

2128 29 AVENUE SW  
CALGARY, AB

LEGAL DESCRIPTION  
LOT 43  
BLOCK 21  
PLAN 2410135



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

ISSUED FOR DEVELOPMENT PERMIT REVISIONS: 2026-02-06

BUILDING NOTES

-THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED, OR COPIED IN FULL OR IN PORTION WITHOUT WRITTEN CONSENT.

-DO NOT SCALE DRAWINGS.

-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.

-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

-UTILITIES SUBJECT TO CHANGE LOCATION DEPENDING ON BUILDING SITE CONDITIONS.

-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.

-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.

-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.

-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.

- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.

-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.

-4'-0" MIN FROST COVER REQUIRED AS PER ABC. SUBJECT TO ACTUAL SITE PLAN GRADES OR GRADE SLIP.

-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.

-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.

DRAWING LIST

A0.1 - INFORMATION  
A1.1 - BLOCK PLAN  
A1.2 - SITE PLAN  
A1.3 - GRADING PLAN  
A2.1 - FOUNDATION PLAN  
A2.2 - LOWER LEVEL DEVELOPMENT PLAN  
A2.3 - LOWER LEVEL STRUCTURAL PLAN  
A2.4 - MAIN FLOOR PLAN  
A2.5 - MAIN FLOOR STRUCTURAL PLAN  
A2.6 - SECOND FLOOR PLAN  
A2.7 - SECOND FLOOR STRUCTURAL PLAN  
A2.8 - THIRD FLOOR PLAN  
A2.9 - THIRD FLOOR STRUCTURAL PLAN

A2.10 - THIRD FLOOR DRAINAGE PLAN  
A2.11 - ROOF PLAN  
A3.1 - FRONT ELEVATION  
A3.2 - RIGHT ELEVATION  
A3.3 - REAR ELEVATION  
A3.4 - LEFT ELEVATION  
A4.1 - SECTION 1  
A4.2 - SECTION 2  
A4.3 - SECTION 3  
A4.4 - SECTION 4  
A5.1 - WINDOW AND DOOR SCHEDULE

PROJECT:  
**ISSUED FOR DR#4**

2128 29 AVENUE SW  
CALGARY, AB

LOT 43  
BLOCK 21  
PLAN 2410135

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REVISION SCHEDULE:

|    |                               |                   |
|----|-------------------------------|-------------------|
| 1. | ISSUED FOR PRICING            | AUG. 30, 2024     |
| 2. | ISSUED FOR DEVELOPMENT PERMIT | SEP. 30, 2024     |
| 3. | ISSUED FOR DR#1               | JAN. 27, 2025     |
| 4. | ISSUED FOR DR#2               | MAY 16, 2025      |
| 5. | ISSUED FOR DR#3               | DECEMBER 23, 2025 |
| 6. | ISSUED FOR DR#4               | FEBRUARY 06, 2026 |

DRAWN BY: DC

FLOOR AREAS:

|   |                     |
|---|---------------------|
| MAIN FLOOR AREA (DEVELOPED)                   | 2394 SQ. FT.        |
| UPPER FLOOR AREA (DEVELOPED)                  | 2405 SQ. FT.        |
| LOFT FLOOR AREA (DEVELOPED)                   | 1484 SQ. FT.        |
| <b>TOTAL DEVELOPED FLOOR AREA ABOVE GRADE</b> | <b>6283 SQ. FT.</b> |
| LOWER LEVEL AREA (DEVELOPED)                  | 1707 SQ. FT.        |
| ATTACHED GARAGE AREA                          | 607 SQ. FT.         |
| MECH/STORAGE (UNDEVELOPED)                    | 333 SQ. FT.         |
| COVERED PATIO                                 | 405 SQ. FT.         |
| ROOFTOP DECK                                  | 685 SQ. FT.         |

DRAWING TITLE:

**FRONT ELEVATION**

SCALE:  
DATE: FEBRUARY 06, 2026

SHEET: **A3.1**



**MATERIALS LEGEND**

|                               |   |   |
|-------------------------------|---|---|
| <b>A</b> SMOOTH CONCRETE      | <b>B</b> LIGHT ACRYLIC STUCCO                 | <b>C</b> DARK METAL PANELING                    |
| <b>D</b> LIGHT METAL PANELING | <b>E</b> VERTICAL FLUTED WOOD EFFECT CLADDING | <b>F</b> NATURAL VERTICAL WOOD CLADDING         |
| <b>G</b> ~2" STONE VENEER     | <b>H</b> PAVING                               | <b>I</b> TORCH-APPLIED MODIFIED BITUMEN ROOFING |

**COMMON DETAILS**

- 2" SMOOTH CONC. CAP W/ 2" O.H.
- ~1" CLADDING/SIDING REVIZAL LINES
- 12" x 5" x ~1" ALU. C-CHANNEL FASCIA
- 15" x 5" x ~1" ALU. C-CHANNEL FASCIA
- 8" x 2" x ~1" ALU. C-CHANNEL FASCIA
- ~3" W x ~1/2" ALU. BANDING
- 1/2" PROUD OF ADU. WOOD CLADDING. MATCH TO PARAPET CAP
- 42" HI. GLASS RAILING
- 4" x 4" SQUARE ALUM. EAVESTROUGH
- RETRACTABLE PRIVACY SCREEN

PROJECT:  
ISSUED FOR DR#4

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DRAWN BY: DC

FLOOR AREAS:

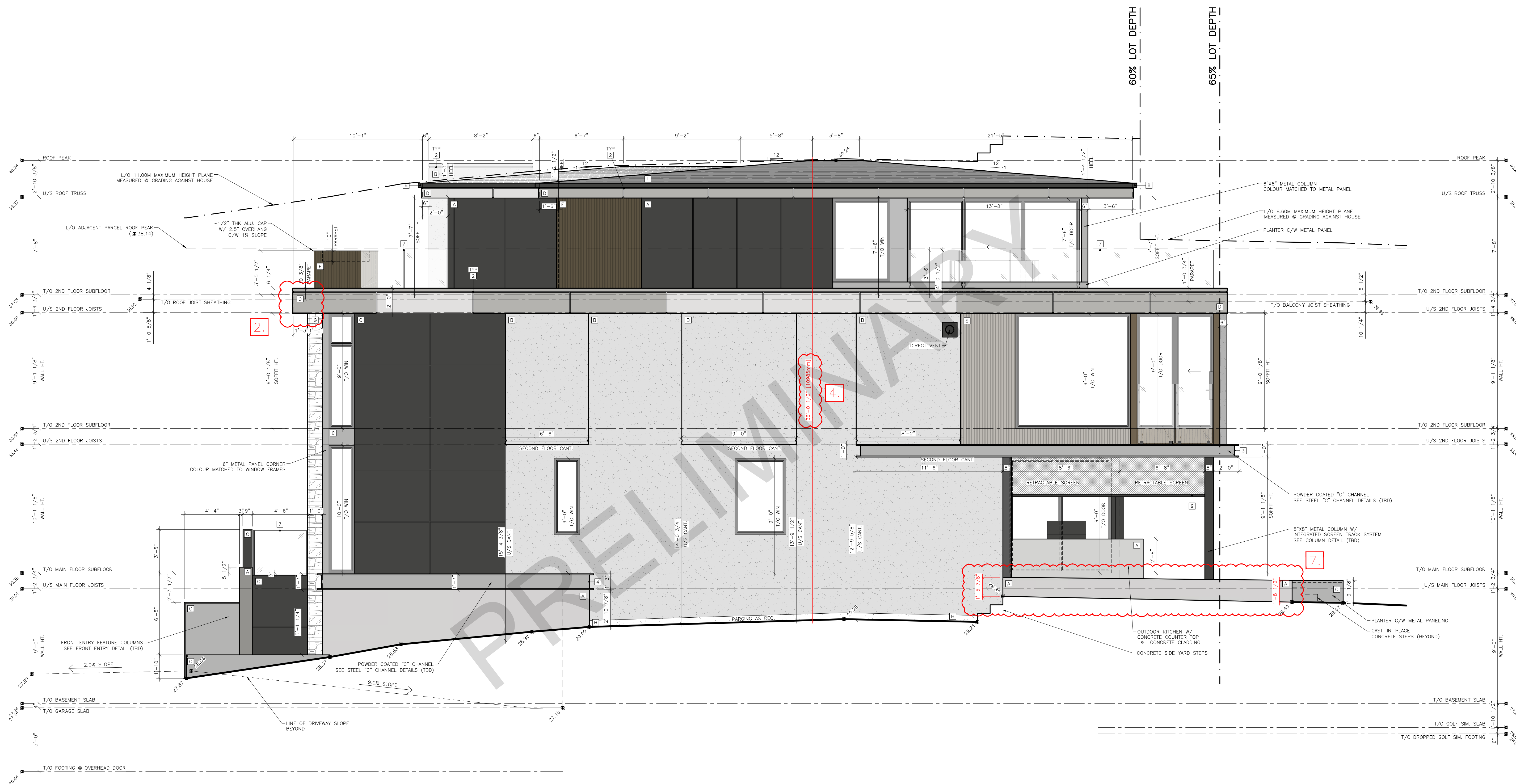
|  |              |
|--|--------------|
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| ATTACHED GARAGE AREA                   | 607 SQ. FT.  |
| MECH/STORAGE (UNDEVELOPED)             | 333 SQ. FT.  |
| COVERED PATIO                          | 405 SQ. FT.  |
| ROOFTOP DECK                           | 685 SQ. FT.  |

DRAWING TITLE:

RIGHT ELEVATION

SCALE:  
DATE: FEBRUARY 06, 2026

SHEET: A3.2



| MATERIALS LEGEND              |   |   |
|-------------------------------|---|---|
| <b>A</b> SMOOTH CONCRETE      | <b>B</b> LIGHT ACRYLIC STUCCO                 | <b>C</b> DARK METAL PANELING                    |
| <b>D</b> LIGHT METAL PANELING | <b>E</b> VERTICAL FLUTED WOOD EFFECT CLADDING | <b>F</b> NATURAL VERTICAL WOOD CLADDING         |
| <b>G</b> ~2" STONE VENEER     | <b>H</b> PAVING                               | <b>I</b> TORCH-APPLIED MODIFIED BITUMEN ROOFING |

| COMMON DETAILS  |
|---|
| 1. 2" SMOOTH CONC. CAP W/ 2" O.H.                       |
| 2. ~1" CLADDING/SIDING REVEAL LINES                     |
| 3. 12" x 5" x ~1" ALU. C-CHANNEL FASCIA                 |
| 4. 15" x 5" x ~1" ALU. C-CHANNEL FASCIA                 |
| 5. 8" x 2" x ~1" ALU. C-CHANNEL FASCIA                  |
| 6. ~3" W x ~1/2" ALU. BANDING                           |
| 7. 1/2" PROUD OF ADA WOOD CLADDING MATCH TO PARAPET CAP |
| 8. 42" HT. GLASS RAILING                                |
| 9. 4" x 4" SQUARE ALUM. EAVESTROUGH                     |
| 10. RETRACTABLE PRIVACY SCREEN                          |

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DRAWN BY: DC

FLOOR AREAS:

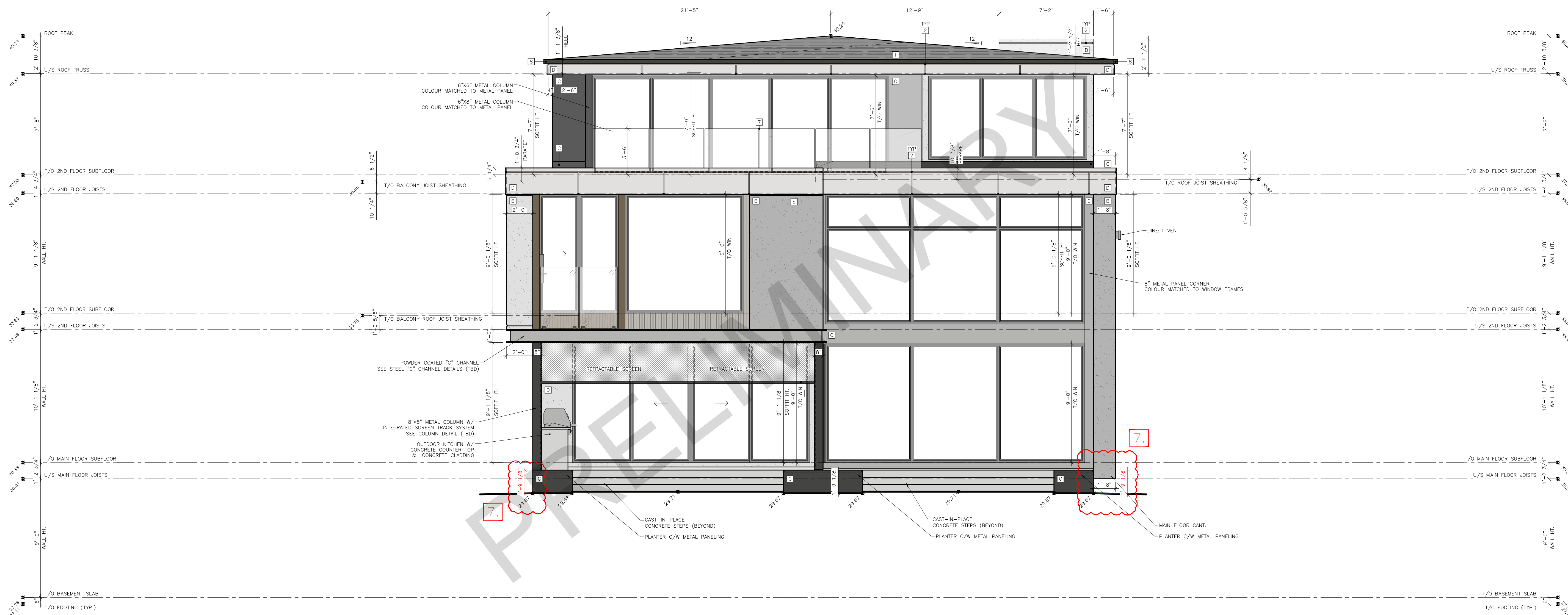
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| COVERED PATIO                          | 405 SQ. FT.  |
| ROOFTOP DECK                           | 685 SQ. FT.  |

DRAWING TITLE:

REAR ELEVATION

SCALE:  
DATE: FEBRUARY 06, 2026

SHEET: A3.3



**MATERIALS LEGEND**

|                             |   |   |
|-----------------------------|---|---|
| SMOOTH CONCRETE<br>[A]      | LIGHT ACRYLIC STUCCO<br>[B]                 | DARK METAL PANELING<br>[C]                    |
| LIGHT METAL PANELING<br>[D] | VERTICAL FLUTED WOOD EFFECT CLADDING<br>[E] | NATURAL VERTICAL WOOD CLADDING<br>[F]         |
| ~2" STONE VENEER<br>[G]     | PARGING<br>[H]                              | TORCH-APPLIED MODIFIED BITUMEN ROOFING<br>[I] |

**COMMON DETAILS**

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- ~1" CLADDING/SIDING REZAL LINES
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- 8" x 2" x ~1" ALU. C-CHANNEL FASCIA
- ~3" W x ~1/2" ALU. BANDING
- 1/2" PROF. OF ASU WOOD CLADDING MATCH TO PARAPET CAP
- 42" HI. GLASS RAILING
- 4" x 4" SQUARE ALUM. EAVESTROUGH
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DRAWN BY: DC

FLOOR AREAS:

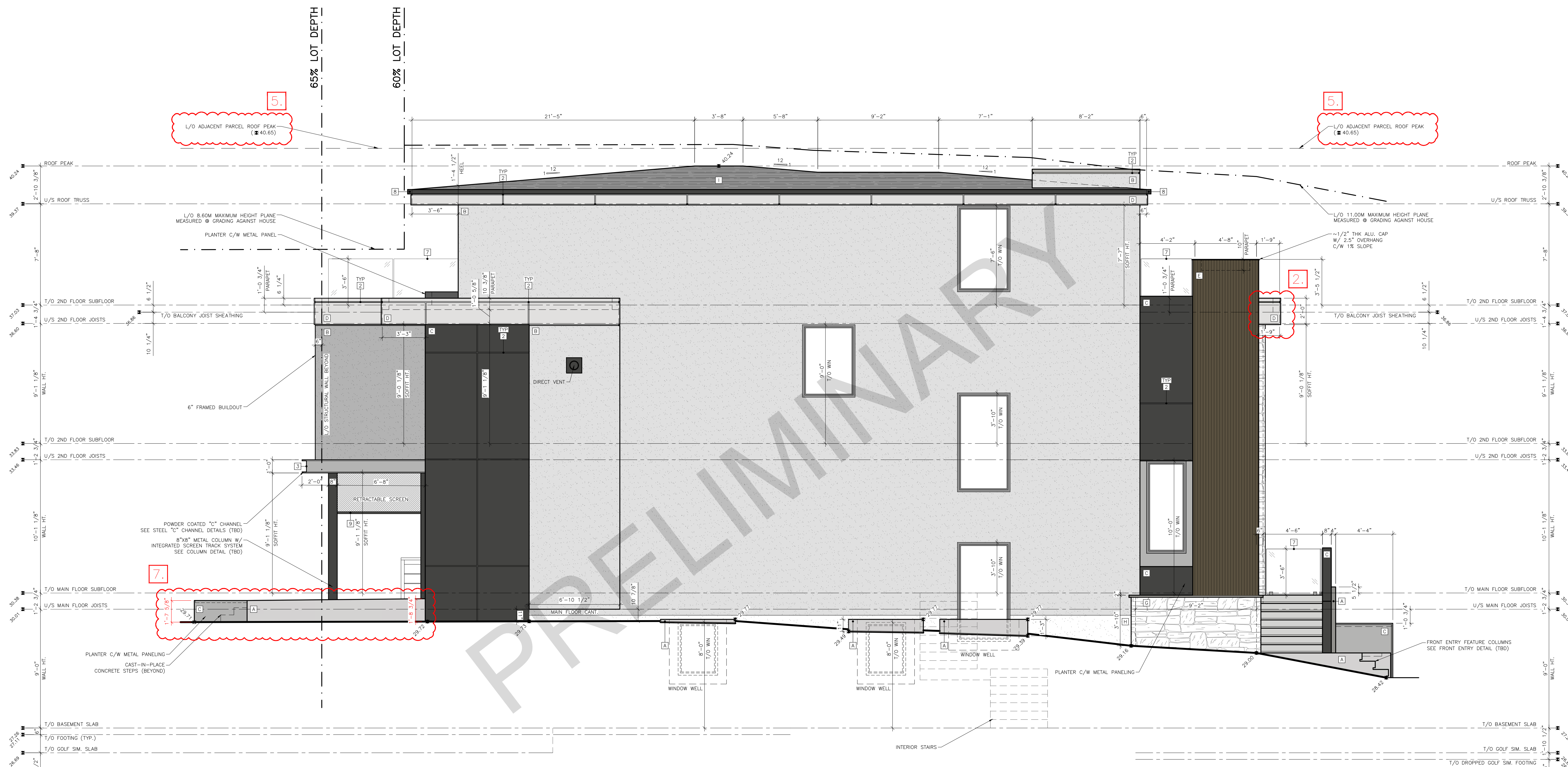
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| COVERED PATIO                          | 405 SQ. FT.  |
| ROOFTOP DECK                           | 685 SQ. FT.  |

DRAWING TITLE:

LEFT ELEVATION

SCALE:  
DATE: FEBRUARY 06, 2026

SHEET: A3.4



**MATERIALS LEGEND**

|                             |   |   |
|-----------------------------|---|---|
| SMOOTH CONCRETE<br>[A]      | LIGHT ACRYLIC STUCCO<br>[B]                 | DARK METAL PANELING<br>[C]                    |
| LIGHT METAL PANELING<br>[D] | VERTICAL FLUTED WOOD EFFECT CLADDING<br>[E] | NATURAL VERTICAL WOOD CLADDING<br>[F]         |
| ~2" STONE VENEER<br>[G]     | PAVING<br>[H]                               | TORCH-APPLIED MODIFIED BITUMEN ROOFING<br>[I] |

**COMMON DETAILS**

- 2" SMOOTH CONC. CAP W/ 2" O.H.
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- ~3" W x ~1/2" ALU. BANDING
- 1/2" PROF. OF ADU. WOOD CLADDING MATCH TO PARAPET CAP
- 42" HI. GLASS RAILING
- 4" x 4" SQUARE ALUM. EAVESTROUGH
- RETRACTABLE PRIVACY SCREEN

**SITE PLAN**

NOTES:

ELEVATIONS ARE SHOWN THUS:  $\phi = 280.00$  METRES.

ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 154898 AND 207480 ASCM 154898 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.

DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

"CANT." DENOTES CANTILEVERS  
"ENC." DENOTES ENCROACHMENT(S)  
"BW" DENOTES BACK OF WALKWAY  
"CONC." DENOTES CONCRETE  
"RET." DENOTES RETAINING  
"BC" DENOTES BACK OF CURB  
"TOW" DENOTES TOP OF WALL  
"BOW" DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

--- DENOTES SUBJECT PROPERTY LINE  
--- DENOTES ADJACENT PROPERTY LINES  
--- DENOTES SUBJECT SETBACKS  
--- DENOTES SUBJECT ROOF LINE  
--- DENOTES SUBJECT UPPER FLOOR  
--- DENOTES UTILITY RIGHT OF WAY  
-X-X- DENOTES PROPOSED FENCE  
--- DENOTES PROPOSED LOT DRAINAGE  
--- DENOTES EXISTING TO BE REMOVED  
-X-X- DENOTES EXISTING FENCE  
--- DENOTES EXISTING WATER  
--- DENOTES EXISTING SANITARY  
--- DENOTES EXISTING GAS  
--- DENOTES EXISTING STORM  
--- DENOTES EXISTING OVERHEAD POWER  
--- DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

⊕ DENOTES EXISTING GEODETIC DATUM POINT  
⊗ DENOTES INTERPOLATED EXISTING GEODETIC POINT  
⊗ DENOTES PROPOSED GEODETIC DATUM POINT  
BA DENOTES PROPOSED BASEMENT WINDOW  
MF DENOTES PROPOSED MAIN FLOOR WINDOW  
UF DENOTES PROPOSED SECOND FLOOR WINDOW  
U2 DENOTES PROPOSED THIRD FLOOR WINDOW  
--- DENOTES PROPOSED CONCRETE OR ASPHALT  
--- DENOTES EXISTING POWER POLE  
--- DENOTES EXISTING MANHOLE  
--- DENOTES EXISTING CATCH BASIN  
--- DENOTES EXISTING SIGN  
--- DENOTES EXISTING WATER VALVE  
--- DENOTES EXISTING GAS VALVE  
--- DENOTES EXISTING STREET LIGHT  
--- DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 262.61 SQ. M.  
LOT AREA: 586.41 SQ. M.  
BUILDING COVERAGE: 44.78%

PROJECT:  
ISSUED FOR DR #4

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LOT 43  
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DRAWN BY: DC

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|                              |              |
|------------------------------|--------------|
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|                              |              |
|------------------------------|--------------|
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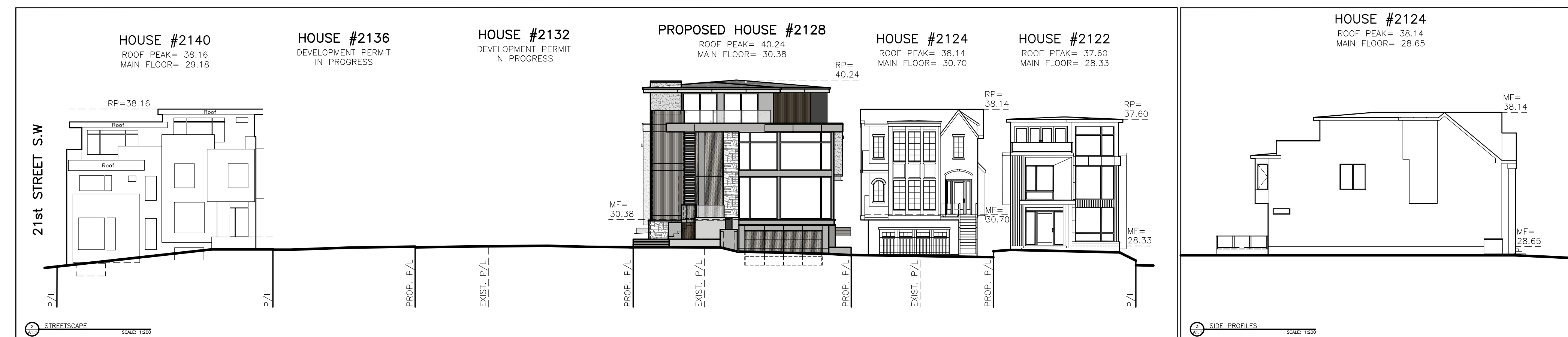
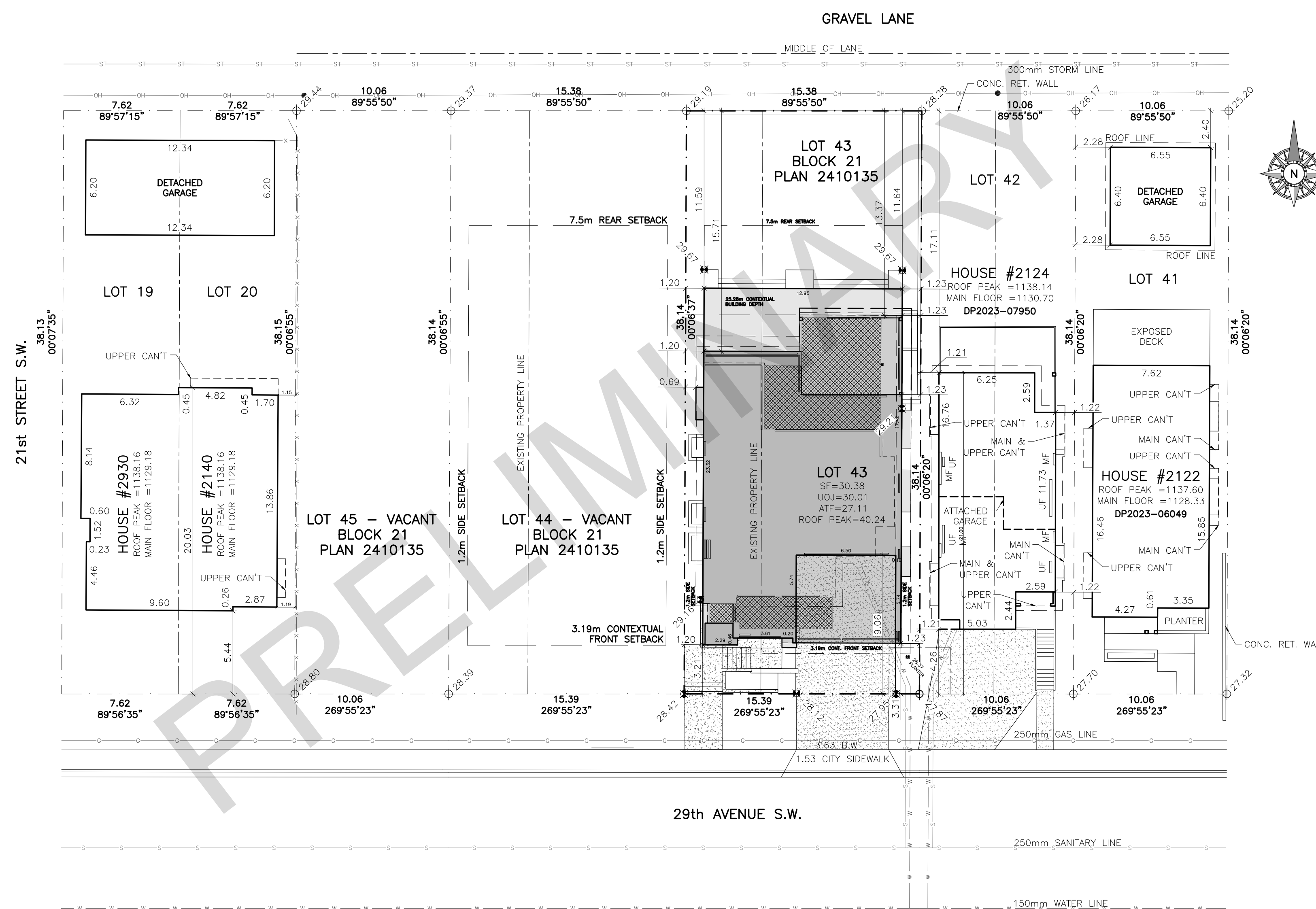
DRAWING TITLE:

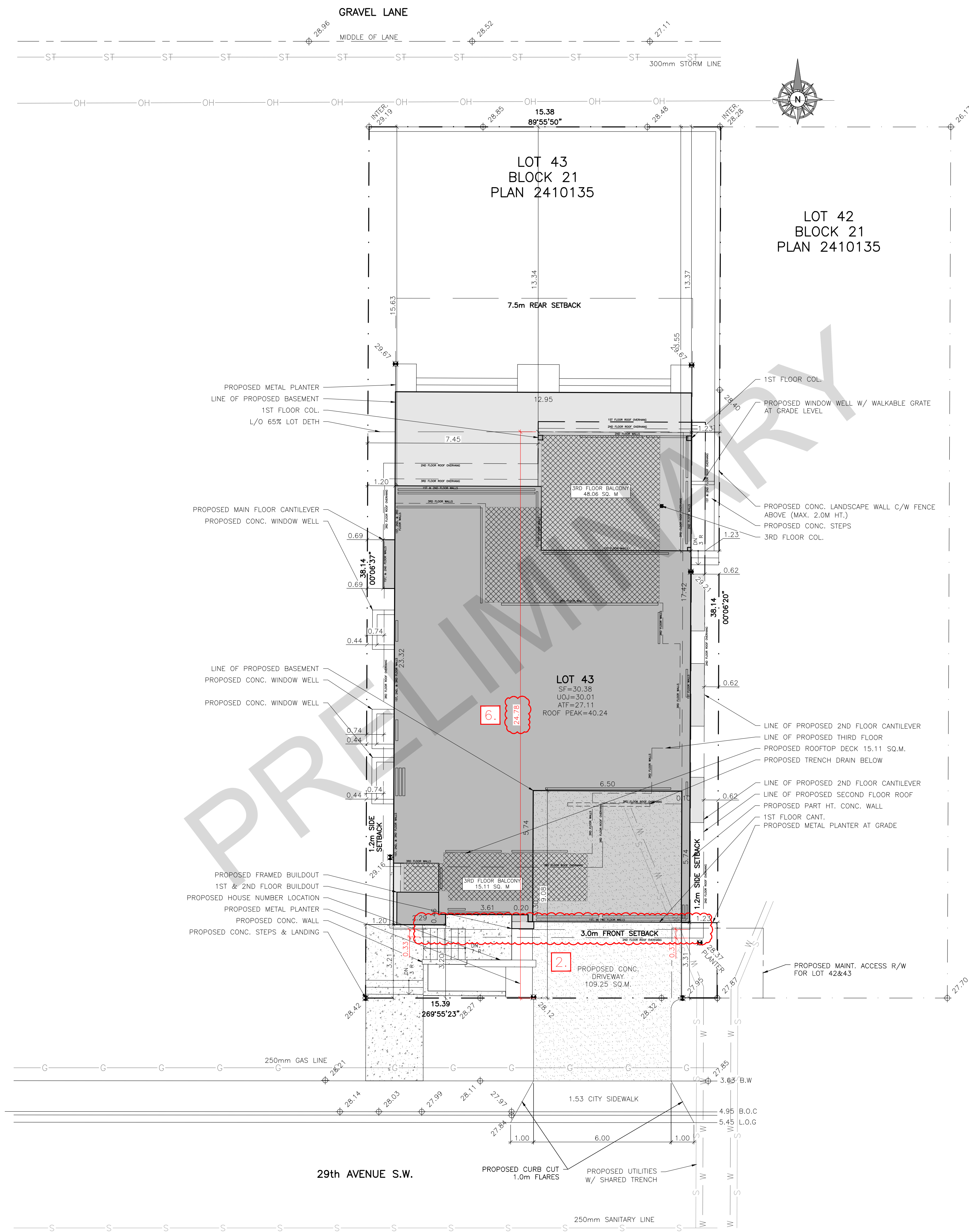
BLOCK PLAN

SCALE: 1:200  
DATE: FEBRUARY 06, 2026

SHEET:

A1.1





**SITE PLAN**

NOTES:

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- - - DENOTES SUBJECT UPPER FLOOR  
- - - DENOTES UTILITY RIGHT OF WAY  
- X - X DENOTES PROPOSED FENCE  
- - - DENOTES PROPOSED LOT DRAINAGE  
- - - DENOTES EXISTING TO BE REMOVED  
- X - X DENOTES EXISTING FENCE  
W DENOTES EXISTING WATER  
S DENOTES EXISTING SANITARY  
G DENOTES EXISTING GAS  
ST DENOTES EXISTING STORM  
OH DENOTES OVERHEAD POWER  
P DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

$\phi$  DENOTES EXISTING GEODETIC DATUM POINT  
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BA DENOTES PROPOSED BASEMENT WINDOW  
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LUF DENOTES PROPOSED THIRD FLOOR WINDOW  
CONC DENOTES PROPOSED CONCRETE OR ASPHALT  
P DENOTES EXISTING POWER POLE  
M DENOTES EXISTING MANHOLE  
CB DENOTES EXISTING CATCH BASIN  
S DENOTES EXISTING SIGN  
WV DENOTES EXISTING WATER VALVE  
GV DENOTES EXISTING GAS VALVE  
SL DENOTES EXISTING STREET LIGHT  
T DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 262.61 SQ. M.  
LOT AREA: 586.41 SQ. M.  
BUILDING COVERAGE: 44.78%

PROJECT:  
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CALGARY, AB

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**REVISION SCHEDULE:**

|    |                               |                   |
|----|-------------------------------|-------------------|
| 1. | ISSUED FOR PRICING            | AUG. 30, 2024     |
| 2. | ISSUED FOR DEVELOPMENT PERMIT | SEP. 30, 2024     |
| 3. | ISSUED FOR DR#1               | JAN. 27, 2025     |
| 4. | ISSUED FOR DR#2               | MAY 16, 2025      |
| 5. | ISSUED FOR DR#3               | DECEMBER 23, 2025 |
| 6. | ISSUED FOR DR#4               | FEBRUARY 06, 2026 |

DRAWN BY: DC

**FLOOR AREAS:**

|   |                     |
|---|---------------------|
| MAIN FLOOR AREA (DEVELOPED)                   | 2394 SQ. FT.        |
| UPPER FLOOR AREA (DEVELOPED)                  | 2405 SQ. FT.        |
| LOFT FLOOR AREA (DEVELOPED)                   | 1484 SQ. FT.        |
| <b>TOTAL DEVELOPED FLOOR AREA ABOVE GRADE</b> | <b>6283 SQ. FT.</b> |
| LOWER LEVEL AREA (DEVELOPED)                  | 1707 SQ. FT.        |
| ATTACHED GARAGE AREA                          | 607 SQ. FT.         |
| MECH/STORAGE (UNDEVELOPED)                    | 333 SQ. FT.         |
| COVERED PATIO                                 | 405 SQ. FT.         |
| ROOFTOP DECK                                  | 685 SQ. FT.         |

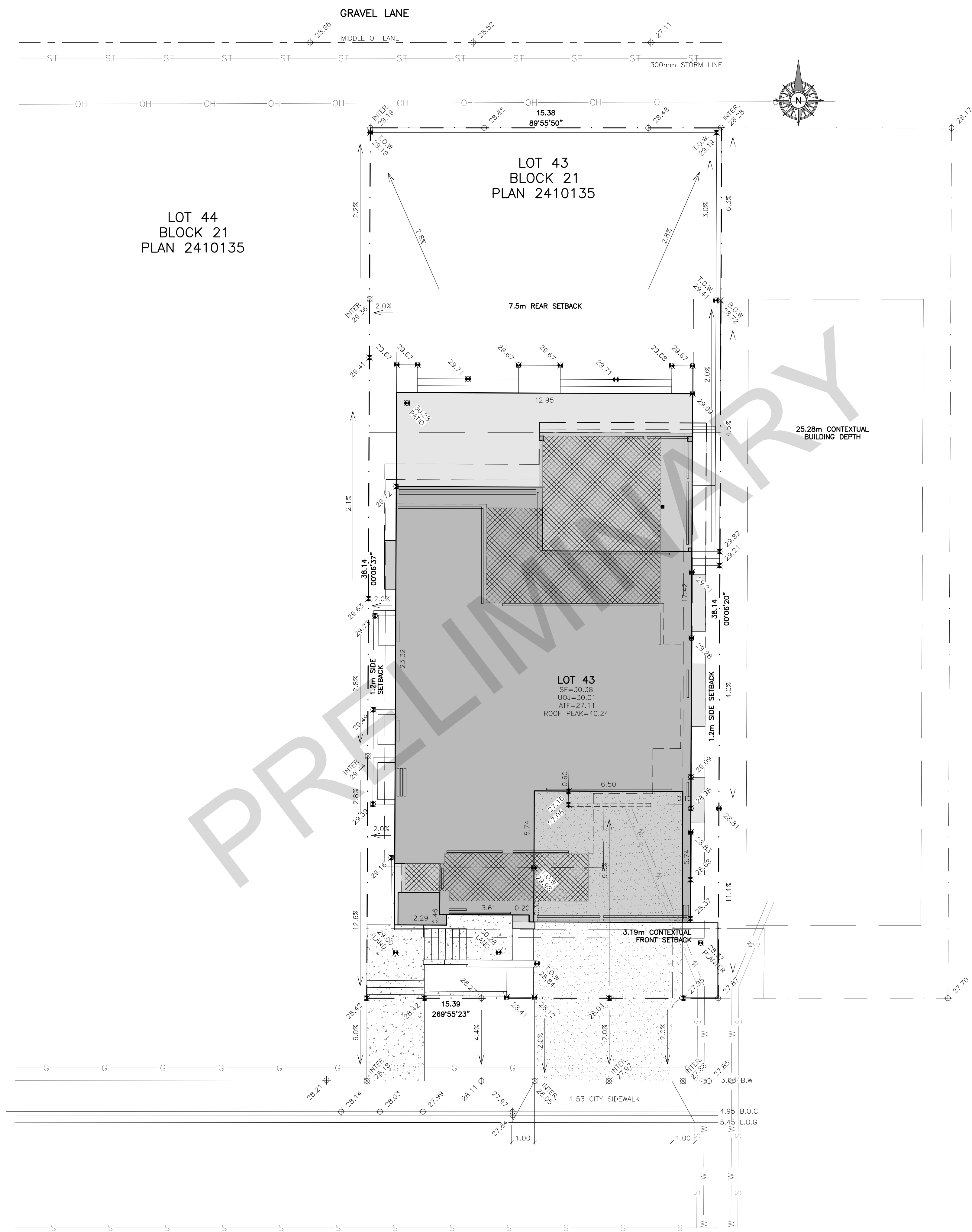
DRAWING TITLE:

**SITE PLAN**

SCALE: 1:100  
DATE: FEBRUARY 06, 2026

SHEET:

**A1.2**



**SITE PLAN**

NOTES:

ELEVATIONS ARE SHOWN THUS:  $\phi$  = 1128.00 METRES.

ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 154898 AND 207480 ASCM 154898 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.

DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

"CANT." DENOTES CANTILEVERS  
 "ENC." DENOTES ENCROACHMENT(S)  
 "BW" DENOTES BACK OF WALKWAY  
 "CONC." DENOTES CONCRETE  
 "RET." DENOTES RETAINING  
 "BC" DENOTES BACK OF CURB  
 "TOW" DENOTES TOP OF WALL  
 "BOW" DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

— · — DENOTES SUBJECT PROPERTY LINE  
 — — — DENOTES ADJACENT PROPERTY LINES  
 - - - - - DENOTES SUBJECT SETBACKS  
 - - - - - DENOTES SUBJECT ROOF LINE  
 - - - - - DENOTES SUBJECT UPPER FLOOR  
 - - - - - DENOTES UTILITY RIGHT OF WAY  
 - X - X - DENOTES PROPOSED FENCE  
 - - - - - DENOTES PROPOSED LOT DRAINAGE  
 - X - X - DENOTES EXISTING FENCE  
 W DENOTES EXISTING WATER  
 S DENOTES EXISTING SANITARY  
 G DENOTES EXISTING GAS  
 ST DENOTES EXISTING STORM  
 OH DENOTES OVERHEAD POWER  
 P DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

$\phi$  DENOTES EXISTING GEODETIC DATUM POINT  
 X X DENOTES INTERPOLATED EXISTING GEODETIC POINT  
 BA DENOTES PROPOSED GEODETIC DATUM POINT  
 BA DENOTES PROPOSED BASEMENT WINDOW  
 MF DENOTES PROPOSED MAIN FLOOR WINDOW  
 UF DENOTES PROPOSED SECOND FLOOR WINDOW  
 U2 DENOTES PROPOSED THIRD FLOOR WINDOW  
 DENOTES EXISTING POWER POLE  
 DENOTES EXISTING MANHOLE  
 DENOTES EXISTING CATCH BASIN  
 DENOTES EXISTING SIGN  
 DENOTES EXISTING WATER VALVE  
 DENOTES EXISTING GAS VALVE  
 DENOTES EXISTING STREET LIGHT  
 DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 262.61 SQ. M.  
 LOT AREA: 586.41 SQ. M.  
 BUILDING COVERAGE: 44.78%

PROJECT:  
ISSUED FOR DR #4

2128 29 AVENUE SW  
CALGARY, AB

LOT 43  
BLOCK 21  
PLAN 2410135

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DRAWN BY: DC

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| ROOFTOP DECK                           | 685 SQ. FT.  |

DRAWING TITLE:

GRADING PLAN

SCALE: 1:100  
 DATE: FEBRUARY 06, 2026

SHEET:

A1.3