

\*BUILDER LOGO\*

\*PHONE NUMBER\*

\*ADDRESS\*  
\*CITY\*  
\*POSTAL CODE\*

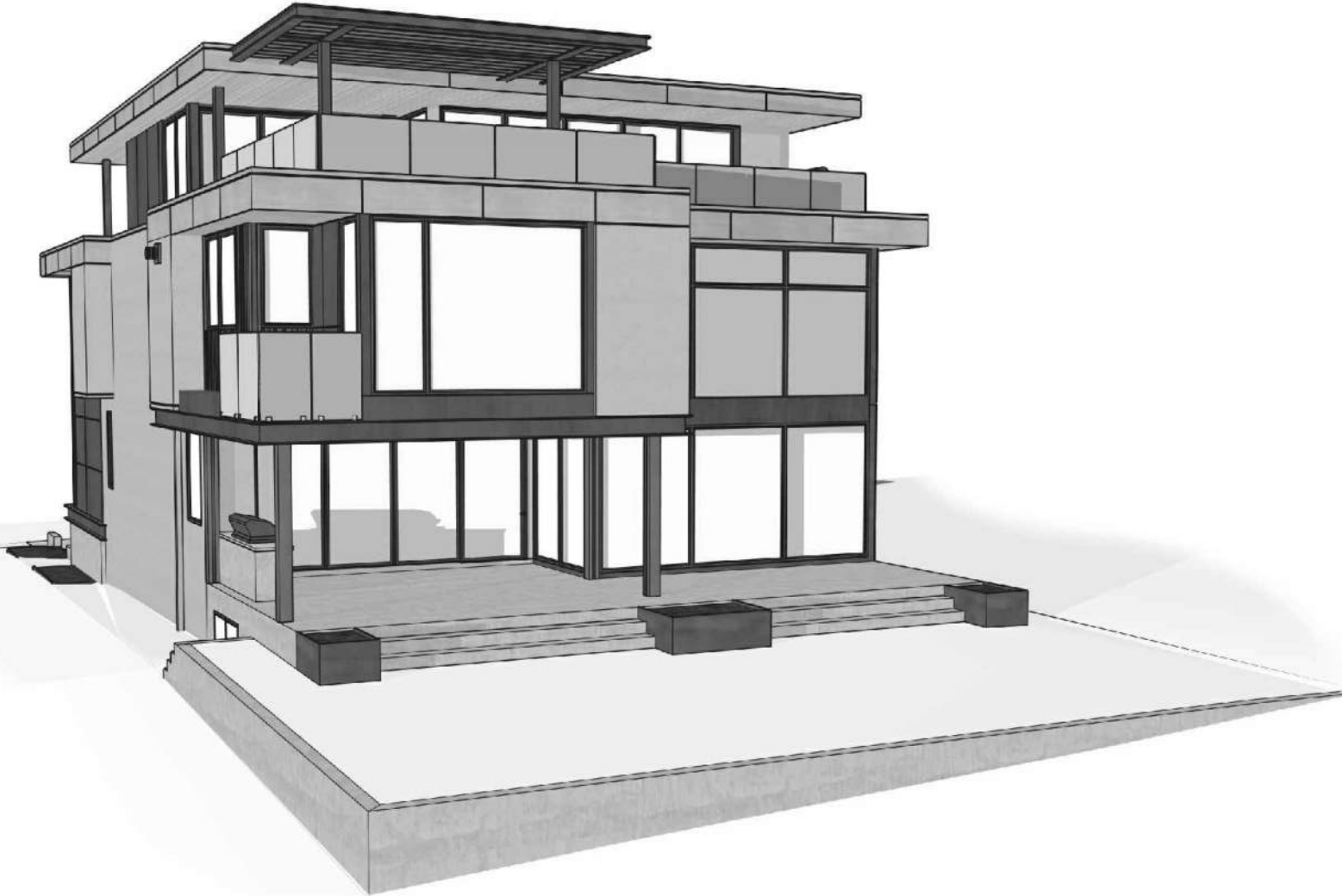
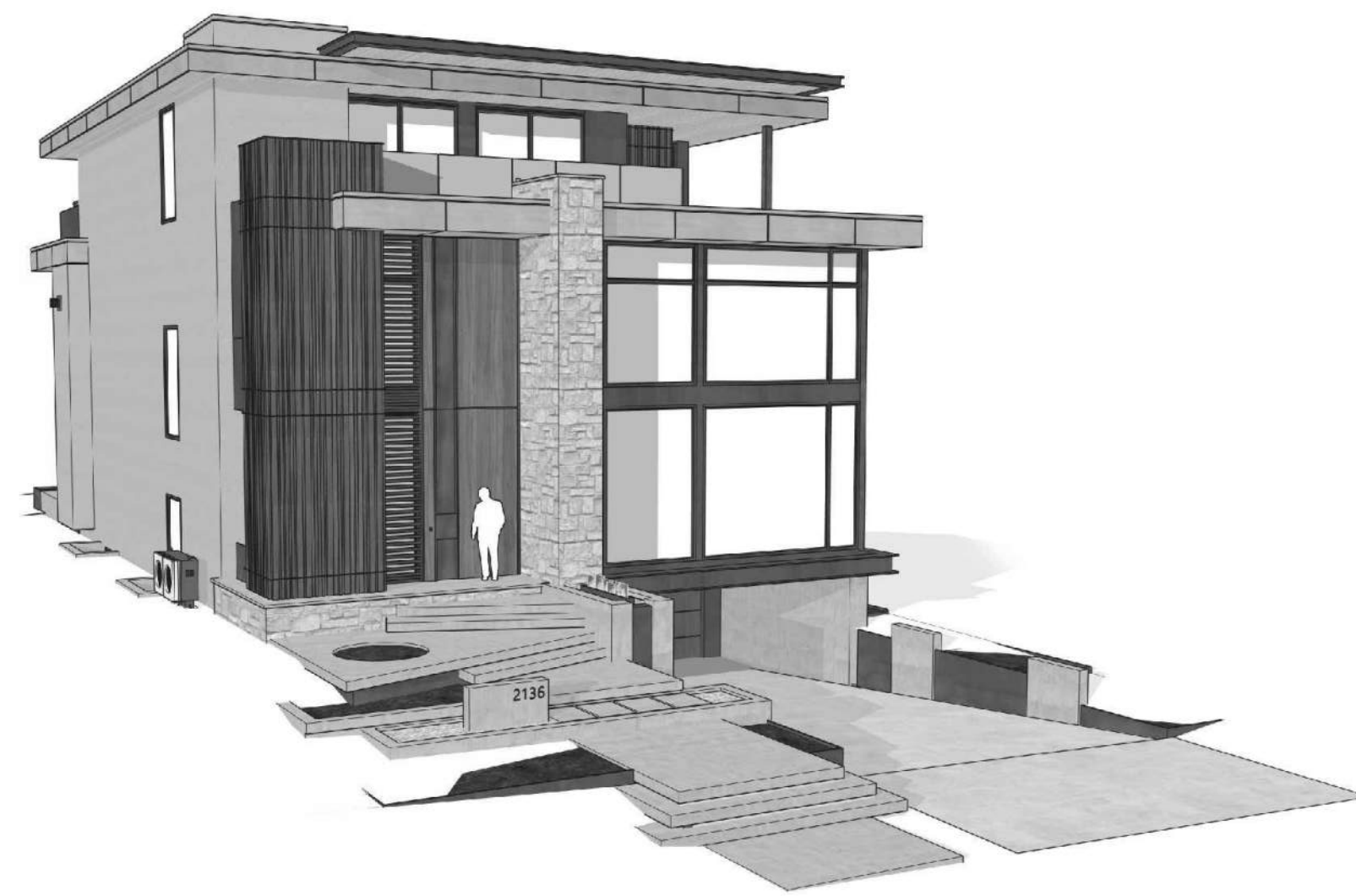
# 2128 29 AVENUE SW CALGARY, AB

LEGAL DESCRIPTION  
LOT 43  
BLOCK 21  
PLAN 2410135

DEANTHOMAS  
DESIGN GROUP

403 | 719 | 6641

1109 OLYMPIC WAY SE  
CALGARY, ALBERTA  
T2G 1B9



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

ISSUED FOR DR#2: MAY 16TH, 2025

## BUILDING NOTES

-THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED, OR COPIED IN FULL OR IN PORTION WITHOUT WRITTEN CONSENT.

-DO NOT SCALE DRAWINGS.

-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.

-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

-UTILITIES SUBJECT TO CHANGE LOCATION DEPENDING ON BUILDING SITE CONDITIONS.

-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.

-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.

-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.

-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.

- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.

-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.

-4'-0" MIN FROST COVER REQUIRED AS PER ABC. SUBJECT TO ACTUAL SITE PLAN GRADES OR GRADE SLIP.

-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.

-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.

## DRAWING LIST

A0.1 - NOTES & ASSEMBLIES  
A0.2 - MAX. HT. CALCULATION  
A1.1 - BLOCK PLAN  
A1.2 - SITE PLAN  
A1.3 - GRADING PLAN  
A2.1 - FRONT ELEVATION  
A2.2 - RIGHT ELEVATION  
A2.3 - REAR ELEVATION  
A2.4 - LEFT ELEVATION  
A3.1 - FOUNDATION PLAN  
A3.2 - BASEMENT PLAN

A3.3 - MAIN FLOOR PLAN  
A3.4 - MAIN FLOOR STRUCTURAL PLAN  
A3.5 - SECOND FLOOR PLAN  
A3.6 - SECOND FLOOR STRUCTURAL PLAN  
A3.7 - THIRD FLOOR PLAN  
A3.8 - THIRD FLOOR STRUCTURAL PLAN  
A3.9 - ROOF PLAN  
A4.1 - SECTIONS  
A4.2 - SECTIONS  
A4.3 - SECTIONS  
A5.1 - WINDOW & DOOR SCHEDULE

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REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025

DRAWN BY: DC

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2353 SQ. FT.
UPPER FLOOR AREA (DEVELOPED)	2407 SQ. FT.
LOFT FLOOR AREA (DEVELOPED)	1432 SQ. FT.
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LOWER LEVEL AREA (DEVELOPED)	1660 SQ. FT.
ATTACHED GARAGE AREA	584 SQ. FT.
MECH/STORAGE	404 SQ. FT.
COVERED PATIO	440 SQ. FT.

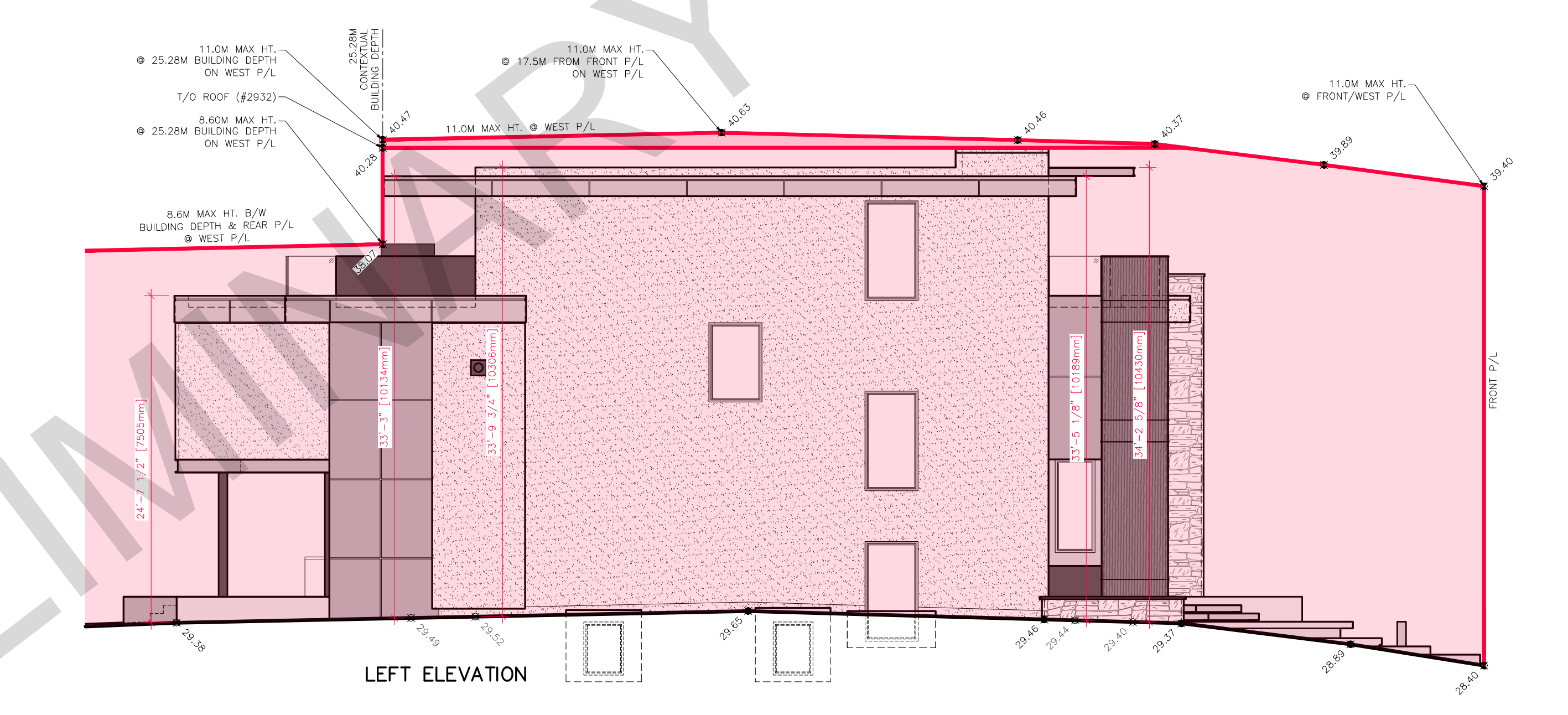
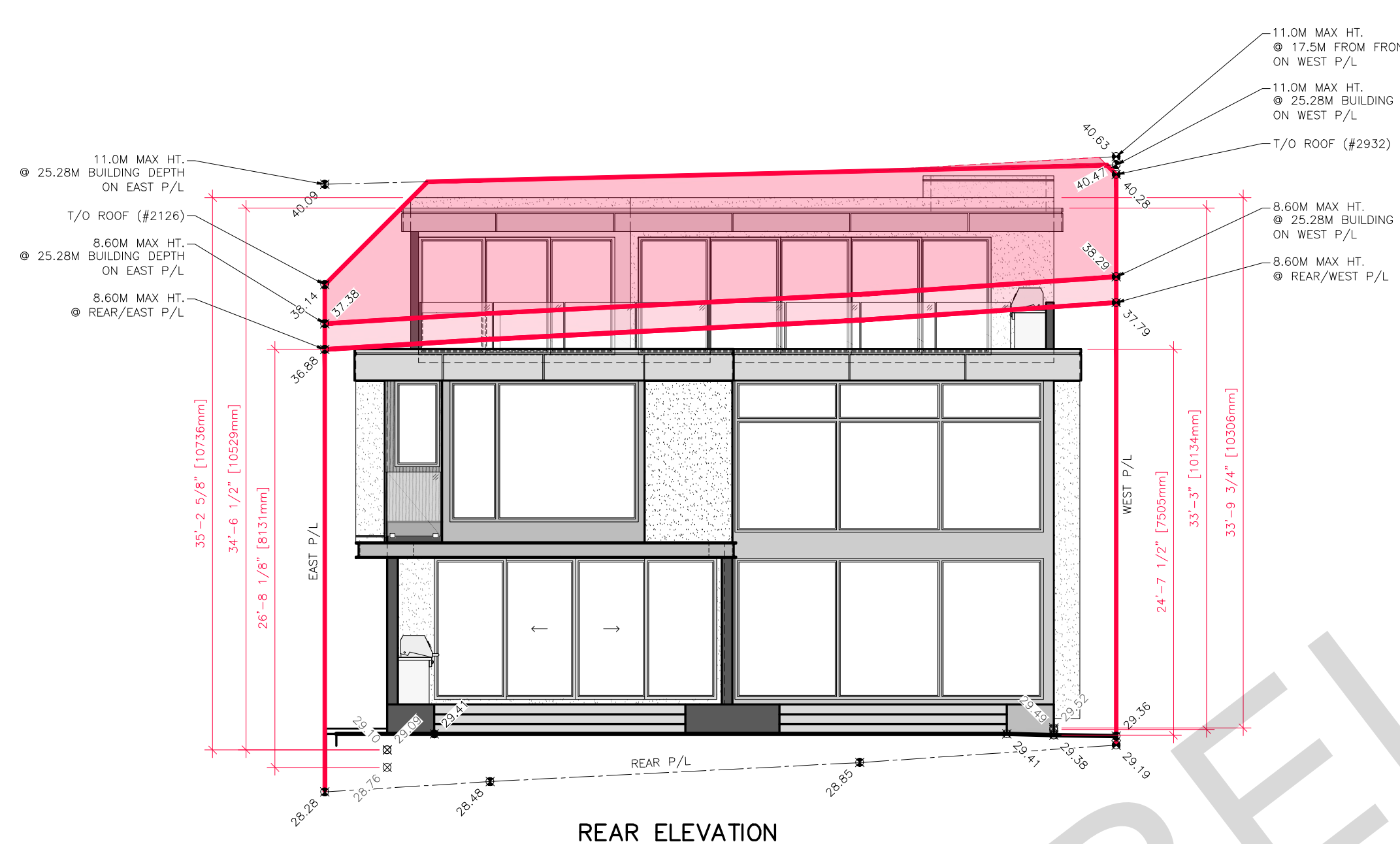
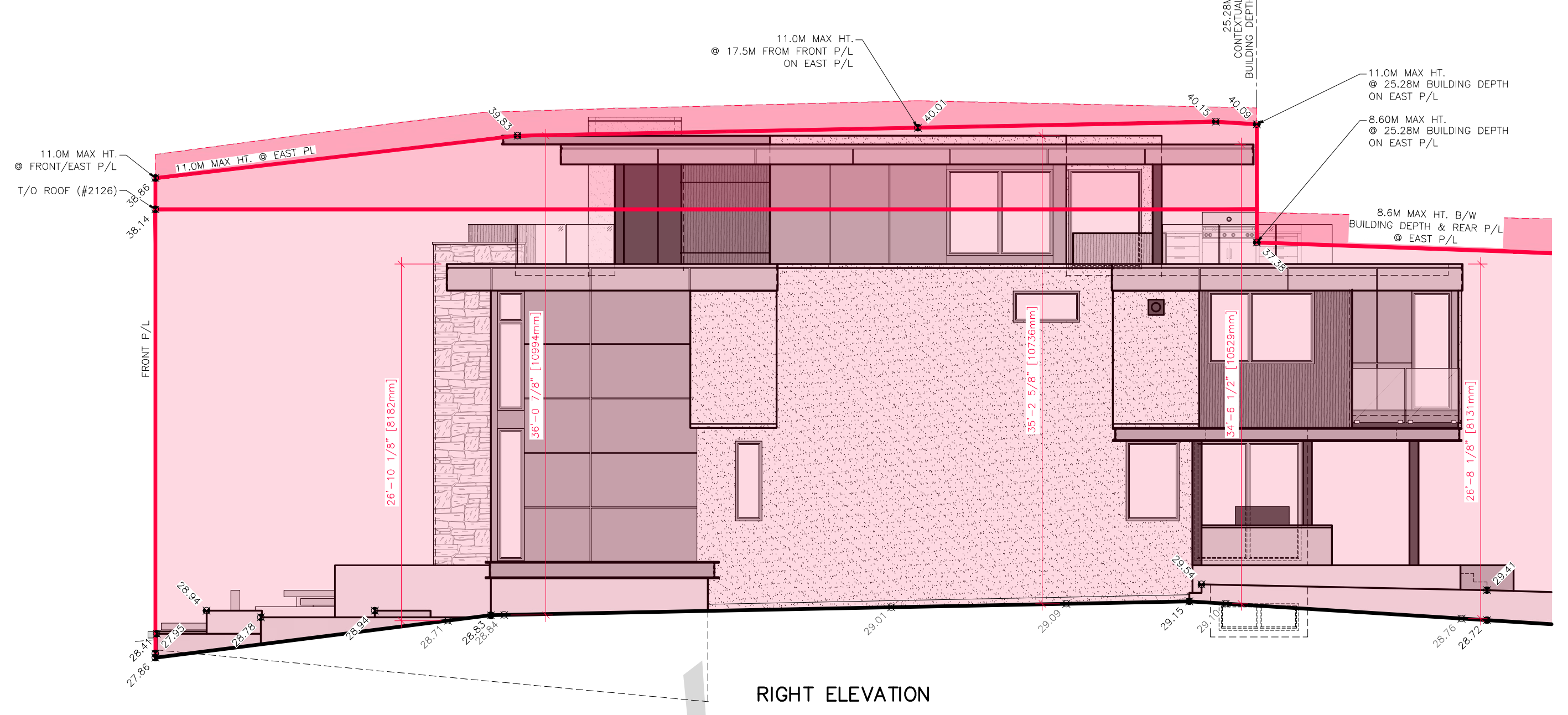
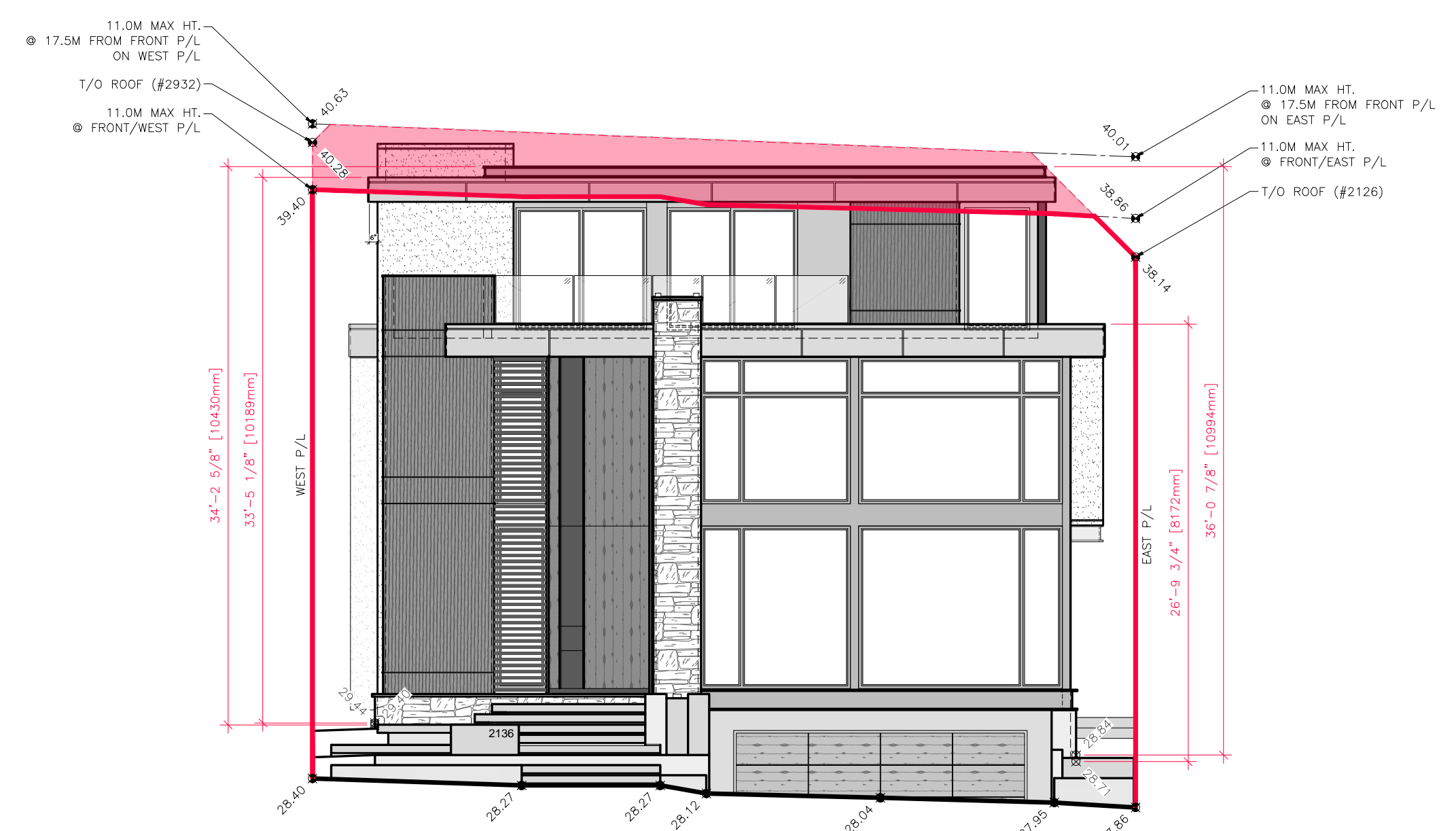
DRAWING TITLE:

**MAXIMUM HEIGHT  
CALCULATION**

SCALE: 1/4" = 1'-0"  
DATE: MAY 16, 2025

SHEET:

**A0.2**



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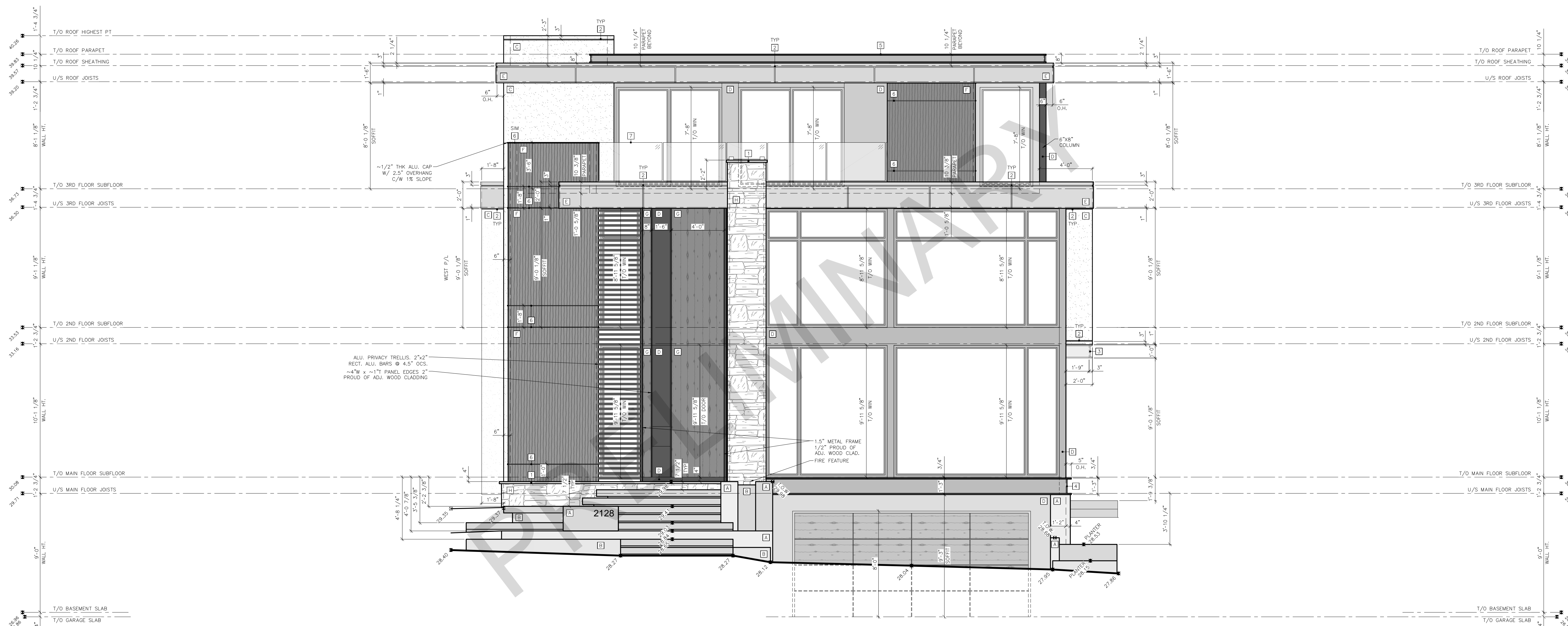
DRAWING TITLE:

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: MAY 16, 2025

SHEET:

**A2.1**



**NOTES**

ALL STONE TO BE CAPPED WITH 2" SMOOTH CONCRETE W/ 1" OVERHANGS. REFER TO NOTES FOR LOCATIONS.  
ALL STUCCO TO BE CAPPED WITH COLOR MATCHED ALUMINUM DRIP EDGE 4" DEEP.  
ALL FOOTINGS ARE SHOWN APPROXIMATELY. VERIFY HEIGHTS WITH ENGINEER NOTES.  
ALL GEOMETRICS ARE IN METERS AND DECIMALS THEREOF. GEOMETRICS ARE +1100.00 M.

**COMMON DETAILS**

- 2" SMOOTH CONC. CAP W/ 2" O.H.
- ~1" CLADDING/SIDING REVEAL LINES.
- 12" x 3" x ~1" ALU. C-CHANNEL FASCIA.
- 15" x 5" x ~1" ALU. C-CHANNEL FASCIA.
- 8" x 2" x ~1" ALU. C-CHANNEL FASCIA.
- ~3" W x ~1/2" ALU. BANDING.
- 1/2" PROUD OF ADJ. WOOD CLADDING. MATCH TO PARAPET CAP.
- 42" HT. GLASS RAILING

**MATERIALS LEGEND**

SMOOTH CONCRETE	DARK SMOOTH CONCRETE	LIGHT ACRYLIC STUCCO	DARK METAL PANELING
LIGHT METAL PANELING	VERTICAL WOOD EFFECT METAL CLADDING	NATURAL VERTICAL WOOD CLADDING	~2" STONE VENEER

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DRAWN BY: DC

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COVERED PATIO	440 SQ. FT.

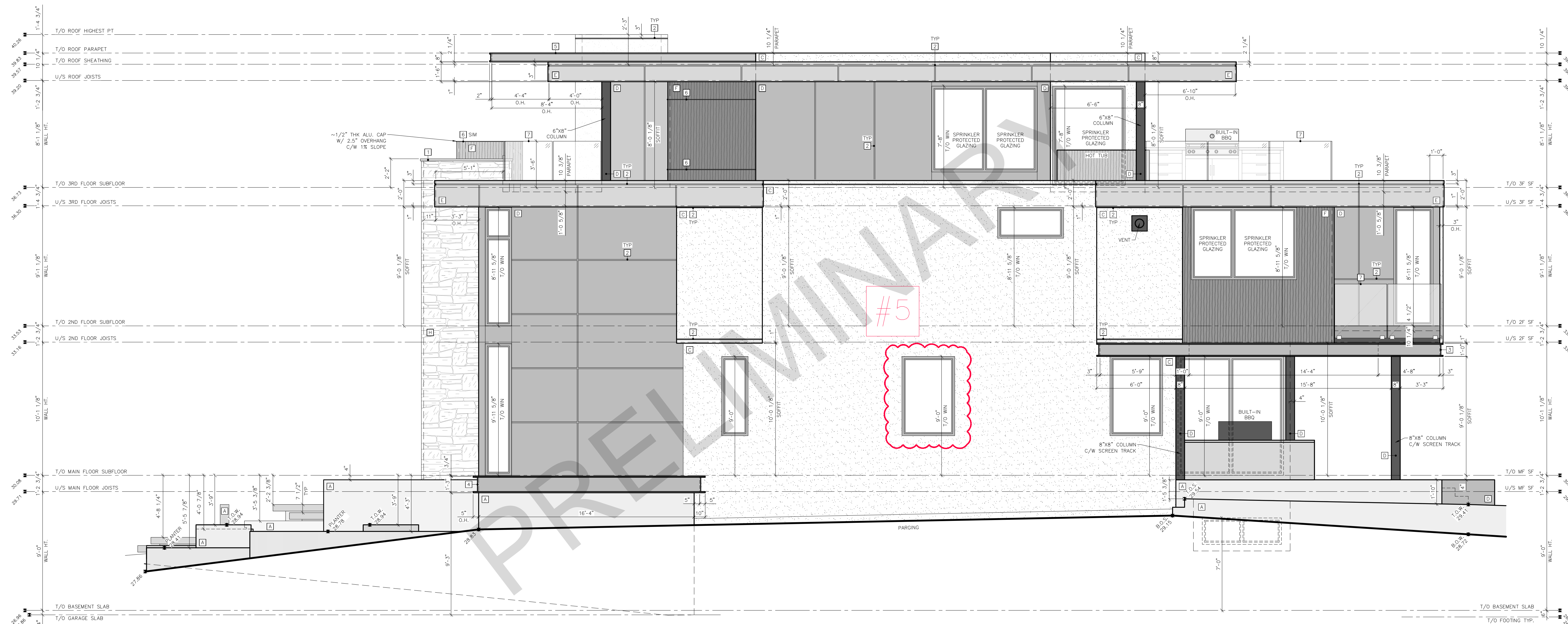
DRAWING TITLE:

RIGHT ELEVATION

SCALE: 1/4" = 1'-0"  
DATE: MAY 16, 2025

SHEET:

A2.2

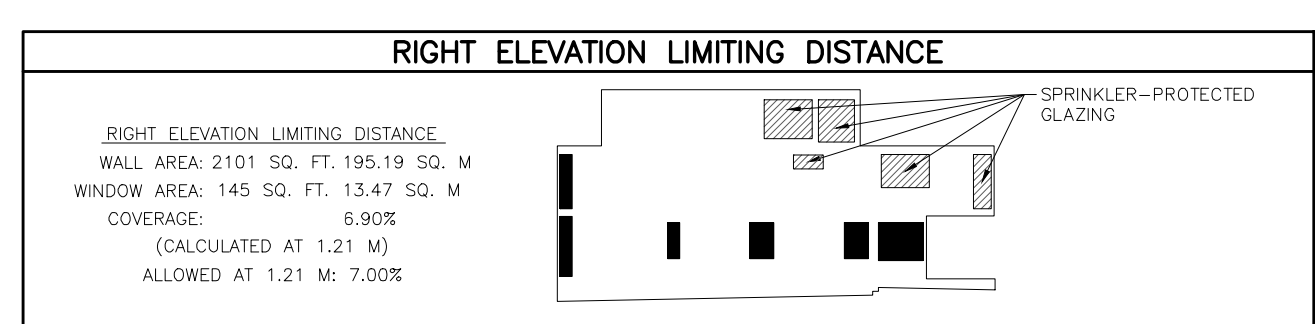


**NOTES**  
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**COMMON DETAILS**  
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2. ~1" CLADDING/SIDING REVEAL LINES.  
3. 12" x 3" x ~1 1/2" ALU. C-CHANNEL FASCIA.  
4. 15" x 5" x ~1 1/2" ALU. C-CHANNEL FASCIA.  
5. 8" x 2" x ~1 1/2" ALU. C-CHANNEL FASCIA.  
6. ~3"W x ~1/2" ALU. BANING.  
7. 1/2" PROUD OF ADJ. WOOD CLADDING. MATCH TO PARAPET CAP.  
8. 42" HT. GLASS RAILING

**MATERIALS LEGEND**

<b>A</b> SMOOTH CONCRETE	<b>B</b> DARK SMOOTH CONCRETE	<b>C</b> LIGHT ACRYLIC STUCCO	<b>D</b> DARK METAL PANELING
<b>E</b> LIGHT METAL PANELING	<b>F</b> VERTICAL WOOD EFFECT METAL CLADDING	<b>G</b> NATURAL VERTICAL WOOD CLADDING	<b>H</b> ~2" STONE VENEER



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FLOOR AREAS:

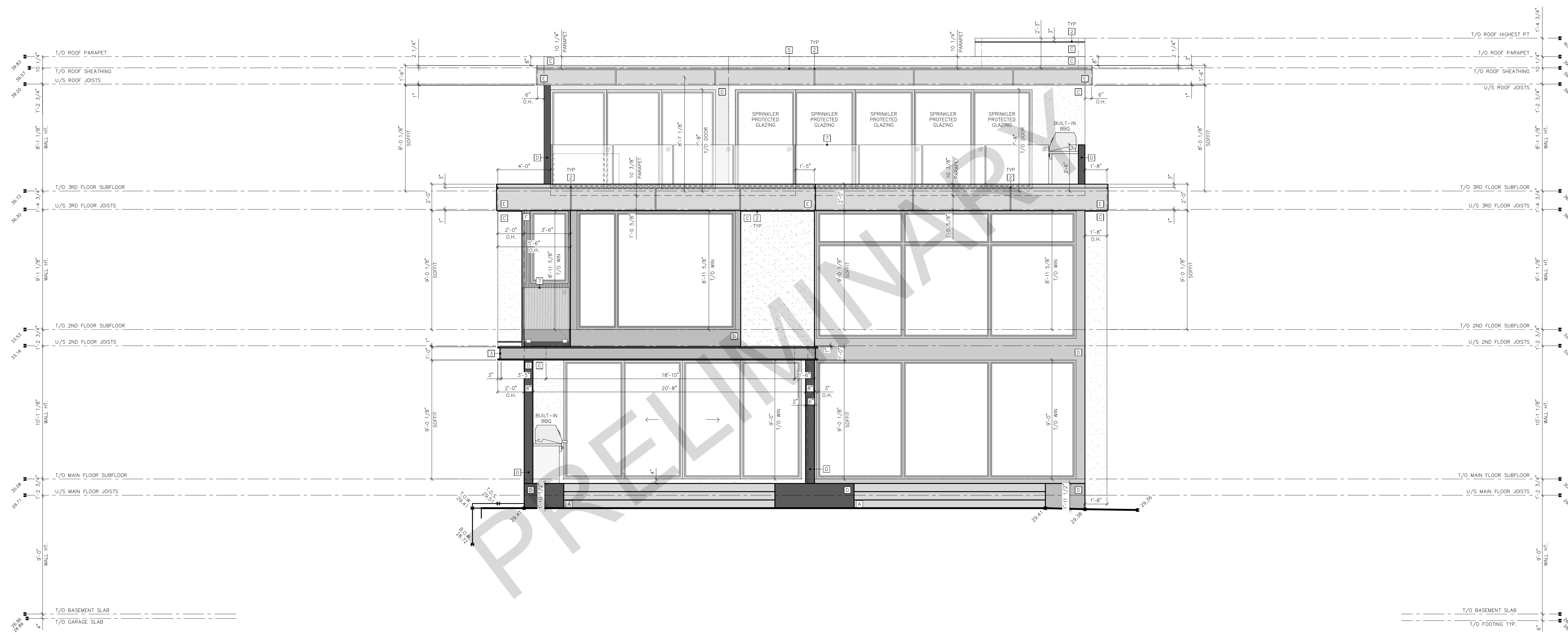
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ATTACHED GARAGE AREA	584 SQ. FT.
MECH/STORAGE	404 SQ. FT.
COVERED PATIO	440 SQ. FT.

DRAWING TITLE:

**REAR ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: MAY 16, 2025

SHEET: **A2.3**



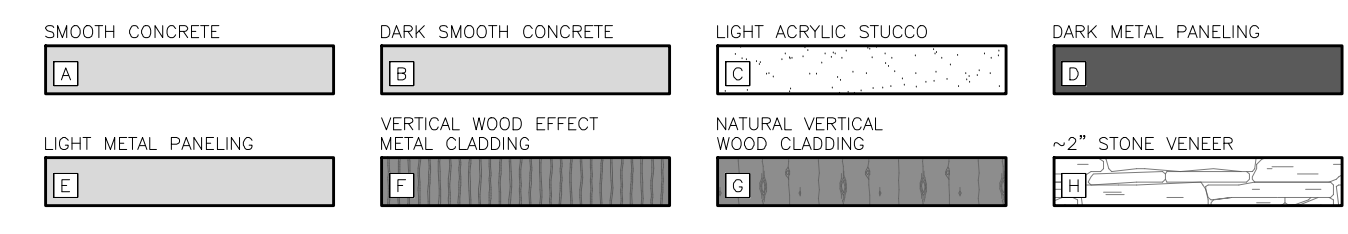
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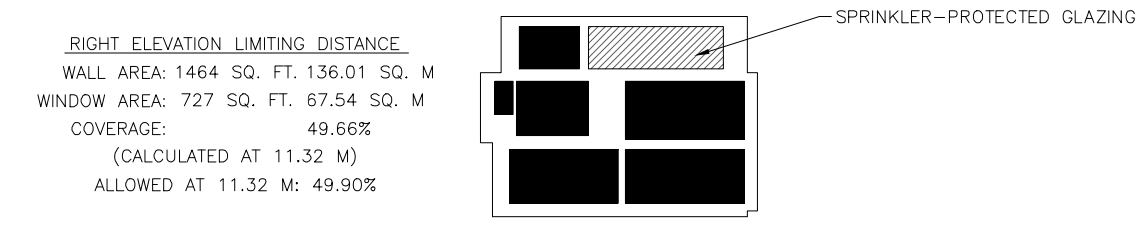
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- 8" x 2" x ~1" ALU. C-CHANNEL FASCIA.
- ~3"W x ~1/2" CT ALU. BANING.
- 1/2" PROUD OF ADJ. WOOD CLADDING. MATCH TO PARAPET CAP.
- 42" HT. GLASS RAILING

MATERIALS LEGEND



REAR ELEVATION LIMITING DISTANCE



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FLOOR AREAS:

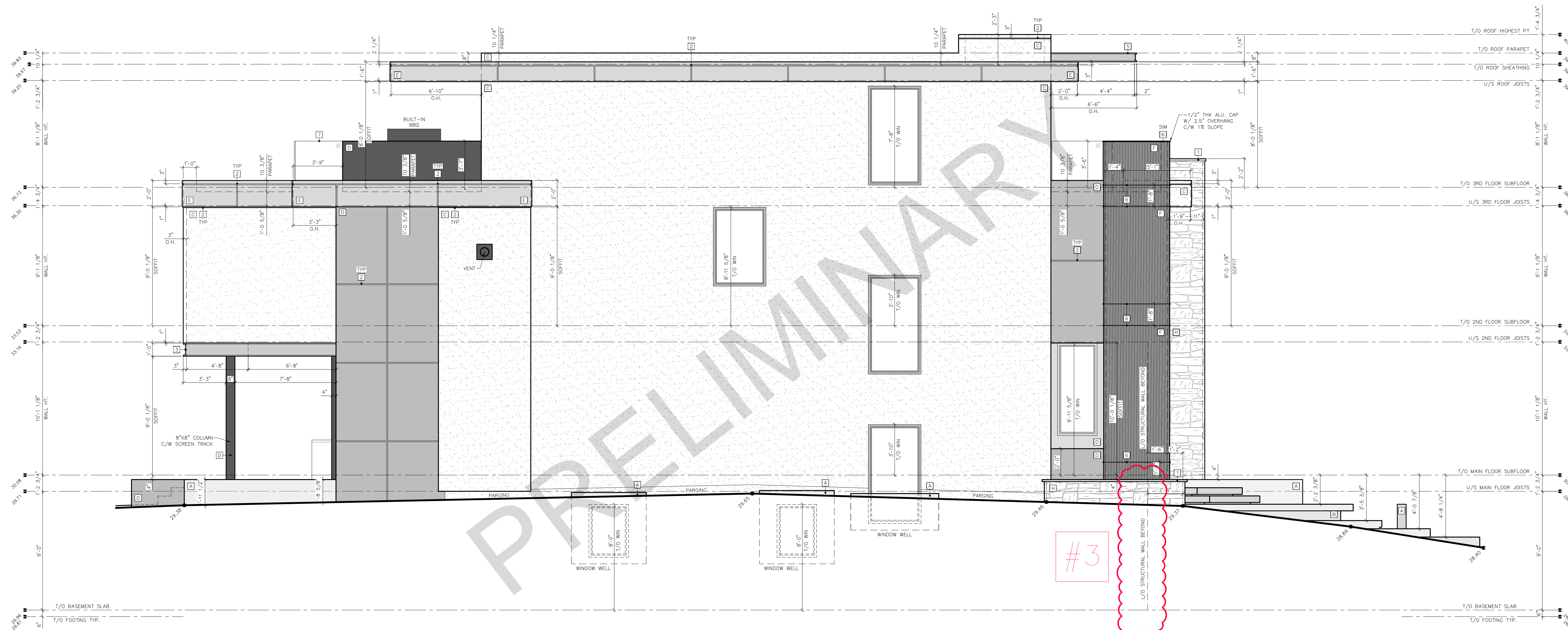
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COVERED PATIO	440 SQ. FT.

DRAWING TITLE:

**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: MAY 16, 2025

SHEET: **A2.4**

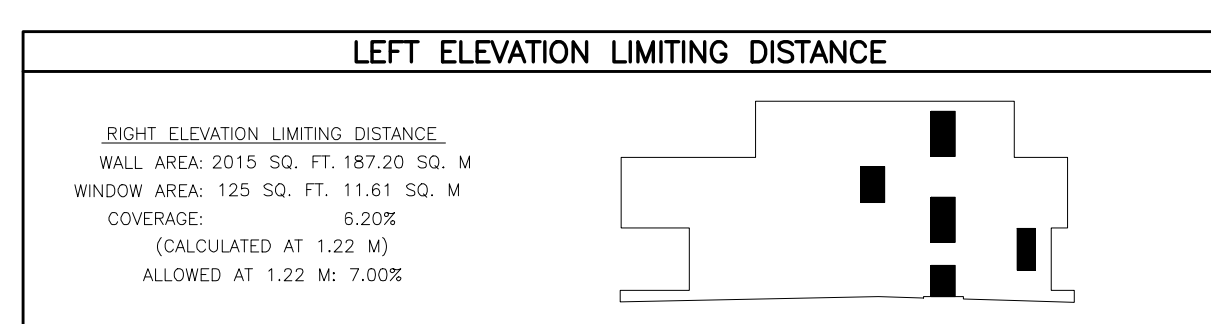


**NOTES**  
ALL STONE TO BE CAPPED WITH 2\"/>

**COMMON DETAILS**  
1. 2\"/>

**MATERIALS LEGEND**

<b>A</b> SMOOTH CONCRETE	<b>E</b> DARK SMOOTH CONCRETE	<b>G</b> LIGHT ACRYLIC STUCCO	<b>H</b> DARK METAL PANELING
<b>F</b> LIGHT METAL PANELING	<b>I</b> VERTICAL WOOD EFFECT METAL CLADDING	<b>J</b> NATURAL VERTICAL WOOD CLADDING	<b>K</b> ~2\"/>



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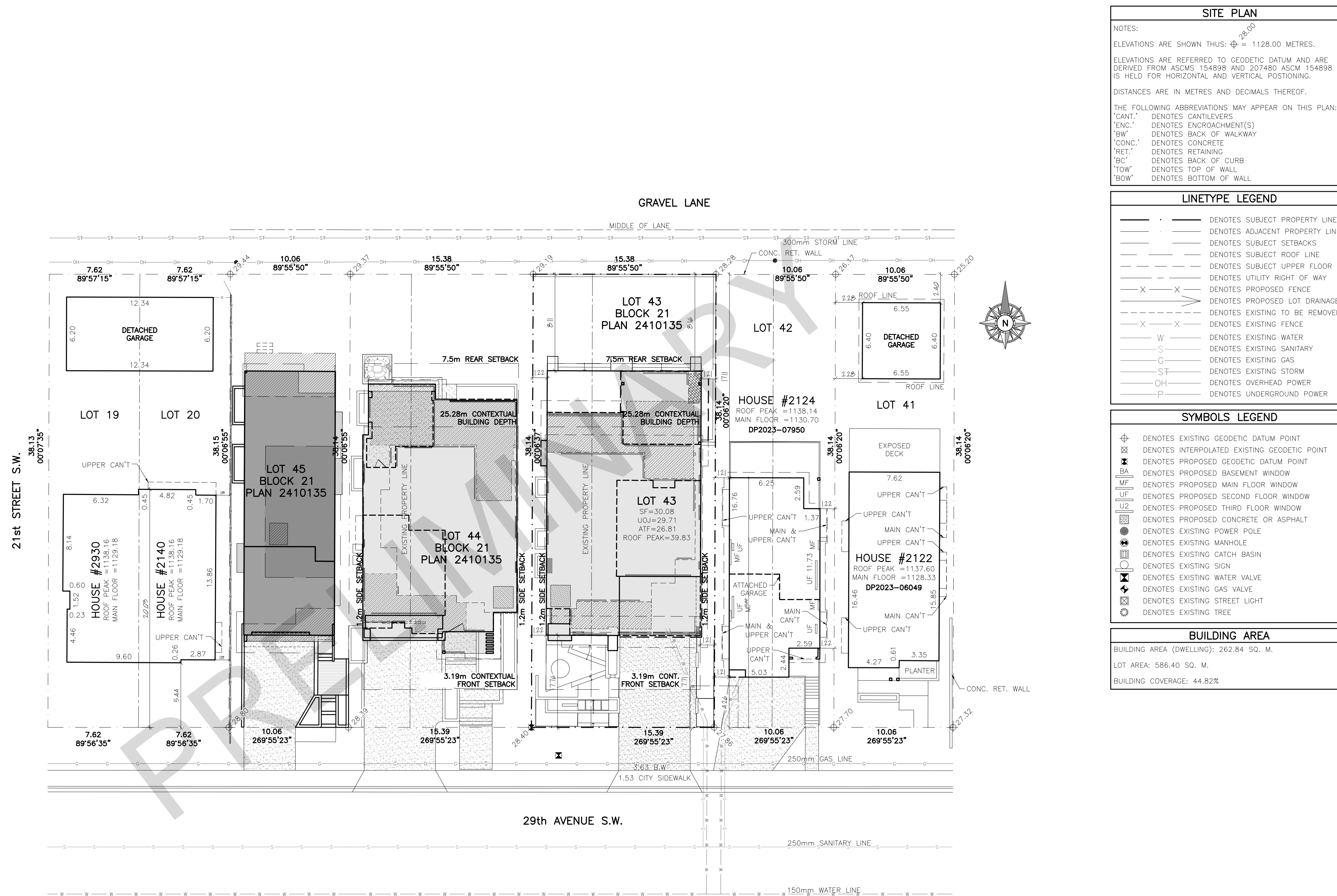
DRAWING TITLE:

BLOCK PLAN

SCALE: 1:200  
DATE: MAY 16, 2025

SHEET:

A1.1



**SITE PLAN**

NOTES:  
ELEVATIONS ARE SHOWN THUS:  $\phi = 280.00$  METRES.  
ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 154898 AND 207480 ASCM 154898 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.  
DISTANCES ARE IN METRES AND DECIMALS THEREOF.  
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:  
"CANT." DENOTES CANTILEVERS  
"ENC." DENOTES ENCROACHMENT(S)  
"BW" DENOTES BACK OF WALKWAY  
"CONC." DENOTES CONCRETE  
"RET." DENOTES RETAINING  
"BC" DENOTES BACK OF CURB  
"TOW" DENOTES TOP OF WALL  
"BOW" DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

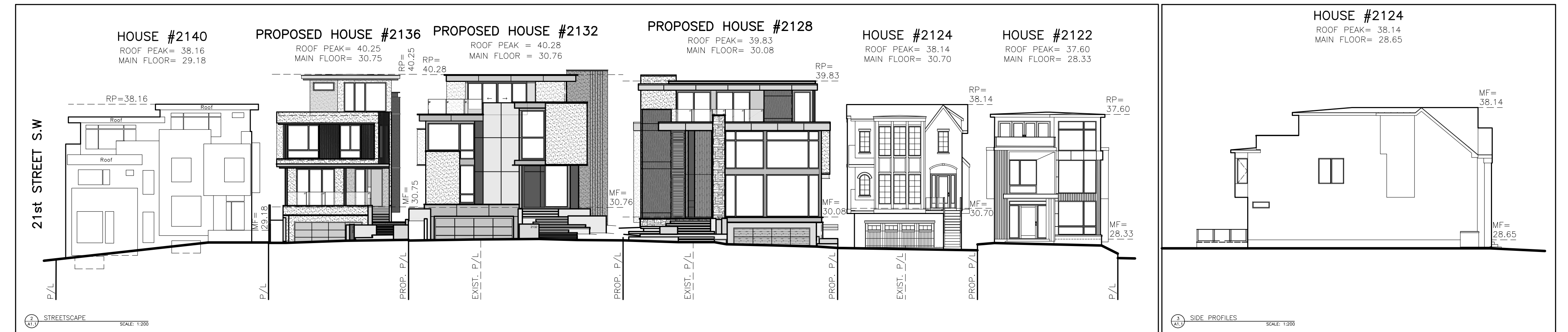
---	DENOTES SUBJECT PROPERTY LINE
---	DENOTES ADJACENT PROPERTY LINES
---	DENOTES SUBJECT SETBACKS
---	DENOTES SUBJECT ROOF LINE
---	DENOTES SUBJECT UPPER FLOOR
---	DENOTES UTILITY RIGHT OF WAY
-X-X-	DENOTES PROPOSED FENCE
-X-X-	DENOTES EXISTING FENCE
-X-X-	DENOTES EXISTING WATER
-X-X-	DENOTES EXISTING SANITARY
-X-X-	DENOTES EXISTING GAS
-X-X-	DENOTES EXISTING STORM
-X-X-	DENOTES OVERHEAD POWER
-X-X-	DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

$\oplus$	DENOTES EXISTING GEODETIC DATUM POINT
$\otimes$	DENOTES INTERPOLATED EXISTING GEODETIC POINT
$\boxtimes$	DENOTES PROPOSED GEODETIC DATUM POINT
BA	DENOTES PROPOSED BASEMENT WINDOW
MF	DENOTES PROPOSED MAIN FLOOR WINDOW
UF	DENOTES PROPOSED SECOND FLOOR WINDOW
U2	DENOTES PROPOSED THIRD FLOOR WINDOW
$\bullet$	DENOTES PROPOSED CONCRETE OR ASPHALT
$\odot$	DENOTES EXISTING POWER POLE
$\ominus$	DENOTES EXISTING MANHOLE
$\oplus$	DENOTES EXISTING CATCH BASIN
$\otimes$	DENOTES EXISTING SIGN
$\oplus$	DENOTES EXISTING WATER VALVE
$\oplus$	DENOTES EXISTING GAS VALVE
$\oplus$	DENOTES EXISTING STREET LIGHT
$\oplus$	DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 262.84 SQ. M.  
LOT AREA: 586.40 SQ. M.  
BUILDING COVERAGE: 44.82%



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BLOCK 21  
PLAN 2410135

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024
3.	ISSUED FOR DR#1	JAN. 27, 2025
4.	ISSUED FOR DR#2	MAY 16, 2025

DRAWN BY: DC

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2353 SQ. FT.
UPPER FLOOR AREA (DEVELOPED)	2407 SQ. FT.
LOFT FLOOR AREA (DEVELOPED)	1432 SQ. FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE 6192 SQ. FT.

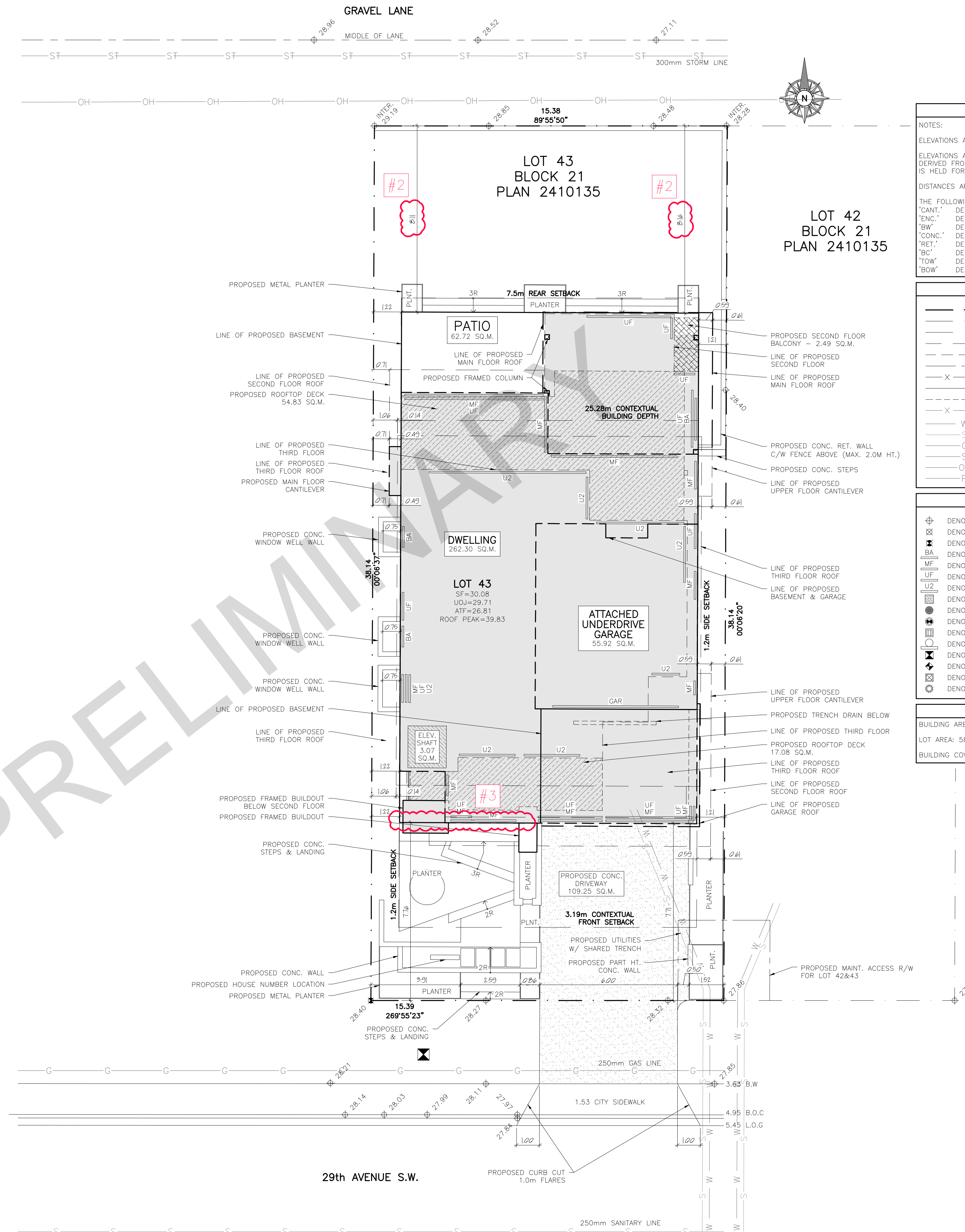
LOWER LEVEL AREA (DEVELOPED)	1660 SQ. FT.
ATTACHED GARAGE AREA	584 SQ. FT.
MECH/STORAGE	404 SQ. FT.
COVERED PATIO	440 SQ. FT.

DRAWING TITLE:

SITE PLAN

SCALE: 1:100  
DATE: MAY 16, 2025

SHEET: A1.2



**SITE PLAN**

NOTES:

ELEVATIONS ARE SHOWN THUS:  $\phi = 2800$

ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 154898 AND 207480 ASCM 154898 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.

DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

'CANT.' DENOTES CANTILEVERS  
'ENC.' DENOTES ENCROACHMENT(S)  
'BW' DENOTES BACK OF WALKWAY  
'CONC.' DENOTES CONCRETE  
'RET.' DENOTES RETAINING  
'BC' DENOTES BACK OF CURB  
'TOW' DENOTES TOP OF WALL  
'BOW' DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

---	DENOTES SUBJECT PROPERTY LINE
---	DENOTES ADJACENT PROPERTY LINES
---	DENOTES SUBJECT SETBACKS
---	DENOTES SUBJECT ROOF LINE
---	DENOTES SUBJECT UPPER FLOOR
---	DENOTES UTILITY RIGHT OF WAY
---	DENOTES PROPOSED FENCE
---	DENOTES PROPOSED LOT DRAINAGE
---	DENOTES EXISTING TO BE REMOVED
---	DENOTES EXISTING FENCE
---	DENOTES EXISTING WATER
---	DENOTES EXISTING SANITARY
---	DENOTES EXISTING GAS
---	DENOTES EXISTING STORM
---	DENOTES OVERHEAD POWER
---	DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

$\phi$	DENOTES EXISTING GEODETIC DATUM POINT
$\otimes$	DENOTES INTERPOLATED EXISTING GEODETIC POINT
$\oplus$	DENOTES PROPOSED GEODETIC DATUM POINT
$\boxplus$	DENOTES PROPOSED BASEMENT WINDOW
$\boxminus$	DENOTES PROPOSED MAIN FLOOR WINDOW
$\boxdot$	DENOTES PROPOSED SECOND FLOOR WINDOW
$\boxtimes$	DENOTES PROPOSED THIRD FLOOR WINDOW
$\boxplus$	DENOTES PROPOSED CONCRETE OR ASPHALT
$\oplus$	DENOTES EXISTING POWER POLE
$\otimes$	DENOTES EXISTING MANHOLE
$\oplus$	DENOTES EXISTING CATCH BASIN
$\otimes$	DENOTES EXISTING SIGN
$\oplus$	DENOTES EXISTING WATER VALVE
$\otimes$	DENOTES EXISTING GAS VALVE
$\oplus$	DENOTES EXISTING STREET LIGHT
$\otimes$	DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 262.84 SQ. M.  
LOT AREA: 586.40 SQ. M.  
BUILDING COVERAGE: 44.82%