

\*BUILDER LOGO\*

# 2128 29 AVENUE SW CALGARY, AB

**DEANTHOMAS**  
DESIGN GROUP

\*PHONE NUMBER\*

\*ADDRESS\*

\*CITY\*

\*POSTAL CODE\*

LEGAL DESCRIPTION

LOT 43

BLOCK 21

PLAN 2410135

403 | 719 | 6641

1109 OLYMPIC WAY SE  
CALGARY, ALBERTA  
T2G 1B9



FINAL DESIGN MAY DIFFER FROM 3D CONCEPTUAL IMAGES

## ISSUED FOR DEVELOPMENT PERMIT: SEPTEMBER 30, 2024

### BUILDING NOTES

-THESE DESIGNS AND DRAWINGS ARE COPYRIGHT DEAN THOMAS DESIGN GROUP. THEY ARE THE EXCLUSIVE PROPERTY OF THE FIRM AND CAN NOT BE USED, REPRODUCED, OR COPIED IN FULL OR IN PORTION WITHOUT WRITTEN CONSENT.

-DO NOT SCALE DRAWINGS.

-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.

-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE LOCAL BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

-UTILITIES SUBJECT TO CHANGE LOCATION DEPENDING ON BUILDING SITE CONDITIONS.

-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.

-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.

-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.

-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.

- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.

-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.

-4'-0" MIN FROST COVER REQUIRED AS PER ABC. SUBJECT TO ACTUAL SITE PLAN GRADES OR GRADE SLIP.

-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.

-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.

### DRAWING LIST

A0.1 - NOTES & ASSEMBLIES  
 A1.1 - BLOCK PLAN  
 A1.2 - SITE PLAN  
 A1.3 - GRADING PLAN  
 A1.4 - DEMO PLAN  
 A2.1 - FRONT ELEVATION  
 A2.2 - RIGHT ELEVATION  
 A2.3 - REAR ELEVATION  
 A2.4 - LEFT ELEVATION  
 A3.1 - FOUNDATION PLAN  
 A3.2 - BASEMENT PLAN  
 A3.3 - MAIN FLOOR PLAN

A3.4 - MAIN FLOOR STRUCTURAL PLAN  
 A3.5 - SECOND FLOOR PLAN  
 A3.6 - SECOND FLOOR STRUCTURAL PLAN  
 A3.7 - THIRD FLOOR PLAN  
 A3.8 - THIRD FLOOR STRUCTURAL PLAN  
 A3.9 - ROOF PLAN  
 A4.1 - SECTIONS  
 A4.2 - SECTIONS  
 A4.3 - SECTIONS  
 A5.1 - WINDOW & DOOR SCHEDULE

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REVISION SCHEDULE:

1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024

DRAWN BY: DC

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2353 SQ. FT.
UPPER FLOOR AREA (DEVELOPED)	2407 SQ. FT.
LOFT FLOOR AREA (DEVELOPED)	1432 SQ. FT.
<b>TOTAL DEVELOPED FLOOR AREA ABOVE GRADE</b>	<b>6192 SQ. FT.</b>
LOWER LEVEL AREA (DEVELOPED)	1660 SQ. FT.
ATTACHED GARAGE AREA	584 SQ. FT.
MECH/STORAGE	404 SQ. FT.
COVERED PATIO	440 SQ. FT.

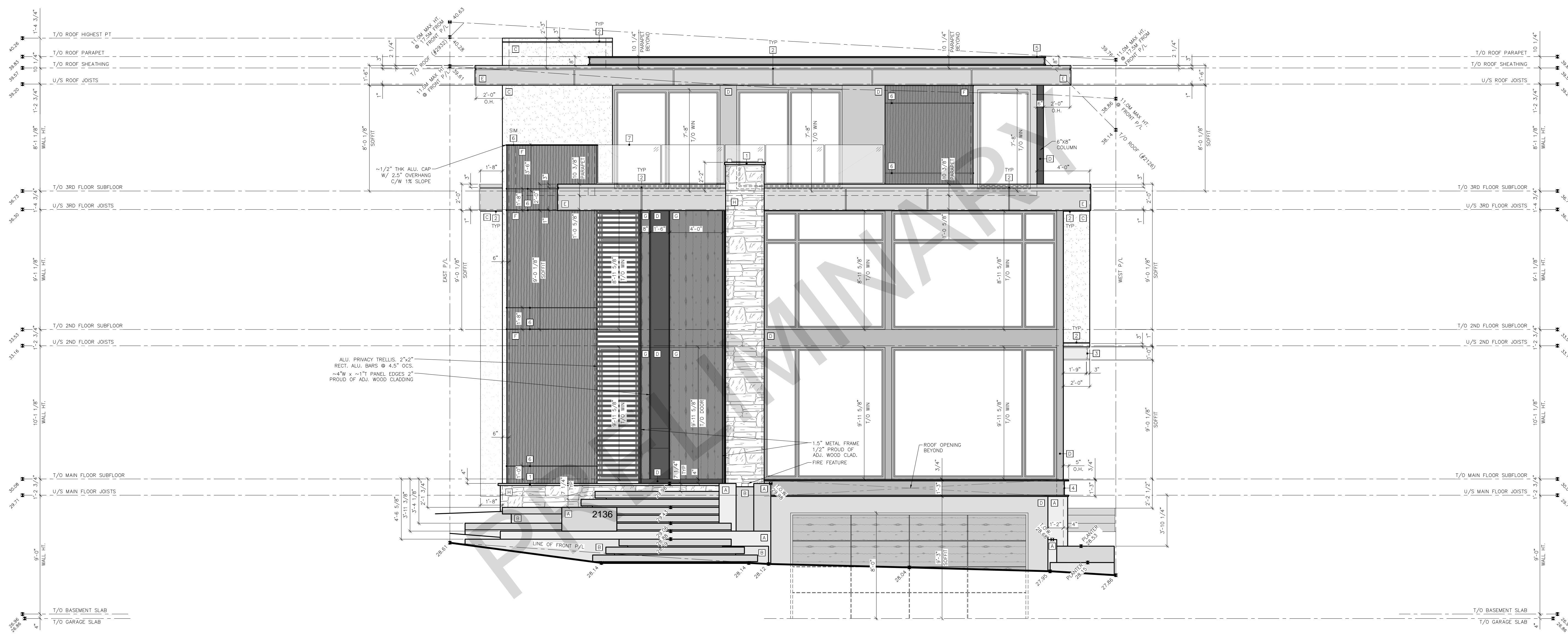
DRAWING TITLE:

**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: SEP. 30, 2024

SHEET:

**A2.1**



NOTES

- ALL STONE TO BE CAPPED WITH 2" SMOOTH CONCRETE W/ 1" OVERHANGS. REFER TO NOTES FOR LOCATIONS.
- ALL STUCCO TO BE CAPPED WITH COLOR MATCHED ALUMINUM DRIP EDGE 4" DEEP.
- ALL FOOTINGS ARE SHOWN APPROXIMATELY. VERIFY HEIGHTS WITH ENGINEER NOTES.
- ALL GEOMETRICS ARE IN METERS AND DECIMALS THEREOF. GEOMETRICS ARE +1100.00 M.

COMMON DETAILS

- 2" SMOOTH CONC. CAP W/ 2" O.H.
- 1" CLADDING/SIDING REVEAL LINES.
- 12" x 3" x -1" ALU. C-CHANNEL FASCIA.
- 15" x 5" x -1" ALU. C-CHANNEL FASCIA.
- 8" x 2" x -1" ALU. C-CHANNEL FASCIA.
- 3" W x -1/2" ALU. BANDING.
- 1/2" PROUD OF ADJ. WOOD CLADDING. MATCH TO PARAPET CAP.
- 42" HT. GLASS RAILING

MATERIALS LEGEND

SMOOTH CONCRETE	DARK SMOOTH CONCRETE	LIGHT ACRYLIC STUCCO	DARK METAL PANELING
LIGHT METAL PANELING	VERTICAL WOOD EFFECT METAL CLADDING	NATURAL VERTICAL WOOD CLADDING	~2" STONE VENEER

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DRAWN BY: DC

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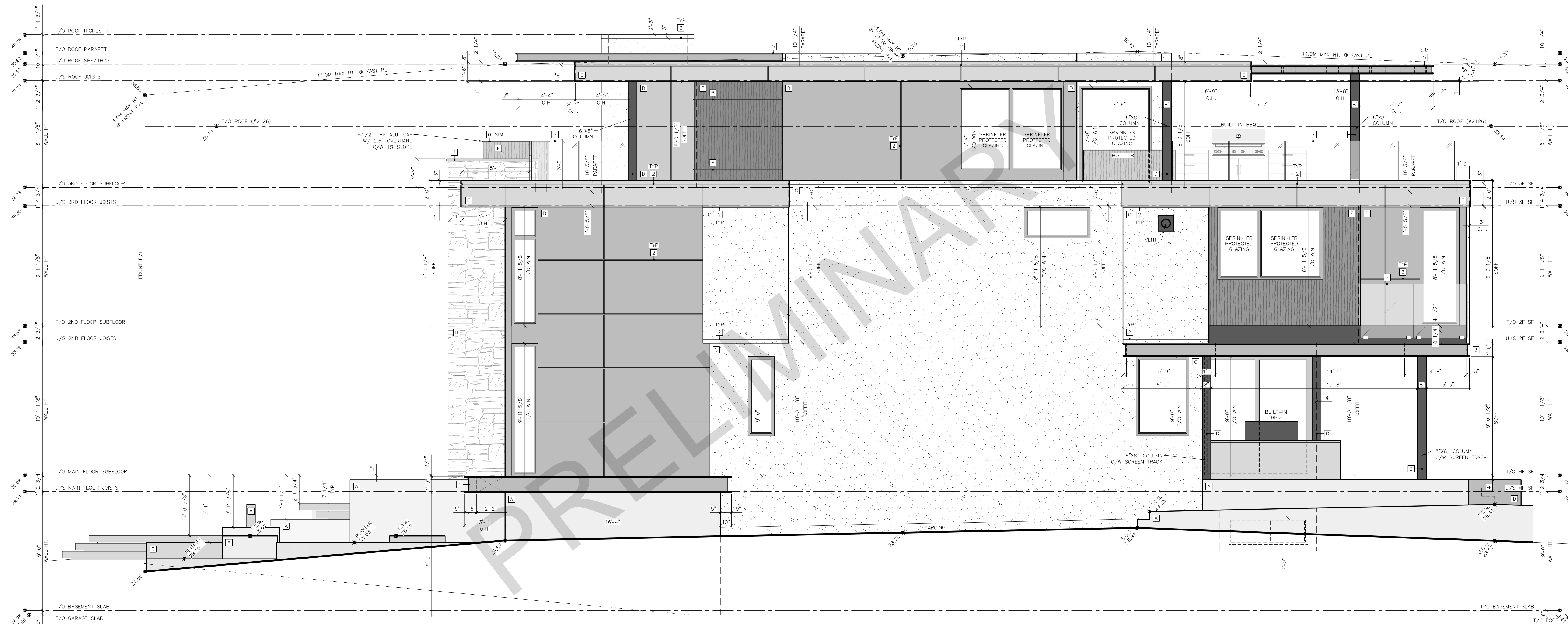
DRAWING TITLE:

**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: SEP. 30, 2024

SHEET:

**A2.2**



**NOTES**

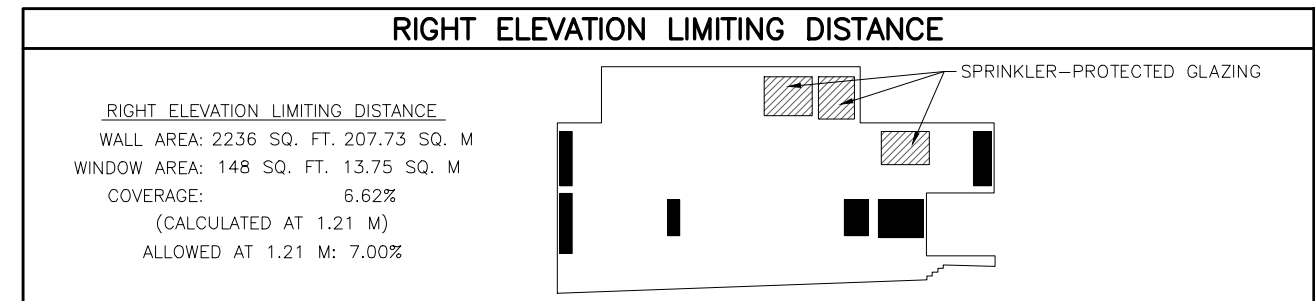
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3. ALL FOOTINGS ARE SHOWN APPROXIMATELY. VERIFY HEIGHTS WITH ENGINEER NOTES.  
4. ALL GEODETICS ARE IN METERS AND DECIMALS THEREOF. GEODETICS ARE +1100.00 M.

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5. 8" x 2" x ~1 1/2" ALU. C-CHANNEL FASCIA.  
6. ~3"W x ~1 1/2" ALU. BANING.  
7. 1/2" PROUD OF ADJ. WOOD CLADDING. MATCH TO PARAPET CAP.  
8. 42" HT. GLASS RAILING

**MATERIALS LEGEND**

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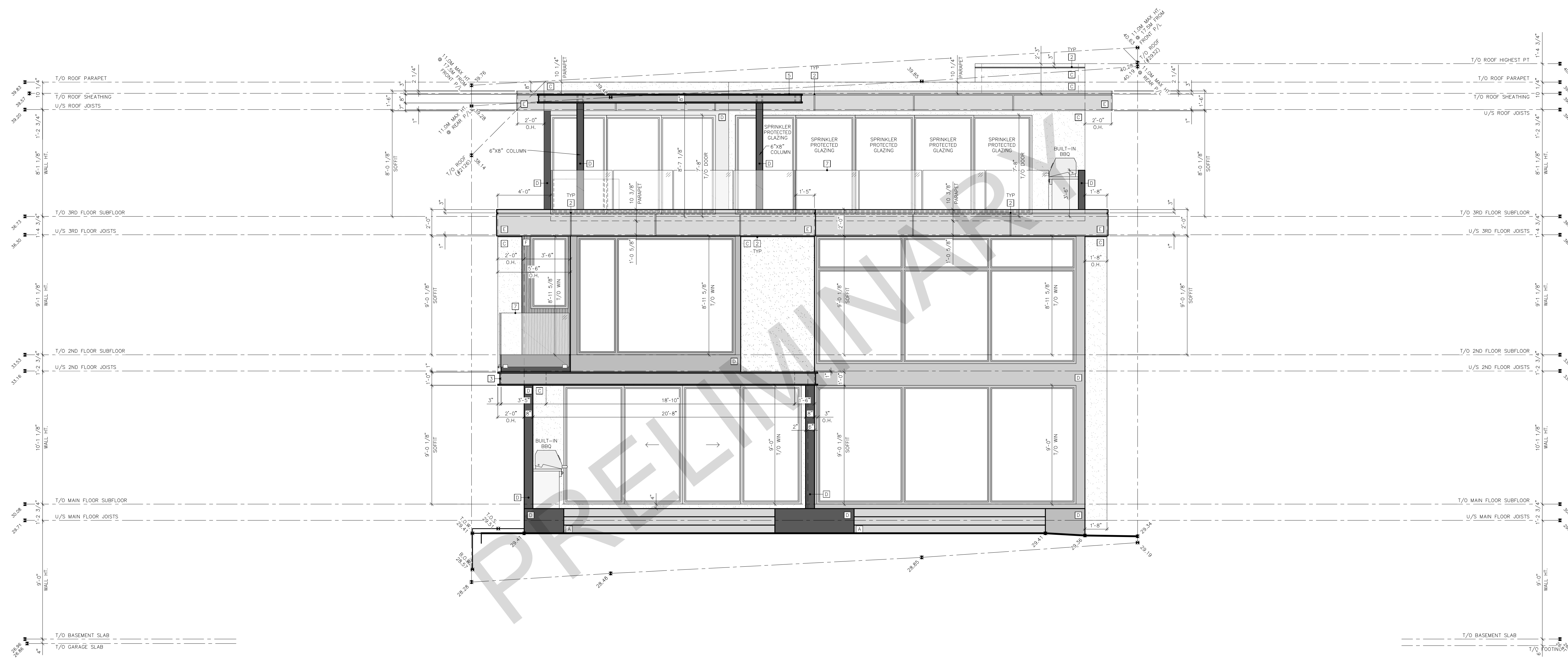
DRAWING TITLE:

**REAR ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: SEP. 30, 2024

SHEET:

**A2.3**



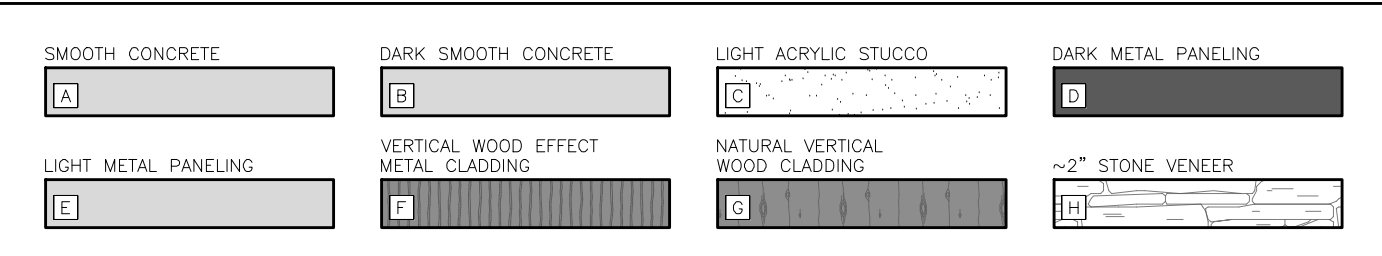
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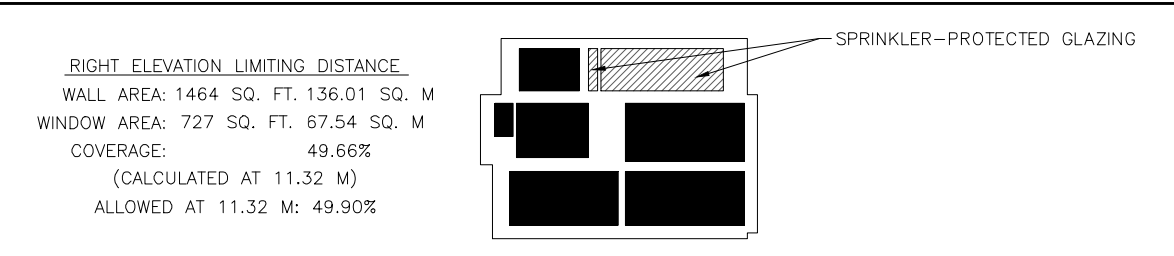
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MATERIALS LEGEND



REAR ELEVATION LIMITING DISTANCE



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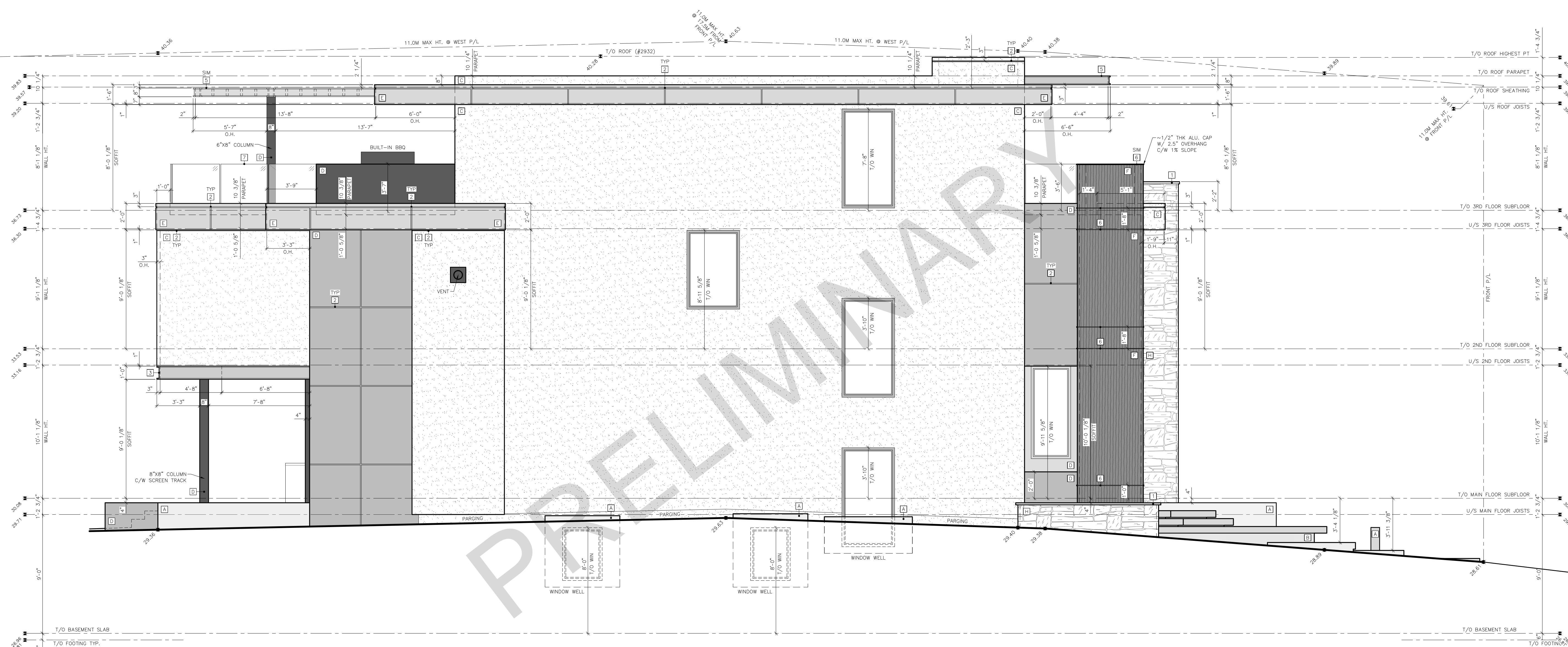
DRAWING TITLE:

**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"  
DATE: SEP. 30, 2024

SHEET:

**A2.4**



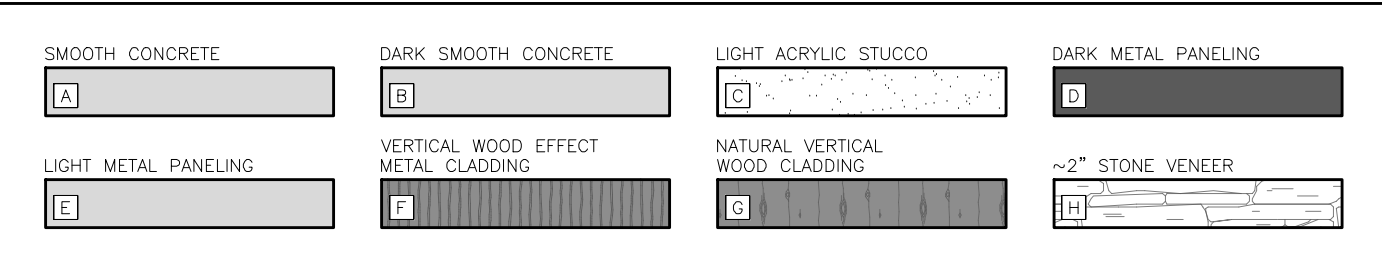
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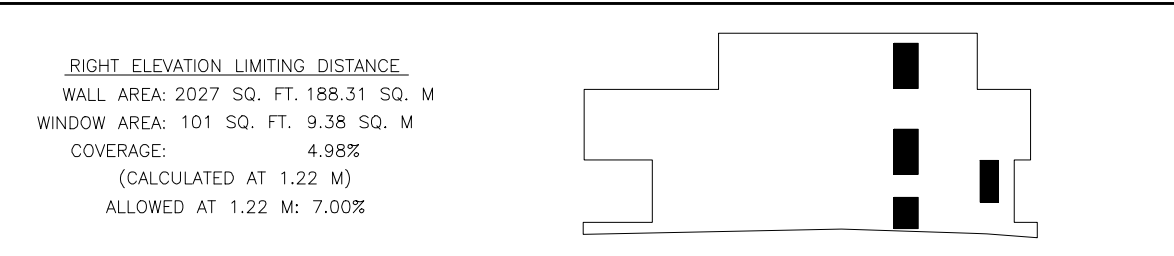
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MATERIALS LEGEND



LEFT ELEVATION LIMITING DISTANCE



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REVISION SCHEDULE:

- |    |                               |                |
|----|-------------------------------|----------------|
| 1. | ISSUED FOR PRICING            | AUG. 30, 2024  |
| 2. | ISSUED FOR DEVELOPMENT PERMIT | SEPT. 30, 2024 |

DRAWN BY: DC

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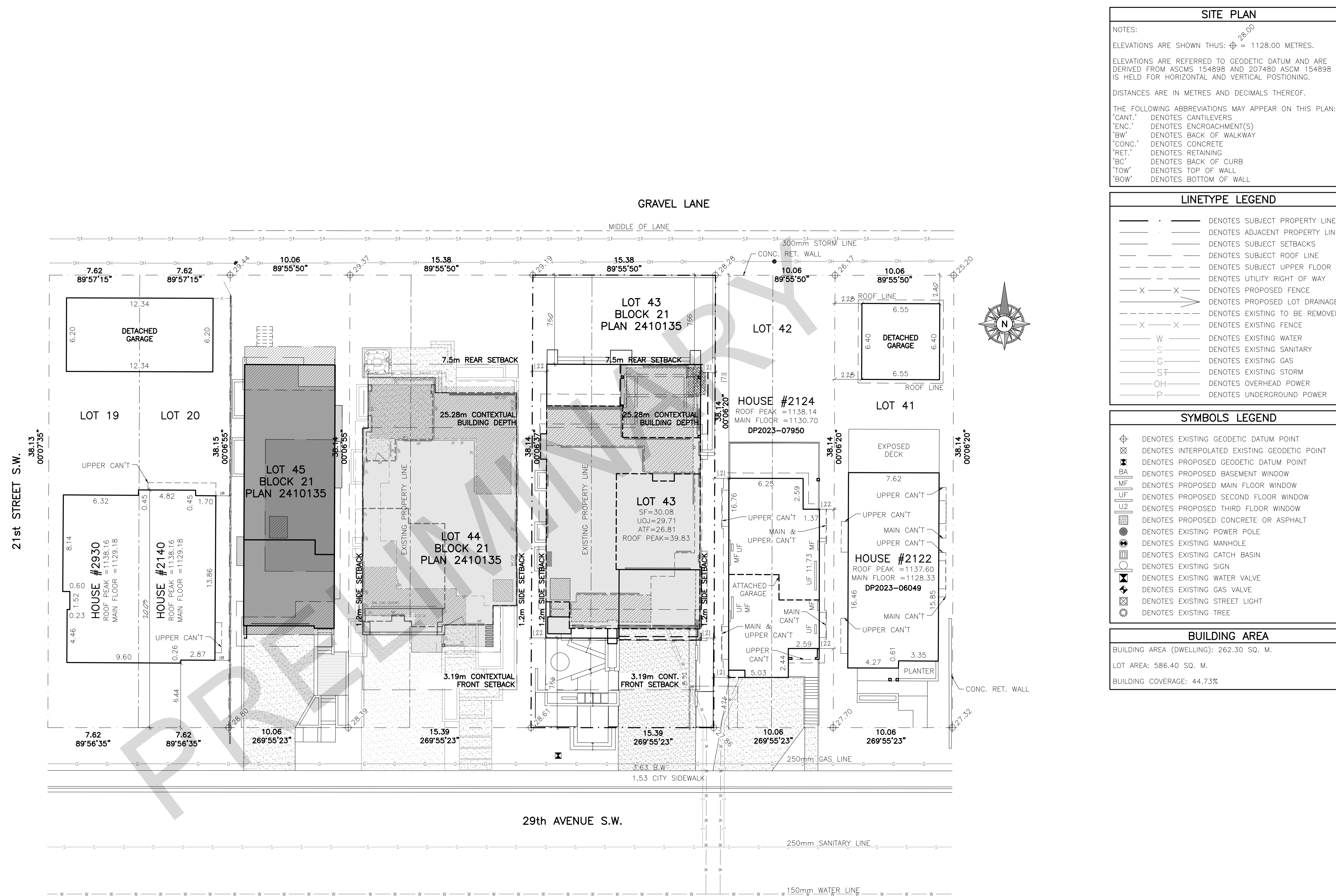
DRAWING TITLE:

BLOCK PLAN

SCALE: 1:200  
DATE: SEPT. 30, 2024

SHEET:

A1.1



**SITE PLAN**

NOTES:

ELEVATIONS ARE SHOWN THUS:  $\phi = 2800$

ELEVATIONS ARE REFERRED TO GEODETIC DATUM AND ARE DERIVED FROM ASCMS 154898 AND 207480 ASCM 154898 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.

DISTANCES ARE IN METRES AND DECIMALS THEREOF.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

"CANT." DENOTES CANTILEVERS  
 "ENC." DENOTES ENCROACHMENT(S)  
 "BW" DENOTES BACK OF WALKWAY  
 "CONC." DENOTES CONCRETE  
 "RET." DENOTES RETAINING  
 "BC" DENOTES BACK OF CURB  
 "TOW" DENOTES TOP OF WALL  
 "BOW" DENOTES BOTTOM OF WALL

**LINETYPE LEGEND**

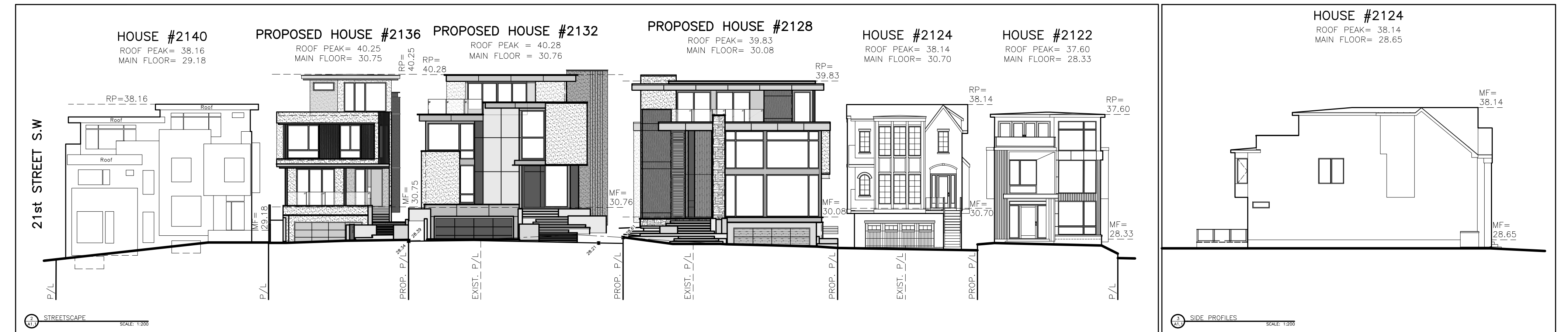
---	DENOTES SUBJECT PROPERTY LINE
---	DENOTES ADJACENT PROPERTY LINES
---	DENOTES SUBJECT SETBACKS
---	DENOTES SUBJECT ROOF LINE
---	DENOTES SUBJECT UPPER FLOOR
---	DENOTES UTILITY RIGHT OF WAY
-X-X-	DENOTES PROPOSED FENCE
-X-X-	DENOTES PROPOSED LOT DRAINAGE
-X-X-	DENOTES EXISTING FENCE
-W-	DENOTES EXISTING WATER
-S-	DENOTES EXISTING SANITARY
-G-	DENOTES EXISTING GAS
-ST-	DENOTES EXISTING STORM
-OH-	DENOTES OVERHEAD POWER
-P-	DENOTES UNDERGROUND POWER

**SYMBOLS LEGEND**

$\phi$	DENOTES EXISTING GEODETIC DATUM POINT
$\times$	DENOTES INTERPOLATED EXISTING GEODETIC POINT
$\boxtimes$	DENOTES PROPOSED GEODETIC DATUM POINT
BA	DENOTES PROPOSED BASEMENT WINDOW
MF	DENOTES PROPOSED MAIN FLOOR WINDOW
UF	DENOTES PROPOSED SECOND FLOOR WINDOW
U2	DENOTES PROPOSED THIRD FLOOR WINDOW
$\oplus$	DENOTES PROPOSED CONCRETE OR ASPHALT
$\odot$	DENOTES EXISTING POWER POLE
$\ominus$	DENOTES EXISTING MANHOLE
$\oplus$	DENOTES EXISTING CATCH BASIN
$\otimes$	DENOTES EXISTING SIGN
$\oplus$	DENOTES EXISTING WATER VALVE
$\oplus$	DENOTES EXISTING GAS VALVE
$\oplus$	DENOTES EXISTING STREET LIGHT
$\odot$	DENOTES EXISTING TREE

**BUILDING AREA**

BUILDING AREA (DWELLING): 262.30 SQ. M.  
 LOT AREA: 586.40 SQ. M.  
 BUILDING COVERAGE: 44.73%



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1.	ISSUED FOR PRICING	AUG. 30, 2024
2.	ISSUED FOR DEVELOPMENT PERMIT	SEP. 30, 2024

DRAWN BY: DC

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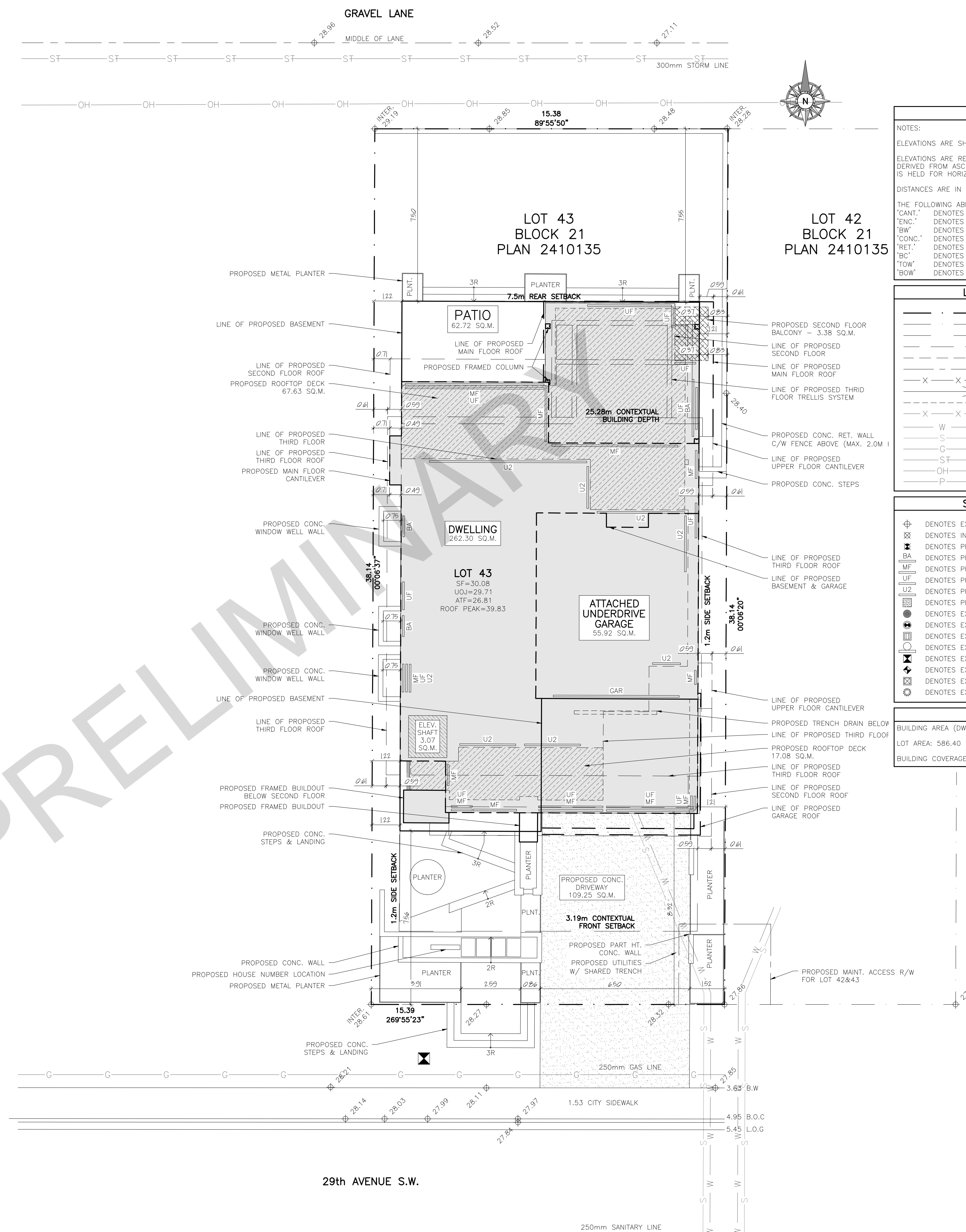
DRAWING TITLE:

**SITE PLAN**

SCALE: 1:100  
DATE: SEPT. 30, 2024

SHEET:

**A1.2**



SITE PLAN	
NOTES:	
ELEVATIONS ARE SHOWN THUS: $\phi = 280.00$	
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"BOW"	DENOTES BOTTOM OF WALL

SYMBOLS LEGEND	
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$\times$	DENOTES INTERPOLATED EXISTING GEODETIC POINT
$\boxtimes$	DENOTES PROPOSED GEODETIC DATUM POINT
$\boxplus$	DENOTES PROPOSED BASEMENT WINDOW
$\boxminus$	DENOTES PROPOSED MAIN FLOOR WINDOW
$\boxdot$	DENOTES PROPOSED SECOND FLOOR WINDOW
$\boxtimes$	DENOTES PROPOSED THIRD FLOOR WINDOW
$\boxplus$	DENOTES PROPOSED CONCRETE OR ASPHALT
$\odot$	DENOTES EXISTING POWER POLE
$\ominus$	DENOTES EXISTING MANHOLE
$\boxplus$	DENOTES EXISTING CATCH BASIN
$\boxtimes$	DENOTES EXISTING SIGN
$\boxplus$	DENOTES EXISTING WATER VALVE
$\boxtimes$	DENOTES EXISTING GAS VALVE
$\boxtimes$	DENOTES EXISTING STREET LIGHT
$\odot$	DENOTES EXISTING TREE

BUILDING AREA	
BUILDING AREA (DWELLING):	262.30 SQ. M.
LOT AREA:	586.40 SQ. M.
BUILDING COVERAGE:	44.73%