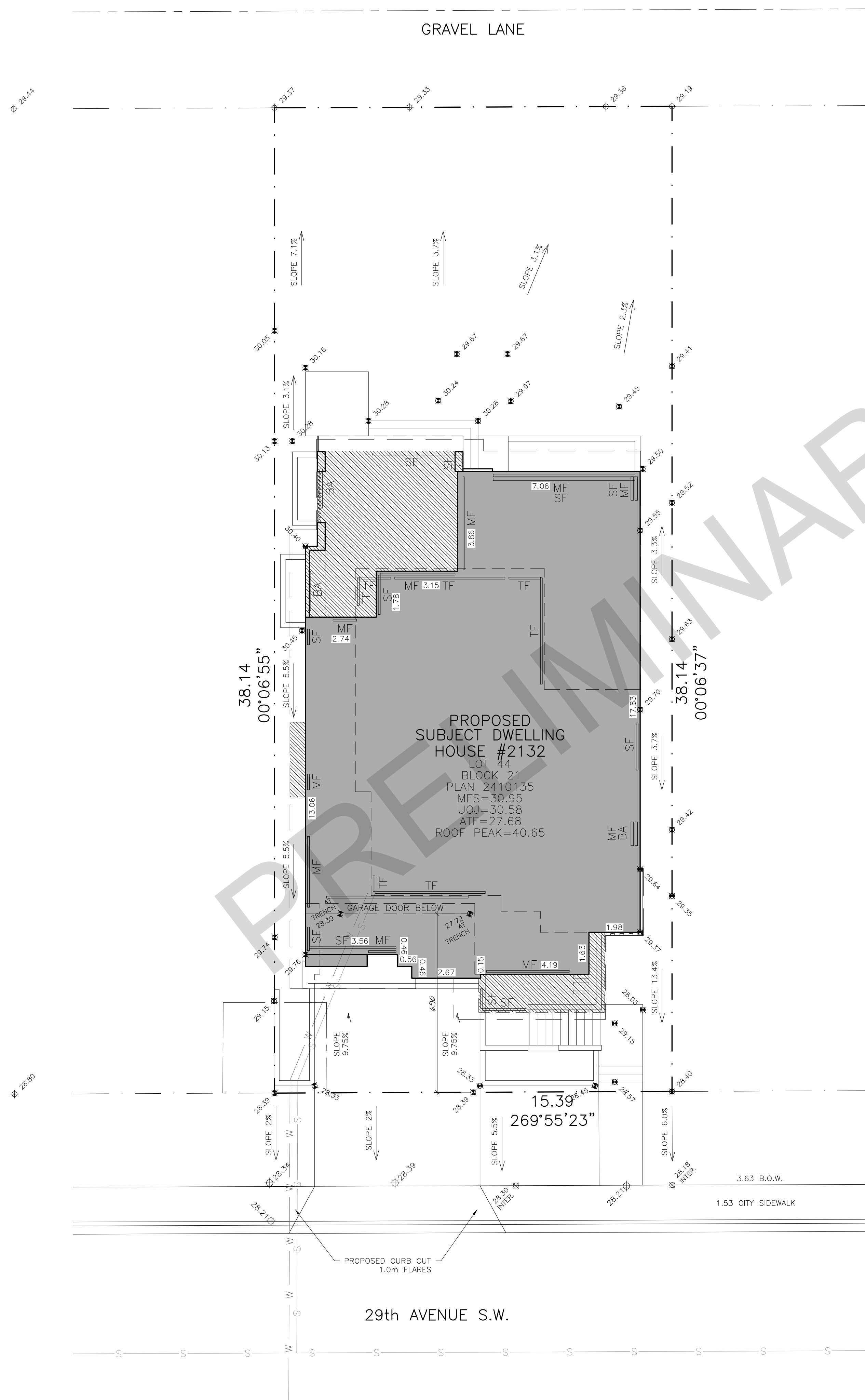
DRAWING TITLE:

GRADING PLAN

SCALE: 1:100
DATE: 2026-01-30

SHEET:

A1.3



SITE PLAN

NOTES:

ELEVATIONS ARE SHOWN THUS: ϕ = XXXX.XX METRES.
ELEVATIONS ARE DERIVED FROM ON XXXXXX (XXMARKERXX) XXXX M
CONTOURS ARE AT XX METRE INTERVALS.
DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

'CANT.' DENOTES CANTILEVERS
'ENC.' DENOTES ENCROACHMENT(S)
'BW' DENOTES BACK OF WALKWAY
'CONC.' DENOTES CONCRETE
'RET.' DENOTES RETAINING
'BC' DENOTES BACK OF CURB
'TOW' DENOTES TOP OF WALL
'BOW' DENOTES BOTTOM OF WALL

LINETYPE LEGEND

--- DENOTES SUBJECT PROPERTY LINE
- - - DENOTES ADJACENT PROPERTY LINES
--- DENOTES SUBJECT SETBACKS
--- DENOTES SUBJECT ROOF LINE
--- DENOTES SUBJECT UPPER FLOOR
--- DENOTES UTILITY RIGHT OF WAY
-X-X- DENOTES PROPOSED FENCE
--- DENOTES PROPOSED LOT DRAINAGE
--- DENOTES EXISTING TO BE REMOVED
-X-X- DENOTES EXISTING FENCE
W DENOTES EXISTING WATER
S DENOTES EXISTING SANITARY
G DENOTES EXISTING GAS
ST DENOTES EXISTING STORM
OH DENOTES OVERHEAD POWER
P DENOTES UNDERGROUND POWER

SYMBOLS LEGEND

ϕ DENOTES EXISTING GEODETIC DATUM POINT
 \otimes DENOTES INTERPOLATED EXISTING GEODETIC POINT
 \otimes DENOTES PROPOSED GEODETIC DATUM POINT
BA DENOTES PROPOSED LOWER LEVEL WINDOW
MF DENOTES PROPOSED MAIN FLOOR WINDOW
UF DENOTES PROPOSED UPPER FLOOR WINDOW
L2 DENOTES PROPOSED LOFT FLOOR WINDOW
 \square DENOTES PROPOSED CONCRETE OR ASPHALT
 \bullet DENOTES EXISTING POWER POLE
 \bullet DENOTES EXISTING MANHOLE
 \bullet DENOTES EXISTING CATCH BASIN
 \bullet DENOTES EXISTING SIGN
 \bullet DENOTES EXISTING WATER VALVE
 \bullet DENOTES EXISTING GAS VALVE
 \bullet DENOTES EXISTING STREET LIGHT
 \bullet DENOTES EXISTING TREE

BUILDING AREA

BUILDING AREA (DWELLING): 263.43 SQ. M.
LOT AREA: 586.6 SQ. M.
BUILDING COVERAGE: 44.91%

