

# 2128 29 AVENUE SW CALGARY, AB

LEGAL DESCRIPTION  
LOT 43  
BLOCK 21  
PLAN 2410135



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

ISSUED FOR DEVELOPMENT PERMIT REVISIONS: 2025-12-23

BUILDING NOTES					DRAWING LIST		
<p>-THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED, OR COPIED IN FULL OR IN PORTION WITHOUT WRITTEN CONSENT.</p> <p>-DO NOT SCALE DRAWINGS.</p>	<p>-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.</p> <p>-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.</p>	<p>-UTILITIES SUBJECT TO CHANGE LOCATION DEPENDING ON BUILDING SITE CONDITIONS.</p> <p>-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.</p> <p>-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.</p>	<p>-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.</p> <p>-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.</p> <p>- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.</p>	<p>-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.</p> <p>-4'-0" MIN FROST COVER REQUIRED AS PER ABC. SUBJECT TO ACTUAL SITE PLAN GRADES OR GRADE SLIP.</p>	<p>-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.</p> <p>-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.</p>	<p>A0.1 - INFORMATION A1.1 - BLOCK PLAN A1.2 - SITE PLAN A1.3 - GRADING PLAN A2.1 - LOWER LEVEL DEVELOPMENT PLAN A2.2 - MAIN FLOOR PLAN A2.3 - SECOND FLOOR PLAN A2.4 - THIRD FLOOR PLAN A2.5 - ROOF PLAN A3.1 - FRONT ELEVATION A3.2 - RIGHT ELEVATION</p>	<p>A3.3 - REAR ELEVATION A3.4 - LEFT ELEVATION A4.1 - SECTION 1 A4.2 - SECTION 2 A5.1 - WINDOW AND DOOR SCHEDULE A6.1 - MAX HEIGHT IMAGES</p>

PROJECT:  
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REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025
5.	ISSUED FOR DR#3	DECEMBER 23, 2025

DRAWN BY: DC

FLOOR AREAS:

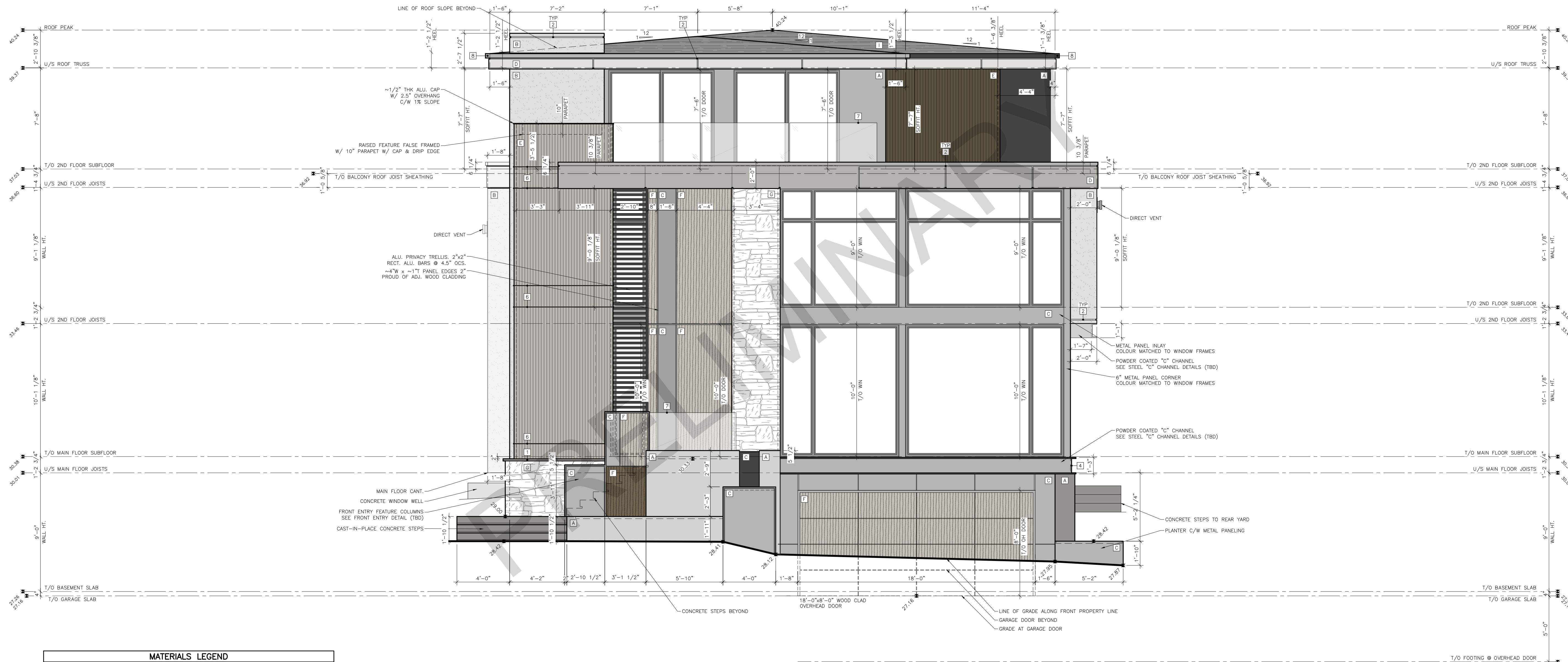
MAIN FLOOR AREA (DEVELOPED)	2376 SQ. FT.
UPPER FLOOR AREA (DEVELOPED)	2398 SQ. FT.
LOFT FLOOR AREA (DEVELOPED)	1484 SQ. FT.
<b>TOTAL DEVELOPED FLOOR AREA ABOVE GRADE</b>	<b>6258 SQ. FT.</b>
LOWER LEVEL AREA (DEVELOPED)	1681 SQ. FT.
ATTACHED GARAGE AREA	607 SQ. FT.
MECH/STORAGE (UNDEVELOPED)	358 SQ. FT.
COVERED PATIO	437 SQ. FT.
ROOFTOP DECK	710 SQ. FT.

DRAWING TITLE:

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: DECEMBER 23, 2025

SHEET: **A3.1**



**MATERIALS LEGEND**

<b>A</b> SMOOTH CONCRETE	<b>B</b> LIGHT ACRYLIC STUCCO	<b>C</b> DARK METAL PANELING
<b>D</b> LIGHT METAL PANELING	<b>E</b> VERTICAL FLUTED WOOD EFFECT CLADDING	<b>F</b> NATURAL VERTICAL WOOD CLADDING
<b>G</b> ~2" STONE VENEER	<b>H</b> PAVING	<b>I</b> TORCH-APPLIED MODIFIED BITUMEN ROOFING

**COMMON DETAILS**

- 2" SMOOTH CONC. CAP W/ 2" O.H.
- ~1" CLADDING/SIONS REZAL LINES
- 12" x 5" x ~1" ALU. C-CHANNEL FASCIA
- 15" x 5" x ~1" ALU. C-CHANNEL FASCIA
- 8" x 2" x ~1" ALU. C-CHANNEL FASCIA
- ~3" W x ~1/2" ALU. BANDING
- 1/2" PROUD OF ADU. WOOD CLADDING. MATCH TO PARAPET CAP
- 42" HI. GLASS RAILING
- 4" x 4" SQUARE ALUM. EAVESTROUGH
- RETRACTABLE PRIVACY SCREEN

PROJECT:  
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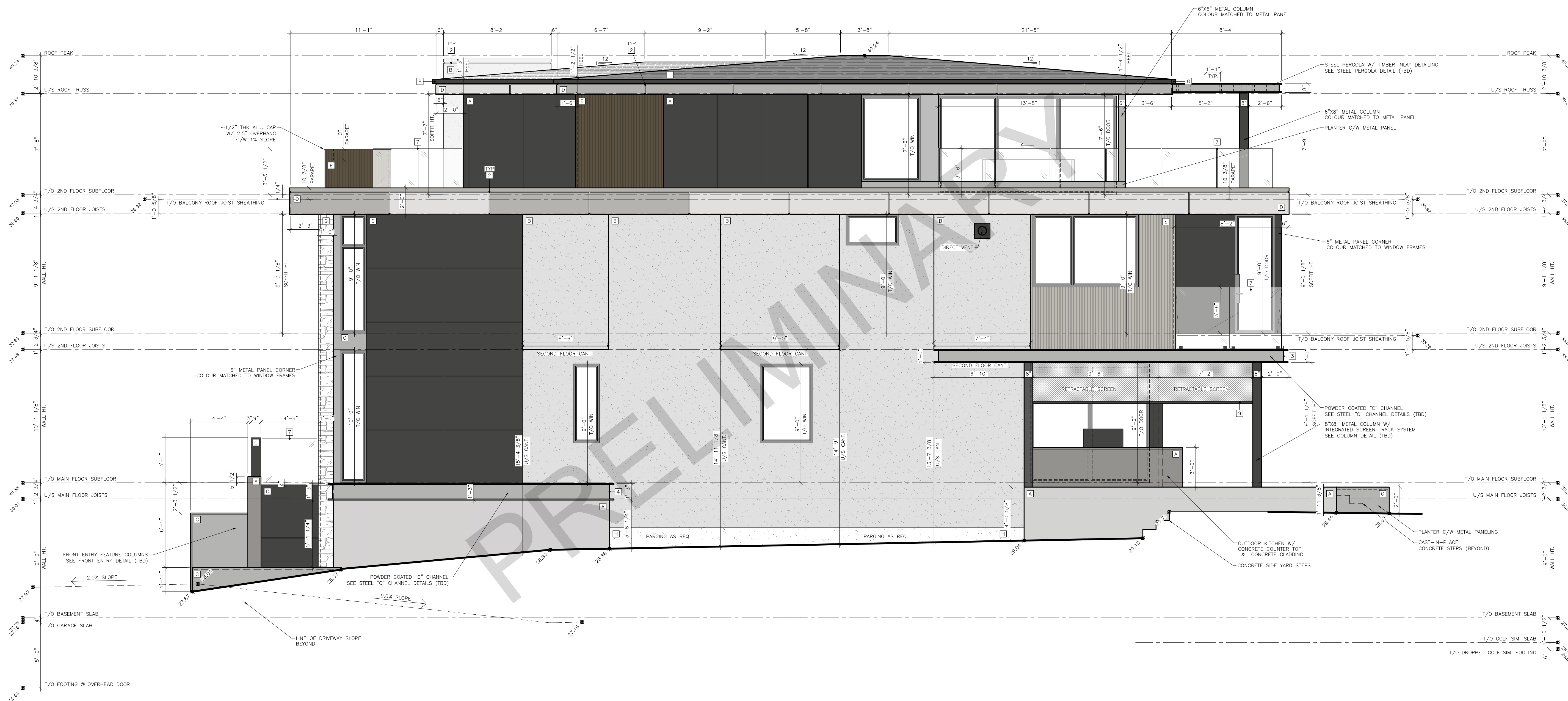
DRAWING TITLE:

**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: DECEMBER 23, 2025

SHEET:

**A3.2**



MATERIALS LEGEND		
<b>A</b> SMOOTH CONCRETE	<b>B</b> LIGHT ACRYLIC STUCCO	<b>C</b> DARK METAL PANELING
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4. 15" x 5" x ~1" ALU. C-CHANNEL FASCIA
5. 8" x 2" x ~1" ALU. C-CHANNEL FASCIA
6. ~3" W x ~1/2" ALU. BANDING
7. 1/2" PROUD OF ADA WOOD CLADDING MATCH TO PARAPET GAP
8. 42" HT. GLASS RAILING
9. 4" x 4" SQUARE ALUM. EAVESTROUGH
10. RETRACTABLE PRIVACY SCREEN



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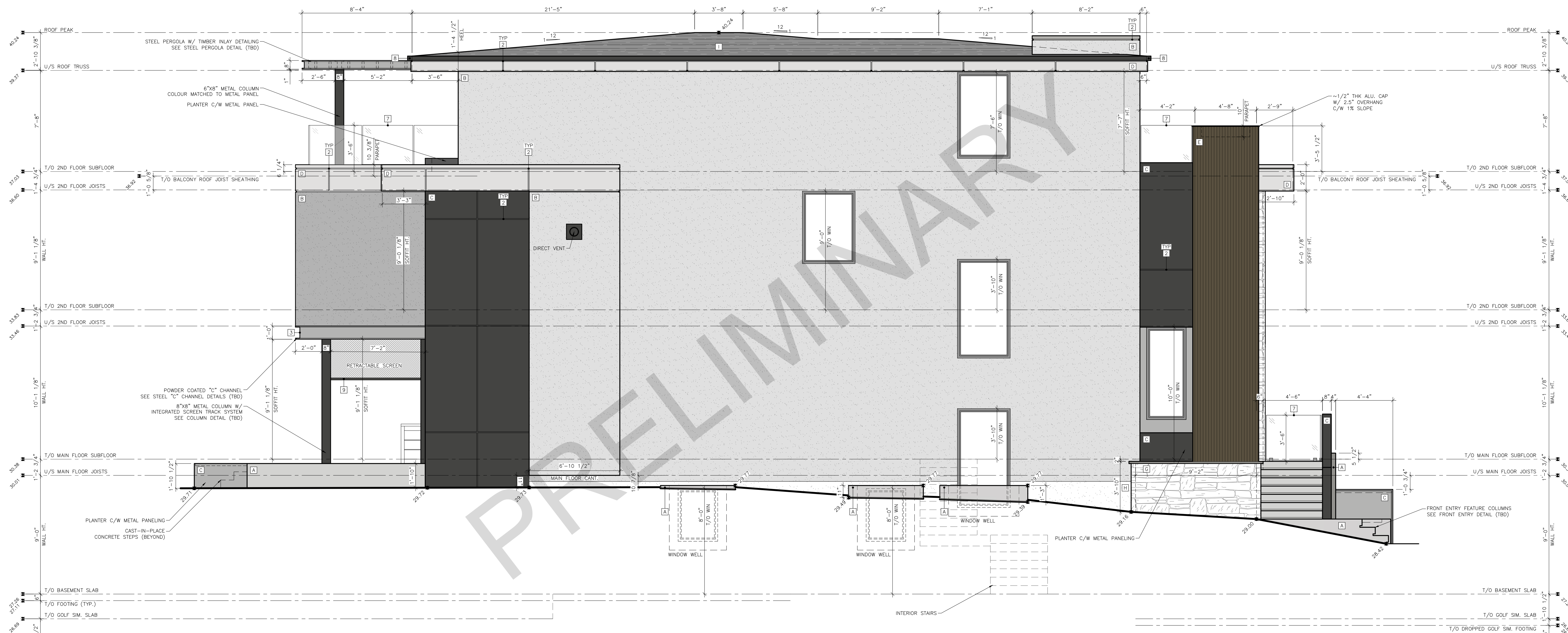
DRAWING TITLE:

**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: DECEMBER 23, 2025

SHEET:

**A3.4**



**MATERIALS LEGEND**

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MAX HEIGHT 3D IMAGES

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DRAWING TITLE:

**MAX HEIGHT IMAGES**

SCALE: 1/4" = 1'-0"  
DATE: DECEMBER 23, 2025

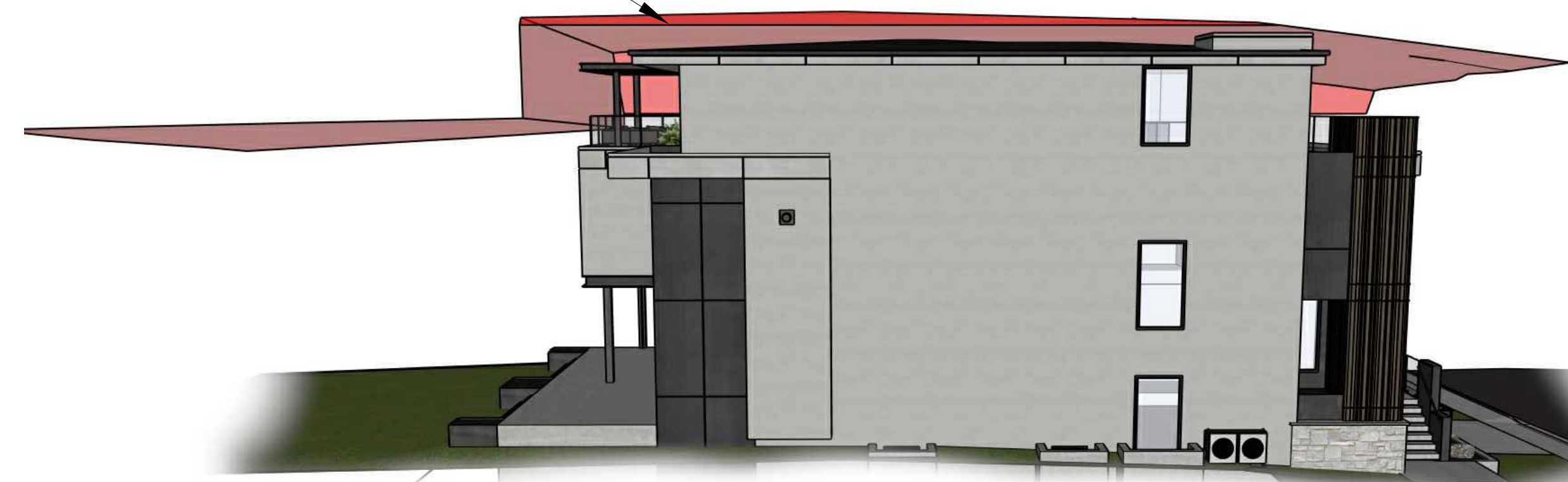
SHEET:

**A6.1**

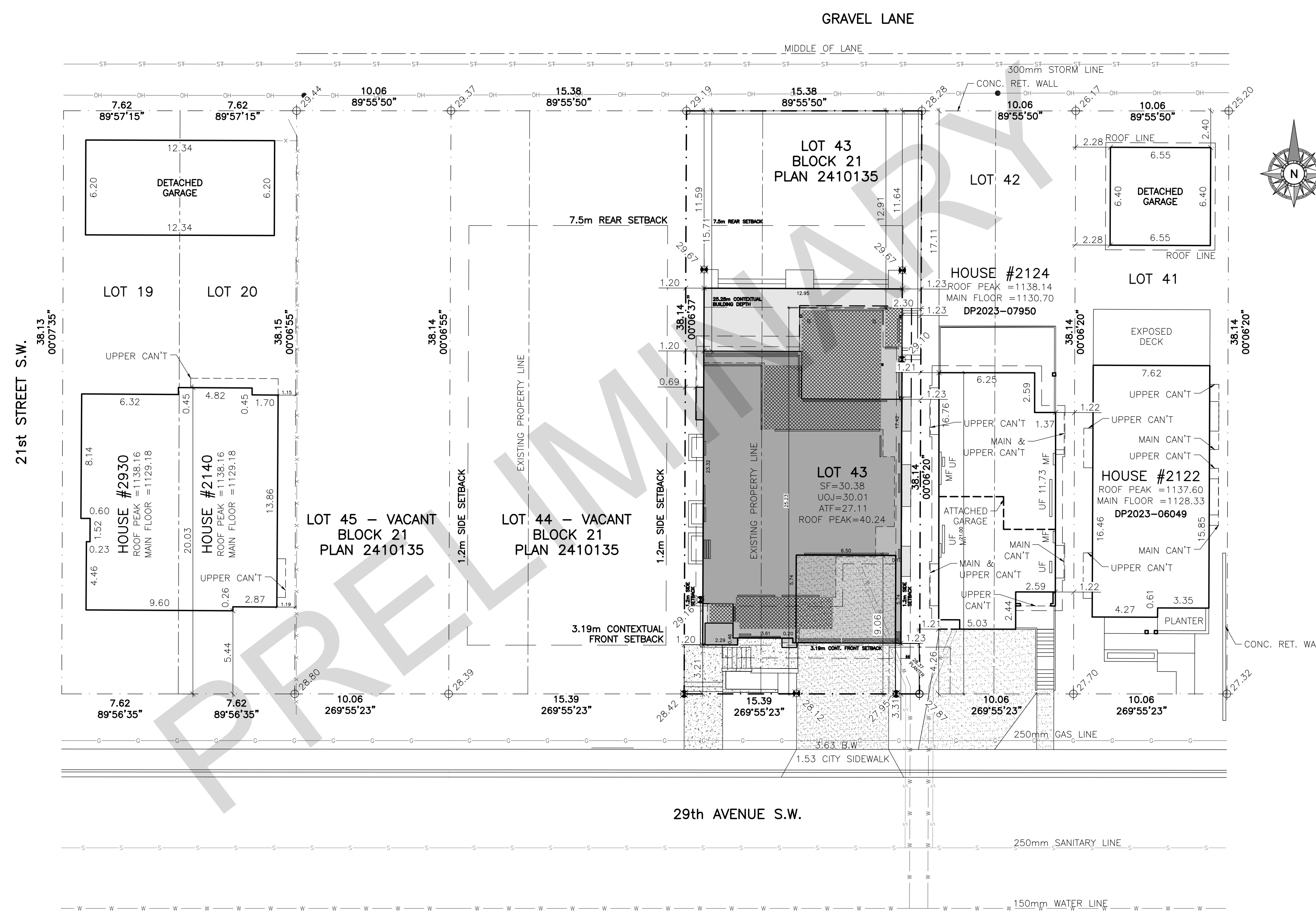
MAX ALLOWABLE HEIGHT PLANE



MAX ALLOWABLE HEIGHT PLANE



# 1



**SITE PLAN**

NOTES:

ELEVATIONS ARE SHOWN THUS:  $\phi = 1128.00$  METRES.

ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 154898 AND 207480 ASCM 154898 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.

DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

'CANT.' DENOTES CANTILEVERS  
'ENC.' DENOTES ENCROACHMENT(S)  
'BW' DENOTES BACK OF WALKWAY  
'CONC.' DENOTES CONCRETE  
'RET.' DENOTES RETAINING  
'BC' DENOTES BACK OF CURB  
'TOW' DENOTES TOP OF WALL  
'BOW' DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

— DENOTES SUBJECT PROPERTY LINE  
- - - DENOTES ADJACENT PROPERTY LINES  
- - - DENOTES SUBJECT SETBACKS  
- - - DENOTES SUBJECT ROOF LINE  
- - - DENOTES SUBJECT UPPER FLOOR  
- - - DENOTES UTILITY RIGHT OF WAY  
- X - X DENOTES PROPOSED FENCE  
- - - DENOTES PROPOSED LOT DRAINAGE  
- - - DENOTES EXISTING TO BE REMOVED  
- X - X DENOTES EXISTING FENCE  
W DENOTES EXISTING WATER  
S DENOTES EXISTING SANITARY  
G DENOTES EXISTING GAS  
ST DENOTES EXISTING STORM  
OH DENOTES EXISTING OVERHEAD POWER  
P DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

$\phi$  DENOTES EXISTING GEODETIC DATUM POINT  
 $\times$  DENOTES INTERPOLATED EXISTING GEODETIC POINT  
 $\square$  DENOTES PROPOSED GEODETIC DATUM POINT  
BA DENOTES PROPOSED BASEMENT WINDOW  
MF DENOTES PROPOSED MAIN FLOOR WINDOW  
UF DENOTES PROPOSED SECOND FLOOR WINDOW  
U2 DENOTES PROPOSED THIRD FLOOR WINDOW  
 $\square$  DENOTES PROPOSED CONCRETE OR ASPHALT  
 $\bullet$  DENOTES EXISTING POWER POLE  
 $\circ$  DENOTES EXISTING MANHOLE  
 $\square$  DENOTES EXISTING CATCH BASIN  
 $\square$  DENOTES EXISTING SIGN  
 $\square$  DENOTES EXISTING WATER VALVE  
 $\square$  DENOTES EXISTING GAS VALVE  
 $\square$  DENOTES EXISTING STREET LIGHT  
 $\circ$  DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 262.84 SQ. M.  
LOT AREA: 586.40 SQ. M.  
BUILDING COVERAGE: 44.82%

PROJECT:  
**ISSUED FOR DEVELOPMENT PERMIT**

2128 29 AVENUE SW  
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LOT 43  
BLOCK 21  
PLAN 2410135

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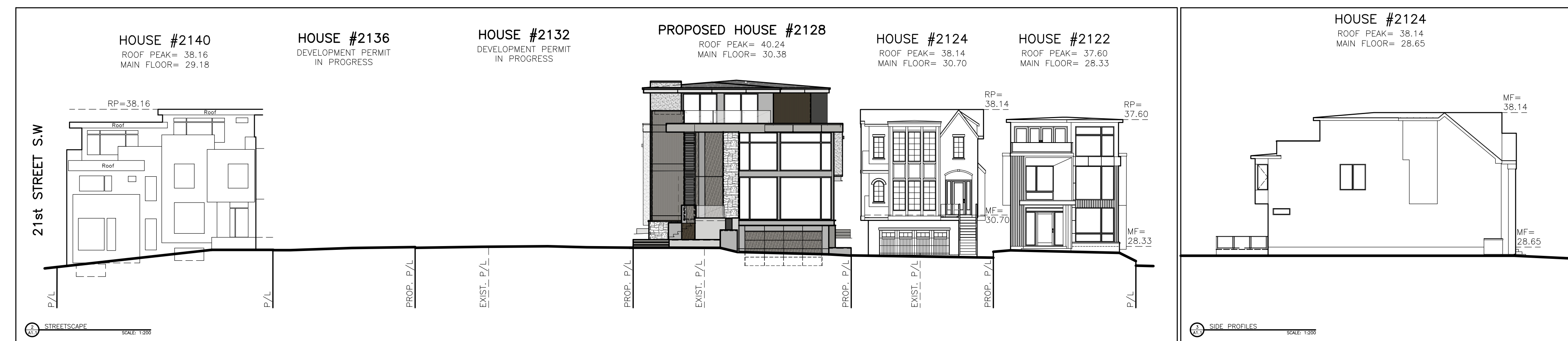
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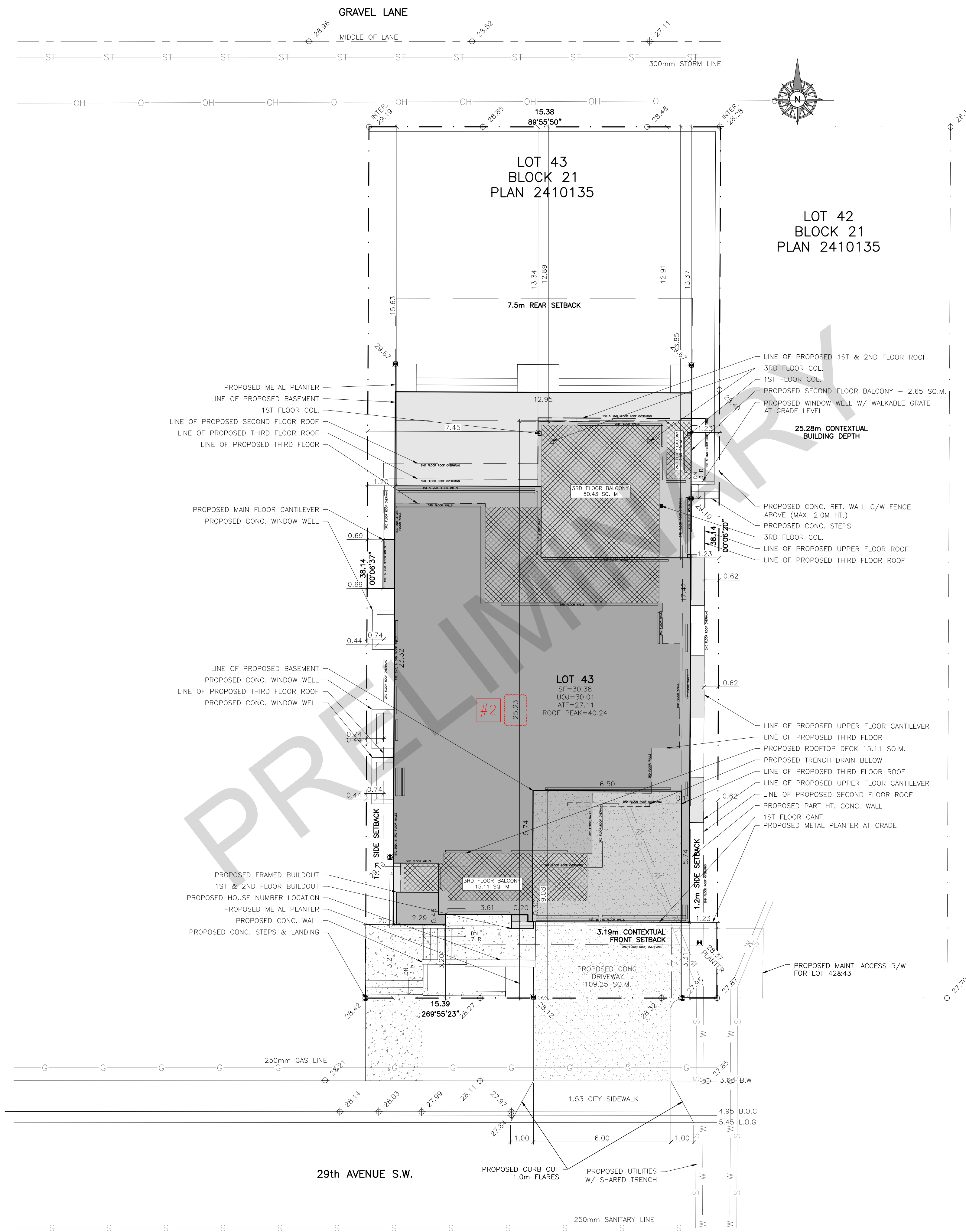
**BLOCK PLAN**

SCALE: 1:200  
DATE: DECEMBER 23, 2025

SHEET:

**A1.1**





**SITE PLAN**

NOTES:

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DRAWING TITLE:

**SITE PLAN**

SCALE: 1:100  
DATE: DECEMBER 23, 2025

SHEET: **A1.2**

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UPPER FLOOR AREA (DEVELOPED)	2398 SQ.FT.
LOFT FLOOR AREA (DEVELOPED)	1484 SQ.FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	6258 SQ.FT.
LOWER LEVEL AREA (DEVELOPED)	1681 SQ.FT.
ATTACHED GARAGE AREA	607 SQ.FT.
MECH/STORAGE (UNDEVELOPED)	358 SQ.FT.
COVERED PATIO	437 SQ.FT.
ROOFTOP DECK	710 SQ.FT.

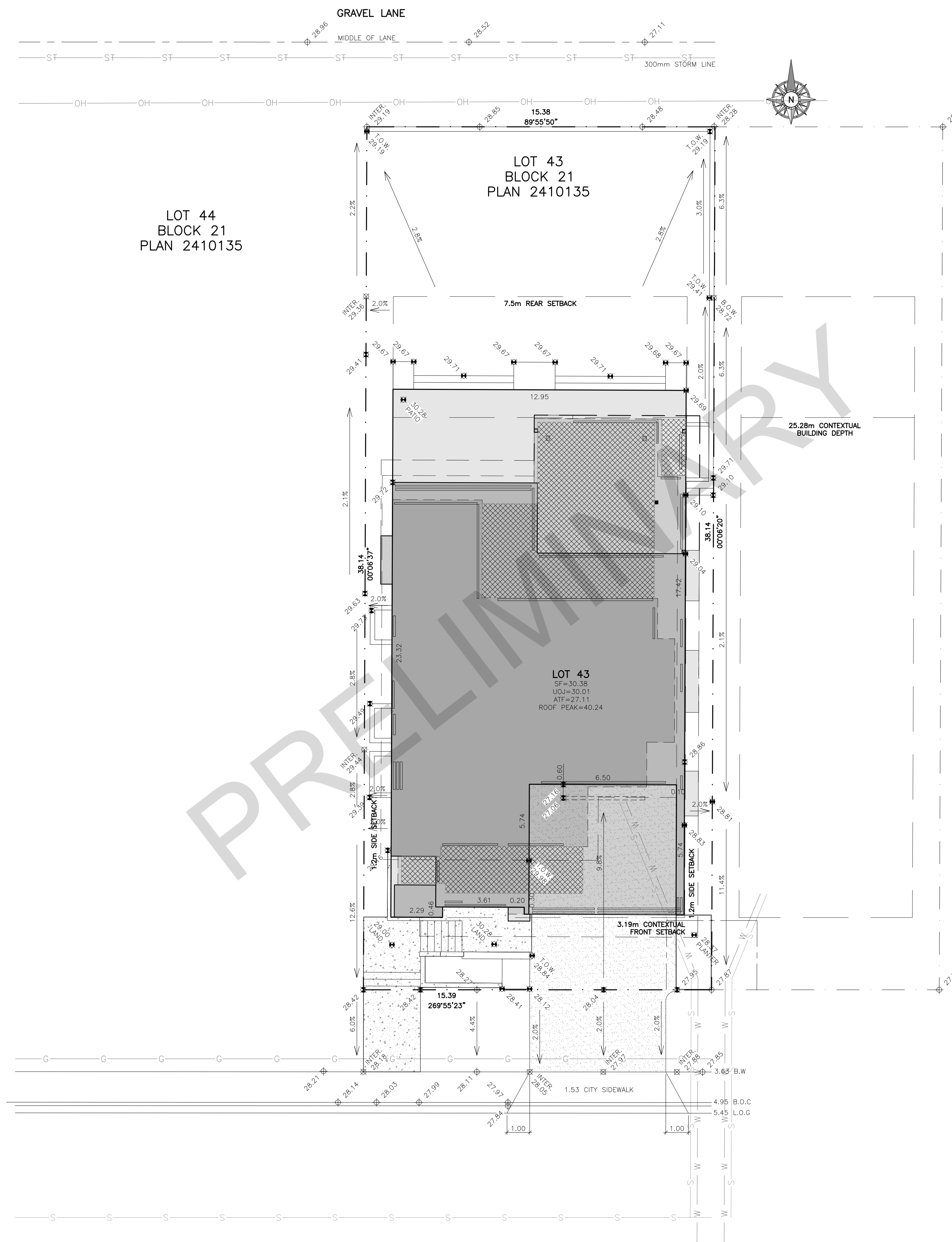
DRAWING TITLE:

GRADING PLAN

SCALE: 1:100  
DATE: DECEMBER 23, 2025

SHEET:

A1.3



SITE PLAN

NOTES:  
ELEVATIONS ARE SHOWN THUS:  $\phi$  = 1128.00 METRES.  
ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 154898 AND 207480 ASCM 154898 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:  
'CANT.' DENOTES CANTILEVERS  
'ENC.' DENOTES ENCROACHMENT(S)  
'BW' DENOTES BACK OF WALKWAY  
'CONC.' DENOTES CONCRETE  
'RET.' DENOTES RETAINING  
'BC' DENOTES BACK OF CURB  
'TOW' DENOTES TOP OF WALL  
'BOW' DENOTES BOTTOM OF WALL

LINETYPE LEGEND

---	DENOTES SUBJECT PROPERTY LINE
---	DENOTES ADJACENT PROPERTY LINES
---	DENOTES SUBJECT SETBACKS
---	DENOTES SUBJECT ROOF LINE
---	DENOTES SUBJECT UPPER FLOOR
---	DENOTES UTILITY RIGHT OF WAY
-X-X-	DENOTES PROPOSED FENCE
---	DENOTES PROPOSED LOT DRAINAGE
-X-X-	DENOTES EXISTING FENCE
W	DENOTES EXISTING WATER
S	DENOTES EXISTING SANITARY
G	DENOTES EXISTING GAS
ST	DENOTES EXISTING STORM
OH	DENOTES OVERHEAD POWER
P	DENOTES UNDERGROUND POWER

SYMBOLS LEGEND

$\phi$	DENOTES EXISTING GEODETIC DATUM POINT
$\times$	DENOTES INTERPOLATED EXISTING GEODETIC POINT
$\square$	DENOTES PROPOSED GEODETIC DATUM POINT
BA	DENOTES PROPOSED BASEMENT WINDOW
MF	DENOTES PROPOSED MAIN FLOOR WINDOW
UF	DENOTES PROPOSED SECOND FLOOR WINDOW
U2	DENOTES PROPOSED THIRD FLOOR WINDOW
$\square$	DENOTES PROPOSED CONCRETE OR ASPHALT
$\bullet$	DENOTES EXISTING POWER POLE
$\circ$	DENOTES EXISTING MANHOLE
$\square$	DENOTES EXISTING CATCH BASIN
$\square$	DENOTES EXISTING SIGN
$\square$	DENOTES EXISTING WATER VALVE
$\square$	DENOTES EXISTING GAS VALVE
$\square$	DENOTES EXISTING STREET LIGHT
$\circ$	DENOTES EXISTING TREE

BUILDING AREA

BUILDING AREA (DWELLING): 262.84 SQ. M.  
LOT AREA: 586.40 SQ. M.  
BUILDING COVERAGE: 44.82%