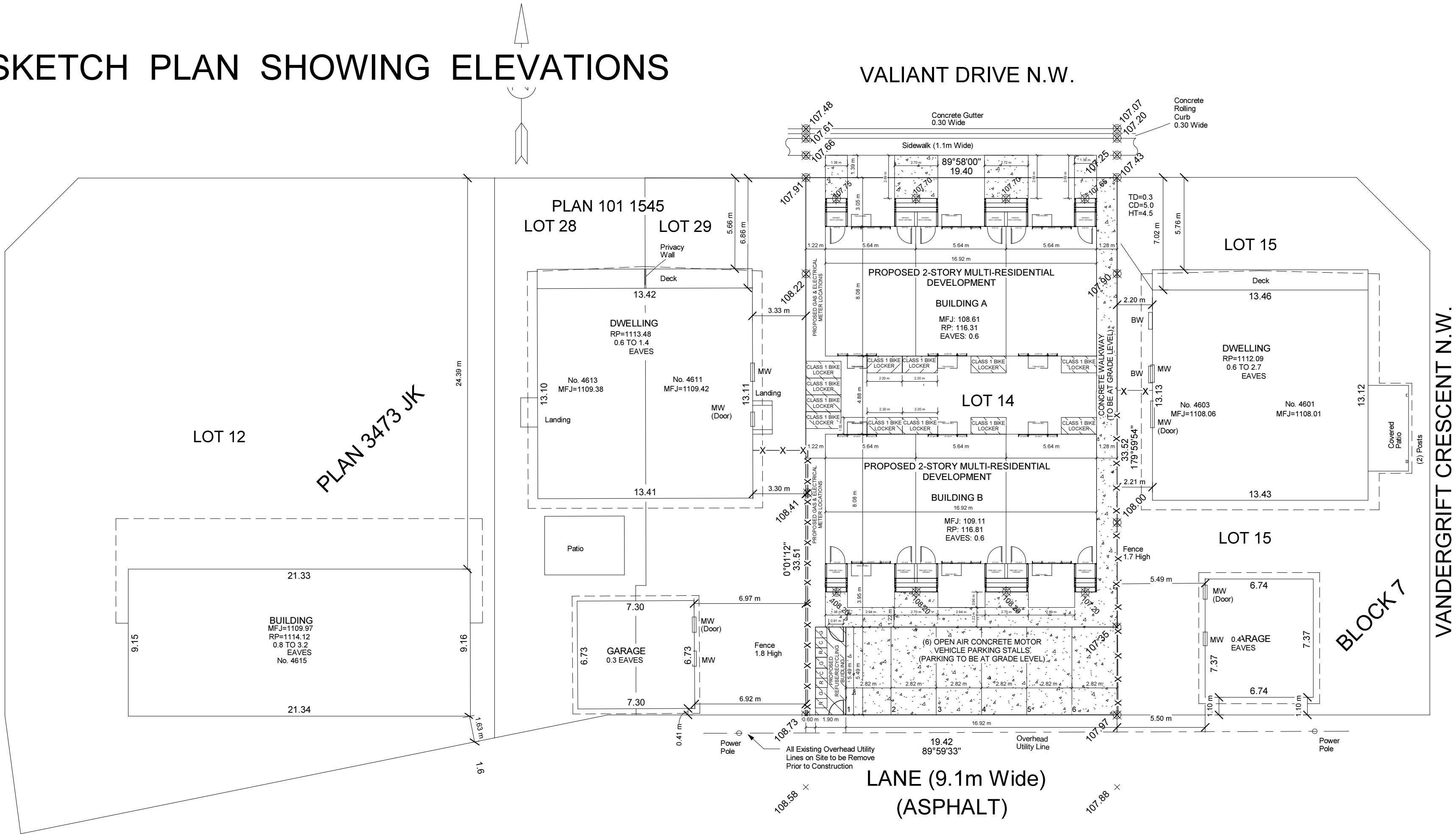


SKETCH PLAN SHOWING ELEVATIONS

SHAGANAPPI TRAIL N.W.

VALIANT DRIVE N.W.



LANE (9.1m Wide)
(ASPHALT)

VANDERGRIFF CRESCENT N.W.

LEGAL DESCRIPTION :

LOT 14
BLOCK 7 (the "Property")
PLAN 3473 JK
CLIENT : TAMSON DEVELOPMENTS INC. (the "Client")

CIVIC ADDRESS :

4605 & 4607 VALIANT DRIVE N.W.
CALGARY, ALBERTA

Date of Survey : JULY 30, 2024

LEGEND :

All dimensions are in metres and decimals thereof.
Unless otherwise specified, the dimensions shown relate to distances from property boundaries to extent of the foundation walls only at the time of the survey

Subject property is outlined thus :
Eaves are dimensioned to the fascia line and shown thus :
Fences outlined thus :
Overhead Utility Line Shown Thus :
Underground Utility Line Shown Thus :
MFJ denotes Main Floor Joist
RP denotes Roof Peak
Elevations shown thus :
Add 1000m to all elevations =1055.61
Elevations are geodetic and derived from ASCM's 47183 and 187070.

Main Floor Window Openings shown thus :
Basement Floor Window Openings shown thus :

SITE INFORMATION

*SITE AREA = 650.96 SQ. METERS
60% SITE AREA = 390.58 SQ. METERS
*PROPOSED DWELLING 1 = 136.71 SQ. METERS
*PROPOSED DWELLING 2 = 136.71 SQ. METERS
*TOTAL DEVELOPED AREA = 273.42 SQM

Dated at Calgary, Alberta this 6th day of AUGUST 2024.

0 1 2 3 4 5 10m SCALE = 1:200

FIRM NAME & ADDRESS:
TAMSON DEVELOPMENTS INC.
403.671.3385
INFO@TAMSON.CA



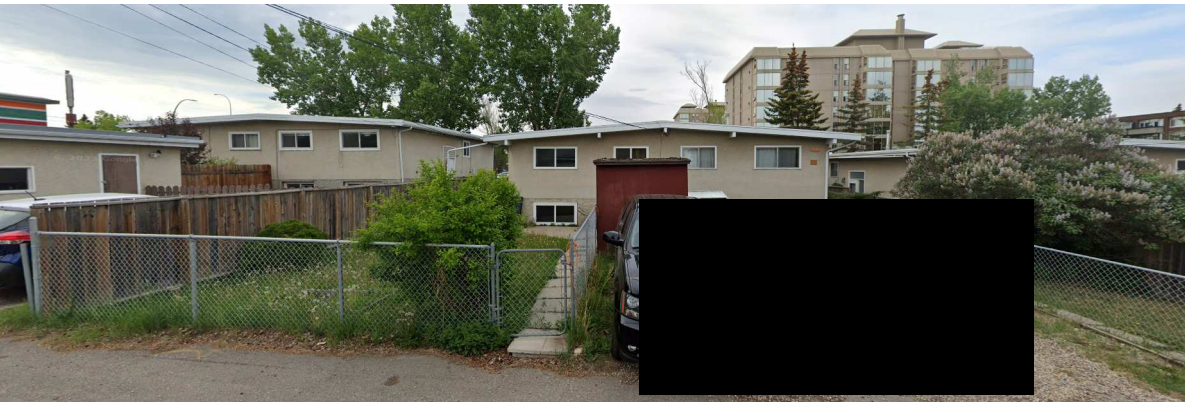
REVISIONS:

PROJECT NOTES:

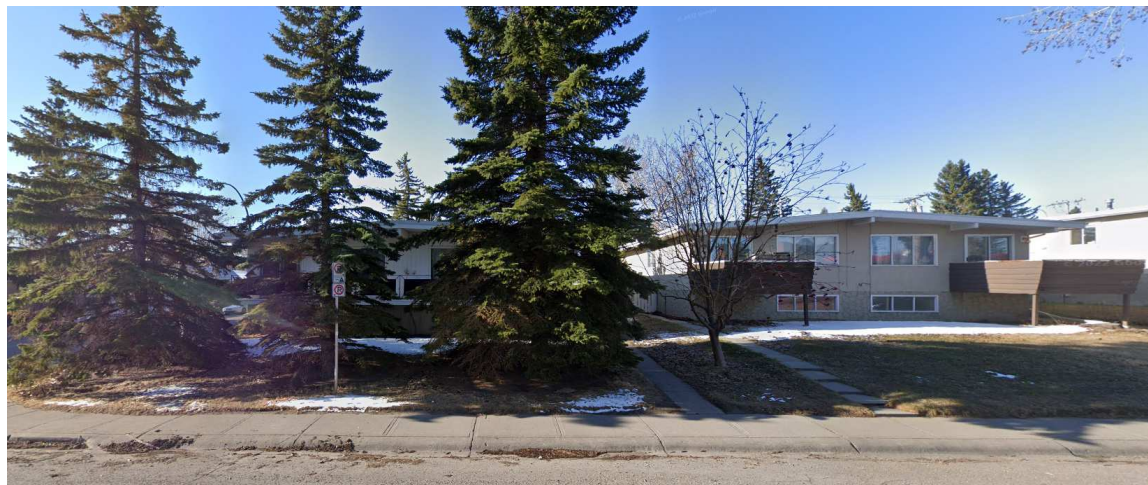
Project:	TRI-PLEX	PRINTED:	10/2/2024 9:32:15 PM
STATUS:	NEW BUILD	PROJECT NAME:	COCHRANE, ALBERTA LOT:14 BLOCK:7 PLAN: 3473 JK
Site & Block Plan	4605 VALIANT DRIVE NW	AREA	SCALE: 1:200
		SHEET:	A-1



VIEW 3 - LOT 28-29



VIEW 2 - SOUTH (REAR)



VIEW 4 - LOT 15



VIEW 1 - NORTH (FRONT)

FIRM NAME & ADDRESS:
TAMSON DEVELOPMENTS INC.
403.671.3385
INFO@TAMSON.CA



REVISIONS:

PROJECT NOTES:

- LANDSCAPING REQUIREMENTS**
- LANDSCAPED AREA - 195.29SQM / 650.96SQM
 - MINIMUM OF 30% OF LANDCAPED AREA TO BE SOFT LANDSCAPING
 - 1 TREE AND 3 SHRUBS REQUIRED FOR 110SQM = 6 TREES & 18 SHRUBS = **9 TREES & 18 SHRUBS PROVIDED**
 - LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT
 - LOW WATER IRRIGATION SYSTEM FOR SOFT SURFACED AREA

NOTE: AN URBAN FORESTRY TECHNICIAN MUST ON-SITE DURING ECAVATION OF THE PROPOSED WALKWAYS IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANPOIES AND ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING APPROVED INDEMNIFIED TREE CONTRACTOR AT THE APPLICANTS EXPENSE, PLUS COMPENSATION.

NUMBER	SPECIES	CANOPY(M)	CALLIPER(CM)	HEIGHT(M)	STATUS	PUB/PR

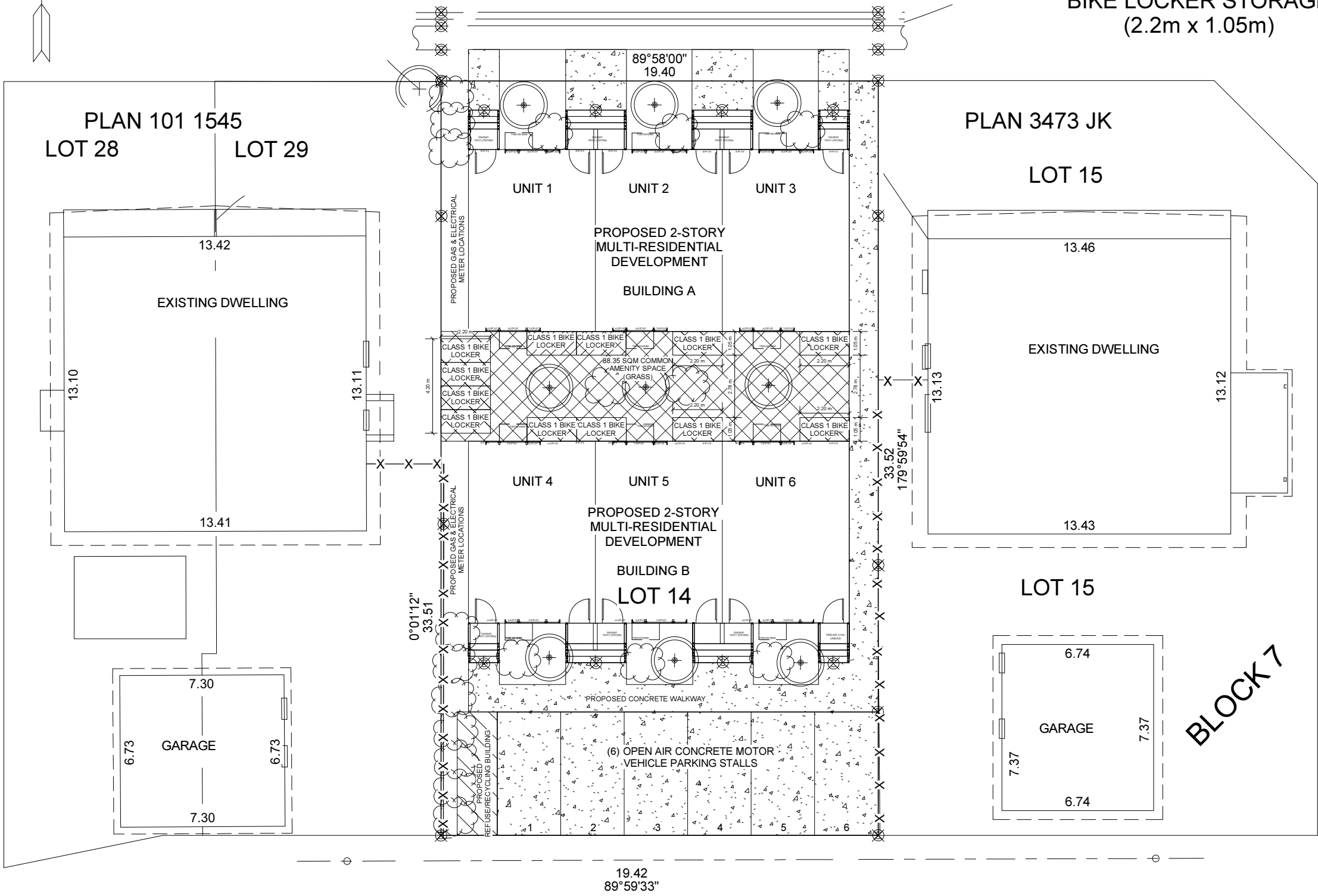
LANDSCAPING PLAN



VALIANT DRIVE N.W.



BIKE LOCKER STORAGE
(2.2m x 1.05m)



LANE (9.1m Wide)
(ASPHALT)

NOTE: ALL EXISTING PRIVATE TREES
AND SHRUBS ON SITE TO BE REMOVED

LEGAL DESCRIPTION :

LOT 14
BLOCK 7 (the "Property")
PLAN 3473 JK
CLIENT : TAMSON DEVELOPMENTS INC. (the "Client")

CIVIC ADDRESS :

4605 & 4607 VALIANT DRIVE N.W.
CALGARY, ALBERTA

Date of Survey : JULY 30, 2024

LEGEND :

All dimensions are in metres and decimals thereof.
Unless otherwise specified, the dimensions shown relate to distances from property boundaries to extent of the foundation walls only at the time of the survey

- Subject property is outlined thus :
Eaves are dimensioned to the fascia line and shown thus :
Fences outlined thus :
Overhead Utility Line Shown Thus :
Underground Utility Line Shown Thus :
MFJ denotes Main Floor Joist
RP denotes Roof Peak
Elevations shown thus :
Add 1000m to all elevations =1055.61
Elevations are geodetic and derived from ASCM's 47183 and 187070.
Coniferous trees shown thus :
Proposed trees shown thus :
Proposed Hedges and shrubs shown thus :
Tree dimensions noted as follows:
TD=trunk diameter, CD=canopy diameter, HT=height
Main Floor Window Openings shown thus :
Basement Floor Window Openings shown thus :
GRASS Amenity Space shown thus :
Concrete shown thus :

SITE INFORMATION

- *SITE AREA = 650.96 SQ. METERS
- 60% SITE AREA = 390.58 SQ. METERS
- *PROPOSED DWELLING 1 = 136.71 SQ. METERS
- *PROPOSED DWELLING 2 = 136.71 SQ. METERS
- *TOTAL DEVELOPED AREA = 273.42 SQM

Dated at Calgary, Alberta this 6th day of AUGUST 2024.

0 1 2 3 4 5 10m SCALE = 1:200

Project: TRI-PLEX

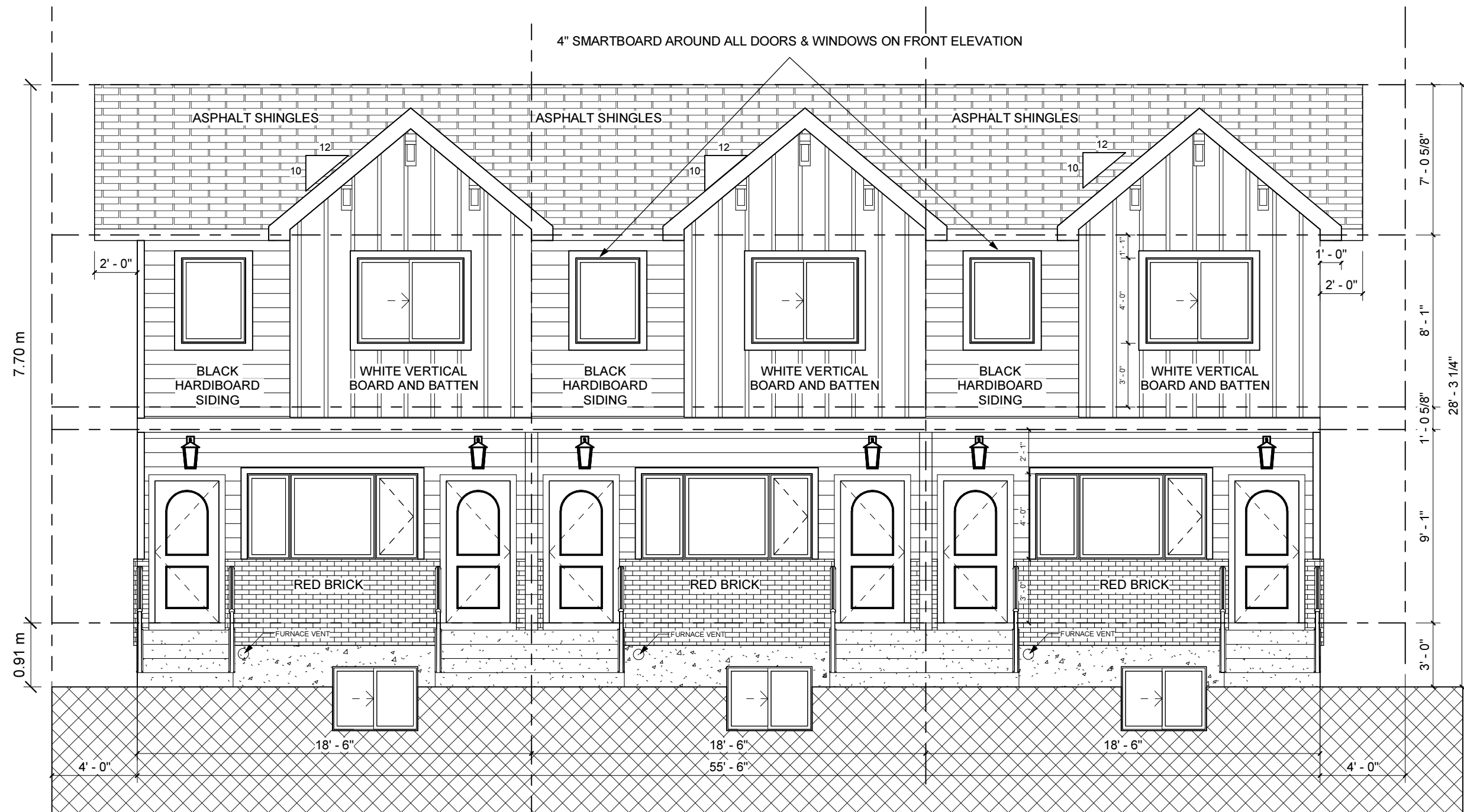
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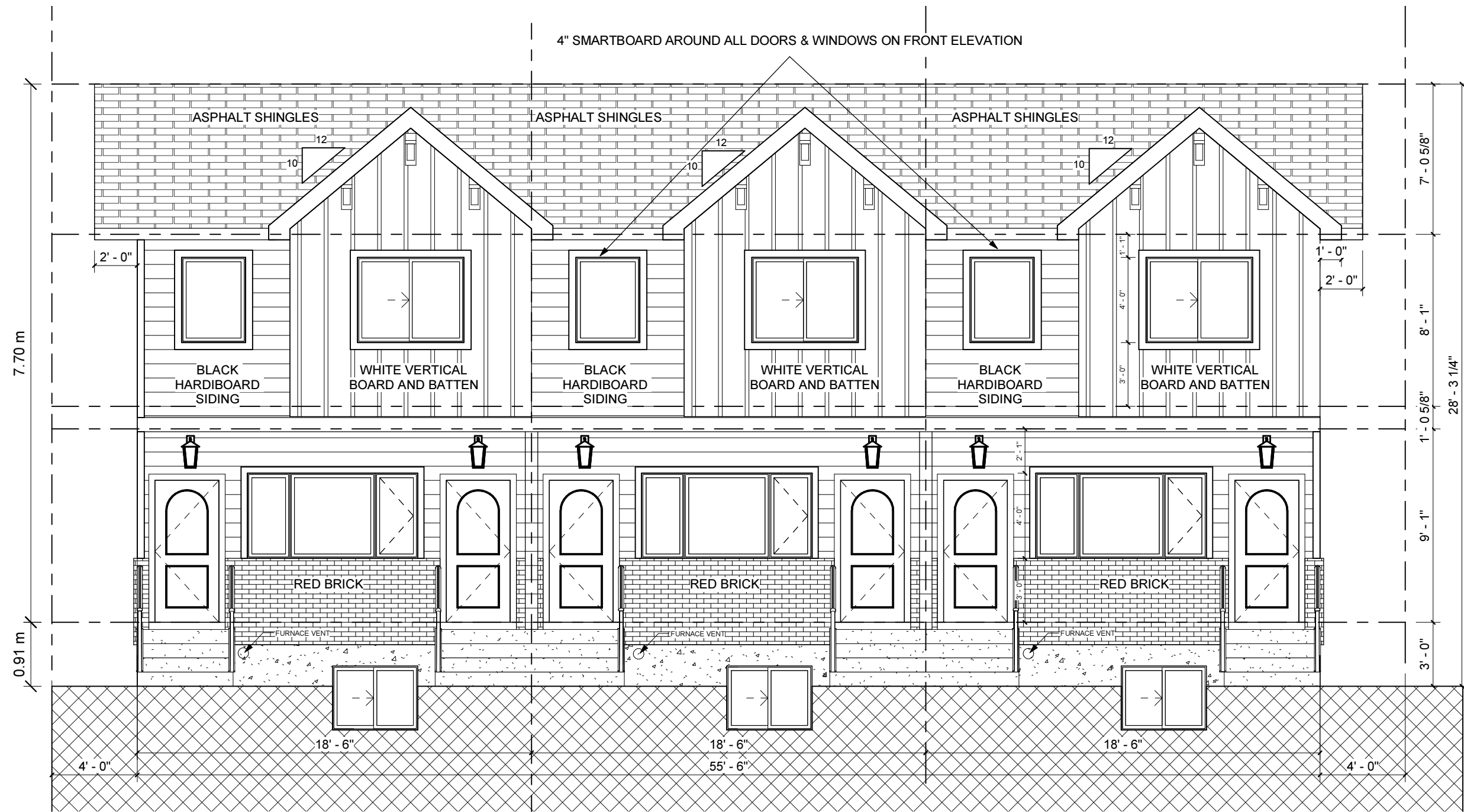
PROJECT NAME:
COCHRANE, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

Landscaping Plan

AREA
4605 VALIANT DRIVE
NW
SCALE:
Checker
SHEET:
A-2



PROPOSED FRONT (NORTH) ELEVATION - BUILDING A
SCALE: 3/16" = 1'-0"



PROPOSED FRONT (SOUTH) ELEVATION - BUILDING B
SCALE: 3/16" = 1'-0"

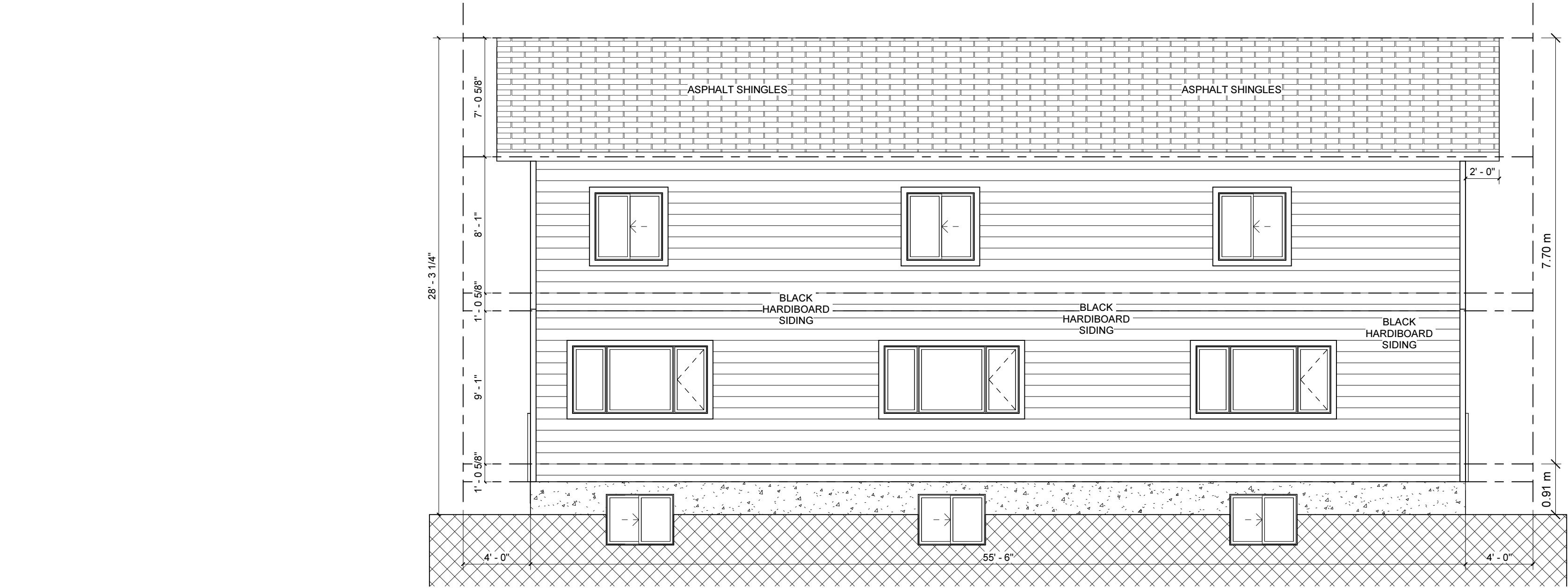
FIRM NAME & ADDRESS:
TAMSON DEVELOPMENTS INC.
403.671.3385
INFO@TAMSON.CA



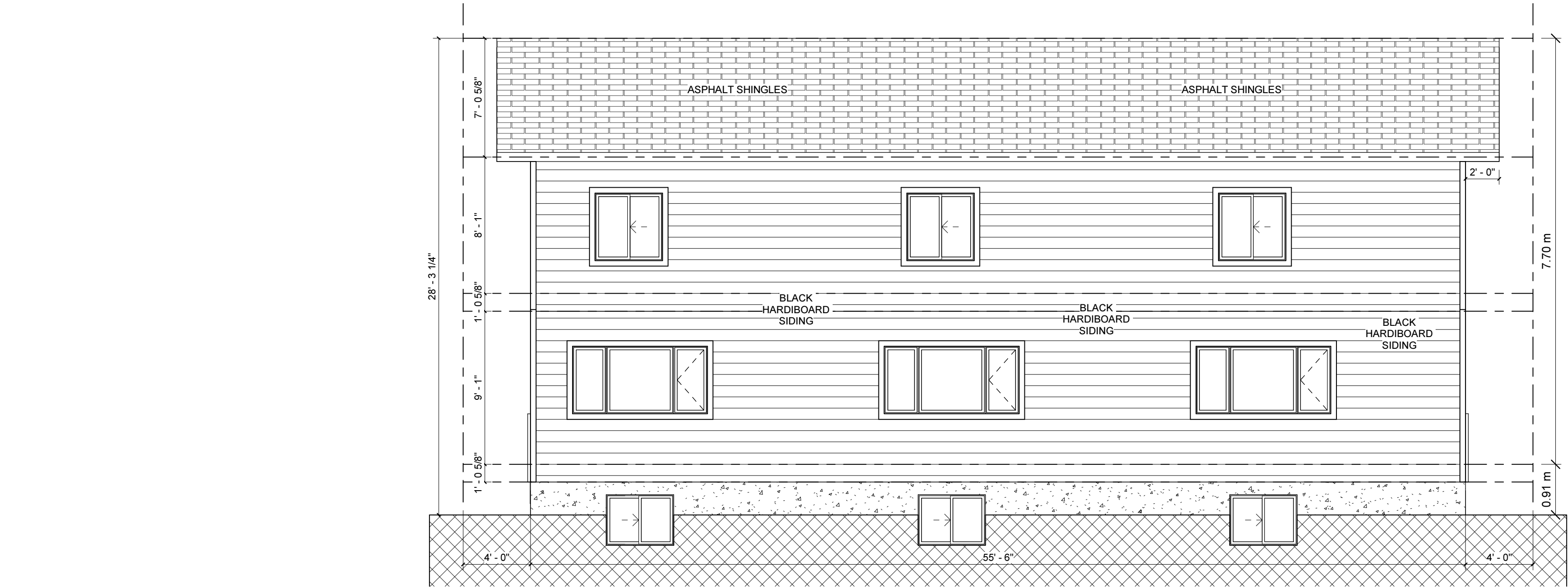
REVISIONS:

PROJECT NOTES:

Project:	TRI-PLEX
STATUS:	NEW BUILD
Front Elevations	
PRINTED: 10/2/2024 9:32:19 PM	
PROJECT NAME: 4605 VALIANT DRIVE NW CALGARY, ALBERTA LOT:14 BLOCK:7 PLAN: 3473 JK	
SCALE:	SHEET:
3/16" = 1'-0"	A-6



PROPOSED REAR (SOUTH) ELEVATION - BUILDING A
SCALE: 3/16" = 1'-0"



PROPOSED REAR (NORTH) ELEVATION - BUILDING B
SCALE: 3/16" = 1'-0"

FIRM NAME & ADDRESS:

TAMSON DEVELOPMENTS INC.

403.671.3385

INFO@TAMSON.CA



REVISIONS:

PROJECT NOTES:

Project:TRI-PLEX

STATUS:NEW BUILD

Rear Elevations

PRINTED: 10/2/2024 9:32:20 PM

PROJECT NAME:

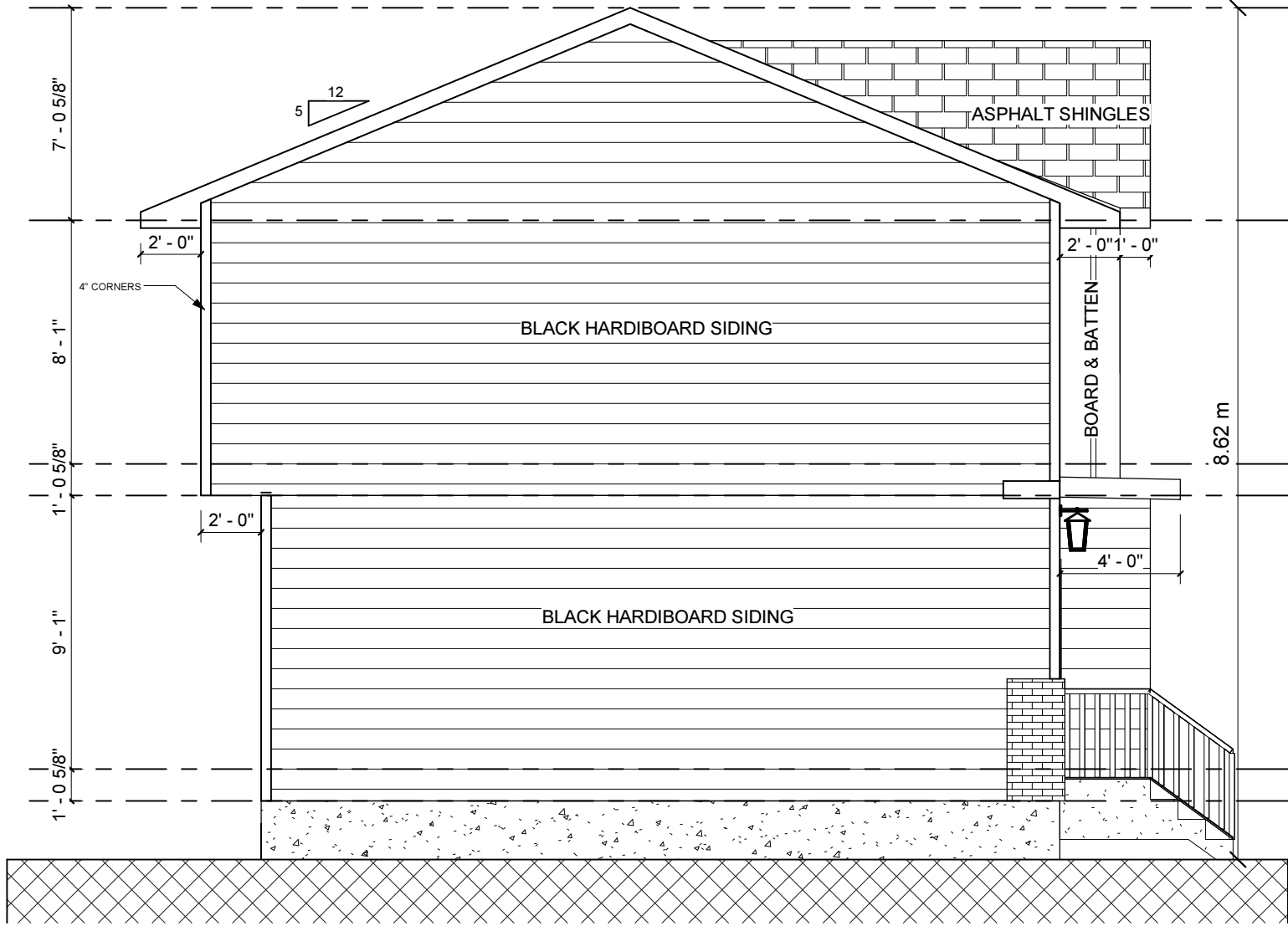
4805 VALIANT DRIVE NW

CALGARY, ALBERTA

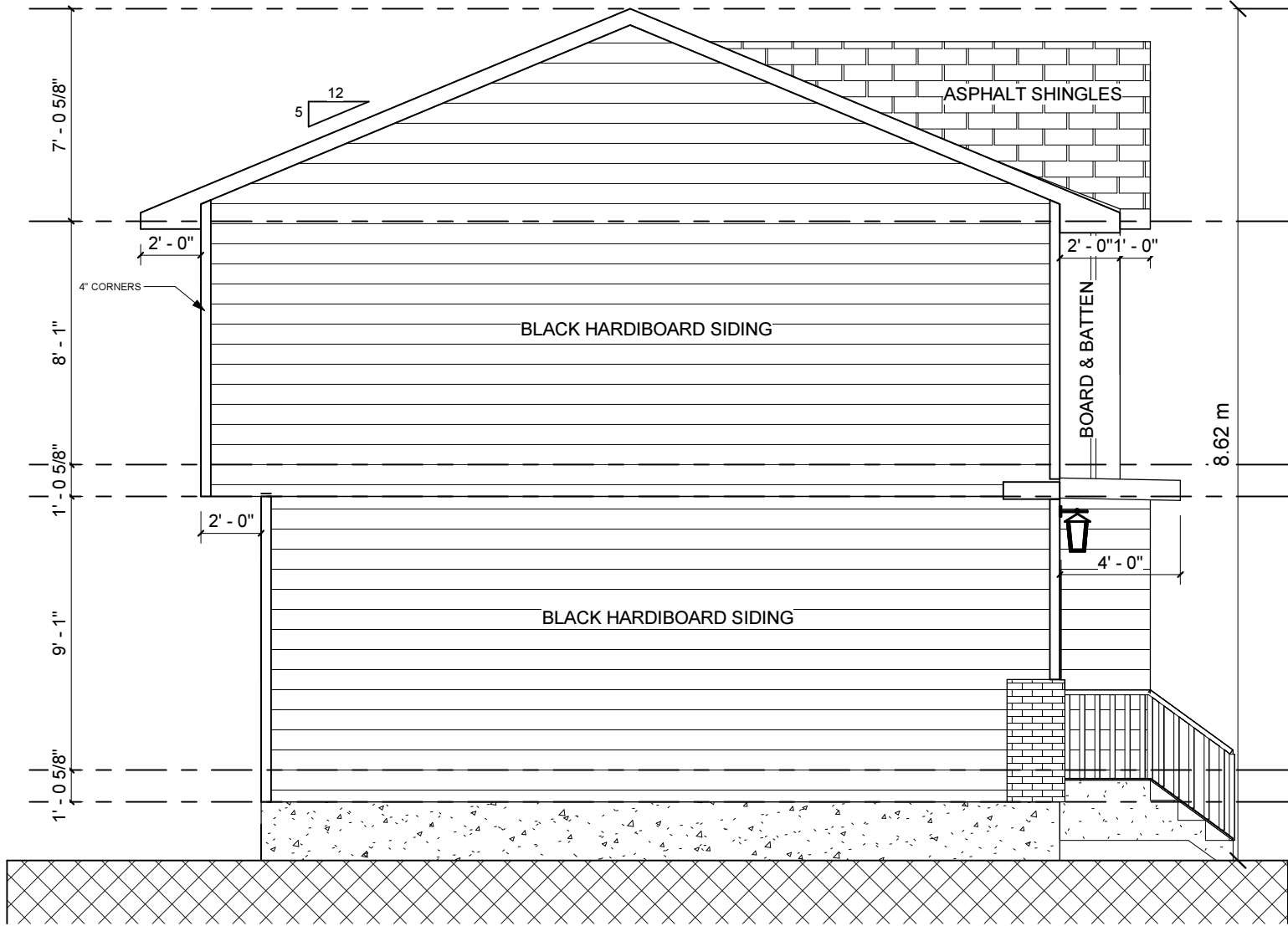
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:Checker

SHEET:A-7



PROPOSED LEFT (EAST) ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"



PROPOSED LEFT (WEST) ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

REVISIONS:

PROJECT NOTES:

Project: TRI-PLEX

STATUS: NEW BUILD

Left Elevations

PRINTED: 10/2/2024 9:32:21 PM

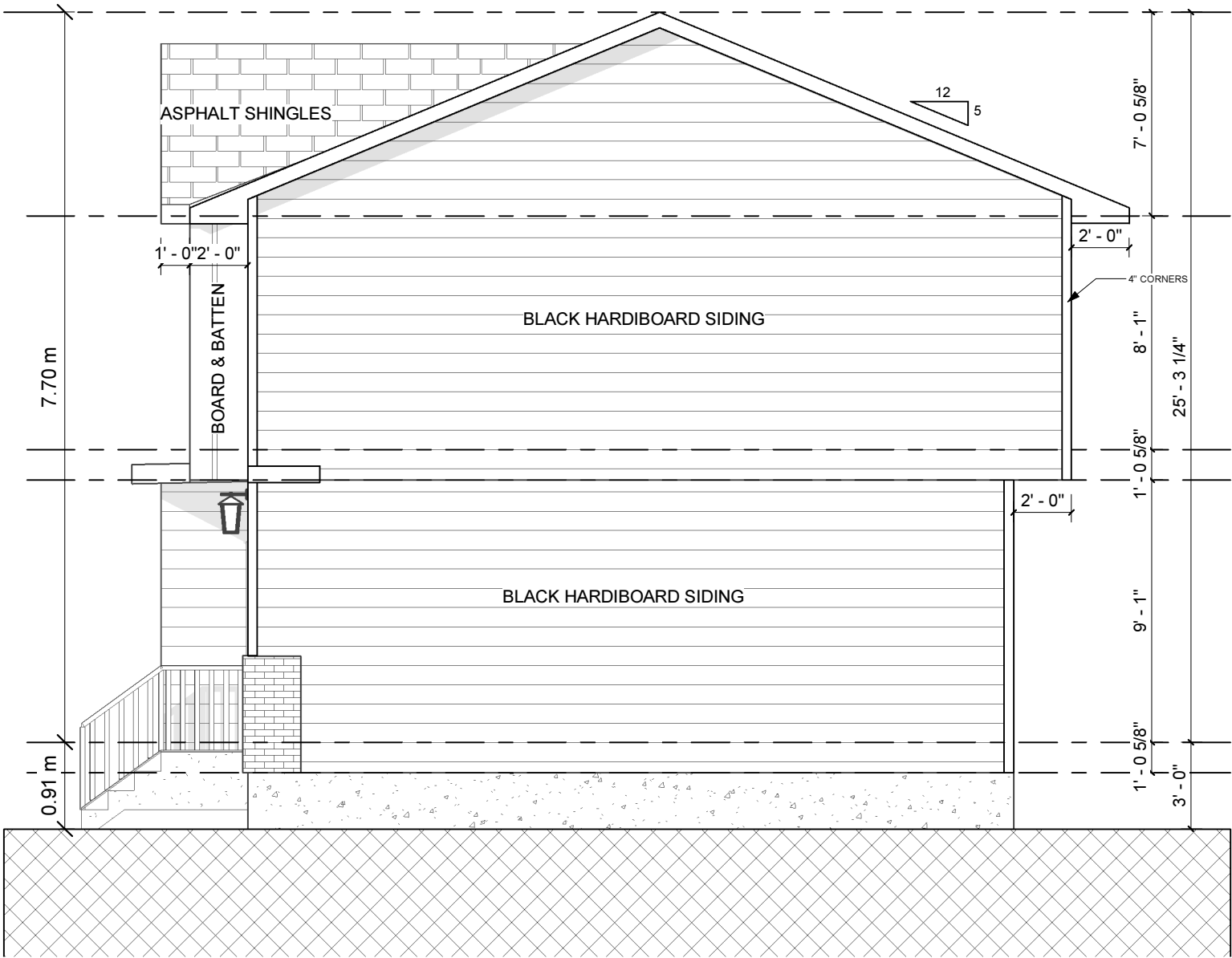
PROJECT NAME:
4605 VALIANT DRIVE NW
CALGARY, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:

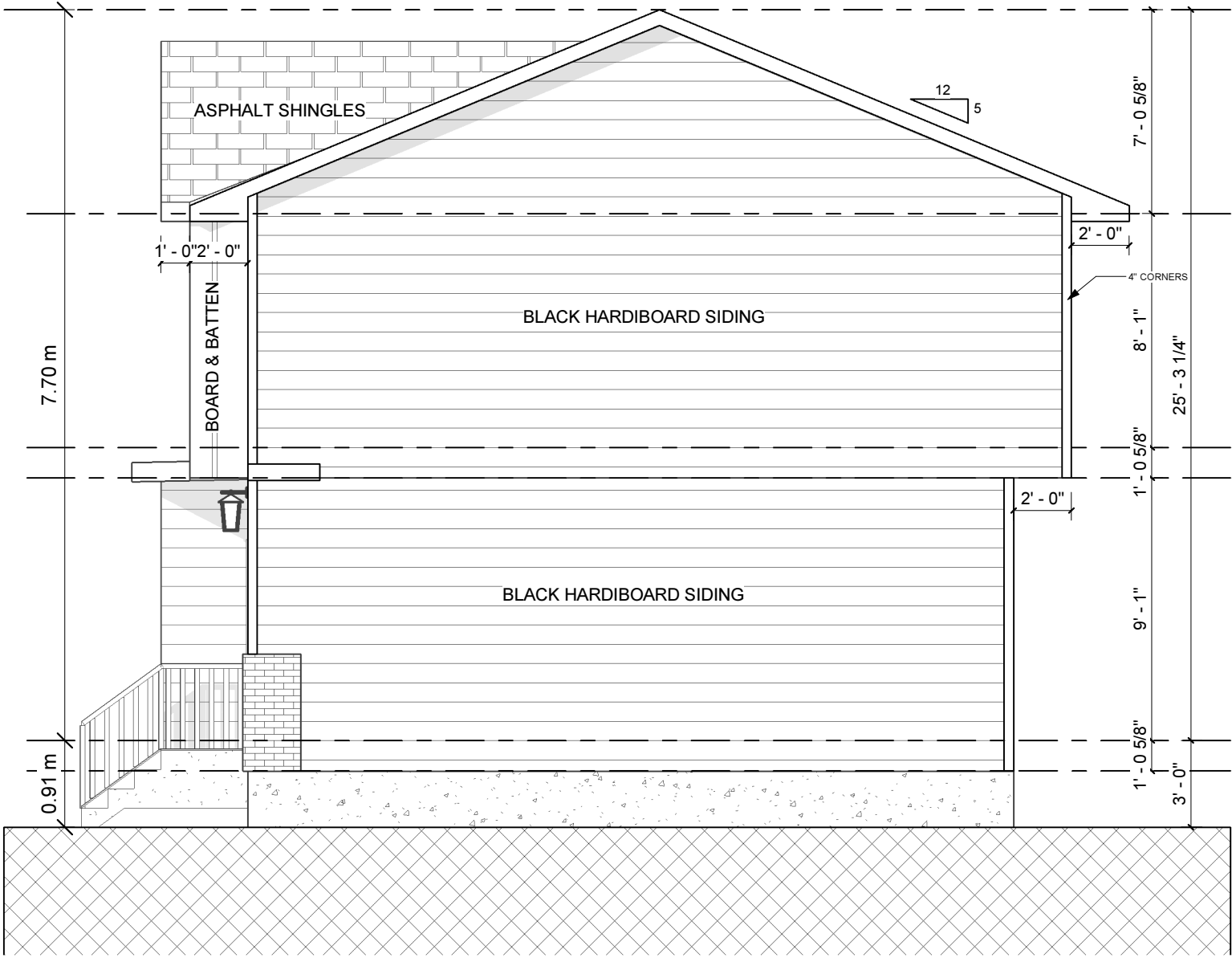
Checker

SHEET:

A-8



PROPOSED RIGHT (WEST) ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"



PROPOSED RIGHT (EAST) ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

REVISIONS:

PROJECT NOTES:

Project: TRI-PLEX

STATUS: NEW BUILD

Right Elevations

PRINTED: 10/2/2024 9:32:22 PM

PROJECT NAME:
4605 VALIANT DRIVE NW
CALGARY, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:

3/16" = 1'-0"

SHEET:

A-9

CONSTRUCTION TYPES:

EXTERIOR WALL:	
W1	TYPICAL EXTERIOR WALL - EXTERIOR FINISH - SEE ELEVATION - "TYVEK" WEATHER MEMBRANE - "TYVEK" WEATHER MEMBRANE - 3/8" OSB 4X8 SHEATHING - 2"X6" KD#2 OR BTR SPRUCE STUD FRAMING @ 16" O/C (WALK-OUT WALLS TO BE @ 16" O/C) - R-22. BATT INSULATION - 6mm POLY VAPOUR BARRIER - 1/2" DRYWALL
W2	TYP. EXTERIOR CONCRETE FOUNDATION WALL: - PARGING ABOVE GRADE TO FIN. MATERIALS (2" RIGID INSULATION WHERE APPLICABLE) - DMX FLEX SHEET - WATCHDOG WATER PROOFING - 8" REINFORCED CONC. FOUNDATION WALL
NOTE: SEAL THE FOUNDATION TO STUD WALL TRANSITION WITH A COMPATIBLE SELF-ADHERED MEMBRANE.	
(SEE P6 FOR BASEMENT FROST WALL)	
W2a	EXTERIOR CONC. FOUNDATION WALL (AT STAIR):
BELOW GRADE: - PARGING OR PROTECTION BOARD ABOVE GRADE TO FINISHED MATERIALS - 2" RIGID INSULATION - DMX FLEX SHEET - WATCHDOG WATER PROOFING - 8" REINFORCED CONC. FOUNDATION WALL	
ABOVE GRADE (ON EXT. WALL): - EXTERIOR FINISH - SEE ELEVATION - "TYVEK" WEATHER MEMBRANE - "TYVEK" WEATHER MEMBRANE - 2" RIGID INSULATION - EXTERIOR WALL ASSEMBLY	
NOTE: SEAL THE FOUNDATION TO STUD WALL TRANSITION WITH A COMPATIBLE SELF-ADHERED MEMBRANE.	
(SEE P6A FOR BASEMENT FROST WALL AT STAIR)	
W2b	TYP. INTERIOR CONCRETE FOUNDATION WALL: - 8" REINFORCED CONC. FOUNDATION WALL
W3	EXTERIOR WALLS AT JOG NEAR DEMISING WALL: - EXTERIOR FINISH - SEE ELEVATION - "TYVEK" WEATHER MEMBRANE - "TYVEK" WEATHER MEMBRANE - 5/8" TYPE "X" GYPSUM BOARD - 3/8" OSB SHEATHING TO U/S OF ROOF/SOFFIT - 2X6 FRAMING @16" O/C - R-22 BATT INSULATION - 6 MIL POLY VAPOR BARRIER - 5/8" TYPE "X" GYPSUM BOARD - 1/2" GYPSUM BOARD
W4	EXTERIOR WALLS (LESS THAN 1.2M LIMITING DISTANCE): - EXTERIOR FINISH - SEE ELEVATION - "TYVEK" WEATHER MEMBRANE - "TYVEK" WEATHER MEMBRANE - 3/8" FIRE RATED OSB SHEATHING - 2X6 KD#2 OR BTR SPRUCE STUDS @16" O/C (FLAME RETARDANT SIDE FACING STUDS) - R-22 BATT INSULATION - 6 MIL POLY VAPOR BARRIER - 1/2" GYPSUM BOARD
W5	PRIVACY WALL BETWEEN BALCONIES: - EXTERIOR FINISH - SEE ELEVATION - SIDING ADJACENT (REFER TO ELEV.) - "TYVEK" WEATHER MEMBRANE - 1/2" OSB SHEATHING - 2X4 KD#2 OR BTR SPRUCE STUDS @16" O/C - 1/2" OSB SHEATHING - TYVEK WEATHER MEMBRANE - EXTERIOR FINISH TO MATCH EXTERIOR - SIDING ADJACENT (REFER TO ELEV.)
INTERIOR PARTITION:	
P1	INTERIOR WALL - 1/2" GYPSUM BOARD - 2X4 KD#2 OR BTR SPRUCE STUDS @24" O/C - 1/2" GYPSUM BOARD (1/2" WATERPROOF GYPSUM BOARD IN WET AREAS INSTEAD OF REGULAR GYPSUM BOARD)
P2	INTERIOR WALL - 2X4 KD#2 OR BTR SPRUCE STUDS @24" O/C - 1/2" GYPSUM BOARD (1/2" WATERPROOF GYPSUM BOARD IN WET AREAS INSTEAD OF REGULAR GYPSUM BOARD)
P3	60 MIN. F.R.R. - DEMISING WALL SIMILAR TO ABC2014 TABLE A-9.10.3.1.A W15b STC RATING 65 - 1/2" GYPSUM BOARD - 5/8" TYPE "X" GYPSUM BOARD - 2X4 KD#2 OR BTR SPRUCE STUDS @16" O/C - 3 1/2" R-12 ACOUSTIC BATT INSULATION - 1" AIR SPACE - 3 1/2" R-12 ACOUSTIC BATT INSULATION - 2X4 KD#2 OR BTR SPRUCE STUDS @16" O/C - 5/8" TYPE "X" GYPSUM BOARD - 1/2" GYPSUM BOARD
P4	6" PLUMBING WALL - 1/2" GYPSUM BOARD - 2X6 KD#2 OR BTR SPRUCE STUDS @16" O/C - 1/2" GYPSUM BOARD SIM. TO P1 (2X6 STUD)
P5	42" STUB WALL - 1/2" GYPSUM BOARD - 2X4 KD#2 OR BTR SPRUCE STUDS @24" O/C - 1/2" GYPSUM BOARD
P6	FROST WALL ASSEMBLY (EXTERIOR) - 2X6 KD#2 OR BTR SPRUCE STUDS @24" O/C - R-22 BATT INSULATION - 6 MIL POLY VAPOR BARRIER - 1/2" GYPSUM BOARD (FOR FINISHED ROOMS)
P6a	FROST WALL ASSEMBLY (SEMI-HEATED) - 2X4 KD#2 OR BTR SPRUCE STUDS ON FLAT @24" O/C - 1 1/2" MEDIUM DENSITY SPRAY FOAM - 6 MIL POLY VAPOR BARRIER - 1/2" GYPSUM BOARD (FOR FINISHED ROOMS)
P6b	FROST WALL ASSEMBLY - 2" RIGID INSULATION TO 4'-0" MIN. BELOW SLAB OR TO TOP OF FOOTING
P7	FURRING WALL - 2X4 KD#2 OR BTR SPRUCE STUDS ON FLAT @24" O/C - 1/2" GYPSUM BOARD (FOR FINISHED ROOMS)
P8	DEMISING WALL AT ROOF TRUSSES - 5/8" TYPE "X" ON EACH SIDE OF TRUSS PROVIDE SUPPORT FOR TYPE "X" AT JOINTS (1.0 HR FIRE RATING)
P9	WALL BETWEEN HOUSE AND GARAGE - 1/2" GYPSUM BOARD - 2X6 KD#2 OR BTR SPRUCE STUDS @16" O/C - R-22 BATT INSULATION - 6 MIL POLY VAPOR BARRIER ON WARM SIDE - 1/2" GYPSUM BOARD
SOFFIT TYPES:	
S1	- PREFINISHED ALUMINUM SOFFIT VENTED TYPE
S2	- PREFINISHED ALUMINUM SOFFIT NON-VENTED TYPE
BALCONY:	
D1	DECK ABOVE ROOM - VINYL DECKING (48 MIL. OR SIMILAR) - 3/4" T&G PLYWOOD - 2X8 KD#2 OR BTR JOISTS @ 10" O/C - STEEL JOIST HANGERS AS REQUIRED - R-28 BATT INSULATION - STUDS @ 16" O/C - 6 MIL. POLY VAPOR BARRIER ON WARM SIDE - 1/2" C.D. DRYWALL

FLOOR:	
F1	TYPICAL FLOOR: - 23/32" OSB T&G FLOOR SHEATHING - GLUED AND SCREWED - ENGINEERED 11 7/8" DEEP "I" JOISTS @ 19.2" O/C (U.N.O.) - 1/2" C.D. GYPSUM BOARD
NOTE: - MAY CHANGE UPON ENGINEERS REVIEW	
F2	GARAGE FLOOR: - 4" THICK, 32 MPA DURAMIX CONCRETE SLAB C/W 10M BARS @ 20" O/C EACH WAY - 5" COMPACTED GRAVEL
NOTE: MAY CHANGE UPON ENG. REVIEW	
F3	BASEMENT SLAB: - 4" THICK, 25 MPA CONCRETE SLAB - 6 MIL POLY VAPOR BARRIER - 5" COMPACTED GRAVEL
10M BARS @ 20" O/C EACH WAY IN CONC. SLAB	
NOTE: MAY CHANGE UPON ENG. REVIEW	
F4	FLOOR ABOVE GARAGE: - 23/32" OSB T&G FLOOR SHEATHING - GLUED AND SCREWED - ENGINEERED 11 7/8" DEEP "I" JOISTS @ 19" O/C (U.N.O.) - 6 MIL POLY VAPOR BARRIER - R-28 BATT INSULATION - SUSPENDED 2X4 KD#2 OR BTR SPRUCE STUDS @ 16" O/C - 1/2" C.D. DRYWALL
- 3/8" SPRUCE PLYWOOD SHEATHING TO UNDERLAY ALL TILE AREAS	
F5	CANTILEVERED FLOOR: - 23/32" OSB T&G FLOOR SHEATHING - GLUED AND SCREWED - EXTERIOR FINISH - VINYL SIDING - "TYVEK" WEATHER MEMBRANE - 3/8" OSB 4X8 SHEATHING - 5/8" TYPE "X" GYPSUM BOARD - 2"X6" KD#2 OR BTR SPRUCE STUDS @16"O/C - R-22. BATT INSULATION - 6mm POLY VAPOUR BARRIER - 1/2" DRYWALL - INTERIOR AIR FILM
F6	DECK/BALCONY FLOOR: - VINYL DECKING ON 3/4" T&G PLYWOOD - 2X10 KD#2 OR BTR JOISTS @ 10" O/C - STEEL JOIST HANGERS AS REQUIRED
F7	BALCONY FLOOR ABOVE GARAGE: - FINISHED FLOORING - VINYL DECK - 3/4" R&G PLYWOOD - 1X4 STRIPPING SLOPED 2% TO DRAIN - 2X4 WOOD BLOCK (FOR VENTILATION) - PRE-ENGINEERED 2X8 JOIST @ 16" O/C - R-12 BATT INSULATION - 6 MIL POLY VAPOR BARRIER - R-28 BATT INSULATION - SUSPENDED 2X4 KD#2 OR BTR SPRUCE STUD @ 16" O/C - 1/2" TYPE C.D. GYPSUM BOARD
- 3/8" SPRUCE PLYWOOD SHEATHING TO UNDERLAY ALL TILE AREAS	

ROOF TYPES:

R1	TYPICAL ROOF: - IKO CAMBRIDGE FIBRE-GLASS SHINGLES - 15LB TAR PAPER - 3/8" OSB ROOF SHEATHING C/W H-CLIPS BETWEEN TRUSS SPACE - 2X4 KD#2 OR BTR SPRUCE ENGINEERED TRUSS @ 2'-0" O/C - VENTED ATTIC SPACE - R-60 BLOWN-IN FIBERGLASS INSULATION IN BETWEEN TRUSSES - 6 MIL POLY VAPOR BARRIER - 1/2" C.D. GYPSUM BOARD
R2	ROOF OVERHANGS: - IKO CAMBRIDGE FIBRE-GLASS SHINGLES - 15LB TAR PAPER - 3/8" OSB ROOF SHEATHING C/W H-CLIPS BETWEEN TRUSS SPACE - 2X4 KD#2 OR BTR SPRUCE ENGINEERED TRUSS @ 2'-0" O/C
R3	GARAGE ROOF: - IKO CAMBRIDGE FIBRE-GLASS SHINGLES - 15LB TAR PAPER - 3/8" OSB ROOF SHEATHING C/W H-CLIPS BETWEEN TRUSS SPACE - 2X4 KD#2 OR BTR SPRUCE ENGINEERED TRUSS @ 2'-0" O/C

EXT. WALL:

W1	TYPICAL EXTERIOR WALL - EXTERIOR AIR FILM - EXTERIOR FINISH - VINYL SIDING - "TYVEK" WEATHER MEMBRANE - 3/8" OSB 4X8 SHEATHING - 2"X6" KD#2 OR BTR SPRUCE STUDS @16"O/C - R-22. BATT INSULATION - 6mm POLY VAPOUR BARRIER - 1/2" DRYWALL - INTERIOR AIR FILM	RSI 0.03 0.11 0.00 0.00 0.093 0.00 2.547 0.00 0.08 0.12 TOTAL: 2.98
W2	TYPICAL FOUNDATION WALL - PARGING OR PROTECTION BOARD - DMX FLEX SHEET - WATCHDOG WATER PROOFING - 8" REINFORCED CONC. FOUNDATION WALL	RSI 0.00 0.00 0.00 0.081
P6	- 2"X6" KD#2 OR BTR SPRUCE STUDS @24" - R-22. BATT INSULATION - 6mm POLY VAPOUR BARRIER - 1/2" DRYWALL (FINISHED BASEMENT) - INTERIOR AIR FILM	0.00 2.785 0.00 0.08 0.12 TOTAL (UNFINISHED BASEMENT): 2.986 TOTAL (FINISHED BASEMENT): 3.066
W2a	FOUNDATION WALL (BELOW FLOOR, WO): - PARGING OR PROTECTION BOARD - 2" POLYSTYRENE RIGID INSULATION - DMX FLEX SHEET - WATCHDOG WATER PROOFING - 8" REINFORCED CONC. FOUNDATION WALL	RSI 0.00 1.68 0.00 0.00 0.081
P6a	- 2"X4" KD#2 OR BTR SPRUCE STUDS ON FLAD @24" - 1 1/2" MEDIUM DENSITY SPRAY FOAM - 6mm POLY VAPOUR BARRIER - 1/2" DRYWALL (FINISHED BASEMENT) - INTERIOR AIR FILM	0.00 1.368 0.00 0.08 0.12 TOTAL: 3.32
W3	EXTERIOR WALL AT JOG NEAR DEMISING WALL: - EXTERIOR AIR FILM - EXTERIOR FINISH - VINYL SIDING - "TYVEK" WEATHER MEMBRANE - "TYVEK" WEATHER MEMBRANE - 3/8" OSB 4X8 SHEATHING - 5/8" TYPE "X" GYPSUM BOARD - 2"X6" KD#2 OR BTR SPRUCE STUDS @16"O/C - R-22. BATT INSULATION - 6mm POLY VAPOUR BARRIER - 5/8" TYPE "X" GYPSUM BOARD - 1/2" DRYWALL - INTERIOR AIR FILM	RSI 0.03 0.11 0.00 0.00 0.093 0.10 0.00 2.547 0.00 0.10 0.08 0.12 TOTAL: 3.18
W4	EXTERIOR WALL (LESS THAN 1.2M LIMITING DIST.): - EXTERIOR AIR FILM - EXTERIOR FINISH - VINYL SIDING - "TYVEK" WEATHER MEMBRANE - "TYVEK" WEATHER MEMBRANE - 5/8" DENSGLASS SHEATHING - 2"X6" KD#2 OR BTR SPRUCE STUDS @16"O/C - R-22. BATT INSULATION - 6mm POLY VAPOUR BARRIER - 1/2" DRYWALL - INTERIOR AIR FILM	RSI 0.03 0.11 0.00 0.00 0.254 0.00 2.547 0.00 0.08 0.12 TOTAL: 3.14

GENERAL NOTES:

- MAY CHANGE UPON ENGINEERS REVIEW
- DRAWING DIMENSIONS ARE TO FACE OF STUD
- 3/8" SPRUCE PLYWOOD SHEATHING TO UNDERLAY ALL TILE AREAS
- ALL WINDOWS TO BE VINYL, LOW-E ON SURFACE
- 2 GLASS WITH ARGON GAS FILL
- HEAT RECOVERY VENTILATOR (HRV) TO BE USED, REQUIRED VALUES PER A.B.C. TABLES
- 9.36.2.6.B (ABOVE GROUND) AND 9.36.2.8.B (BELOW GROUND)
- 2M OF BOTH INLET AND OUTLET PIPING FROM A STORAGE TANK OR HEATING VESSEL MUST HAVE 12MM MIN. THICK PIPING INSULATION
- MINIMUM 6% SLOPE FOR ALL METAL FLASHINGS
- SET BOTTOM PLATE OF WALL FRAMING INTO 2 BEADS OF COMPATIVLE SEALANT, OR A FOAM GASKET TO PROVIDE AIR SEAL
- ALL SPRAY FOAM TO BE CLOSED-CELL 1.8-2 LB/FT3 DENSITY TYPE. THE SPRAY FOAM MUST BE APPLIED OVER 75mm (3") THICKNESS TO ACT AS BOTH AN AIR BARRIER AND VAPOR DIFFUSION RETARDER. APPLY IN MAX 50mm (2") PER LIFT TO PREVENT HEAT BUILDUP.

GENERAL NOTES:

LINTELS:

- UP TO 4' OPENINGS - 2 - 2 X 8
- UP TO 7' OPENINGS - 2 - 2 X 10

CONSTRUCTION LUMBER FOR STUDS AND OTHER STRUCTURAL USE SHALL BE SPRUCE GRADE #2 OR BETTER (NO FINGER JOINTED STUDS)

EQUIPMENT:

- DIRECT VENT GAS WATER HEATER - RG2PDV50S6N
- BRADFORD WHITE
- 50 GAL. EFFICIENCY VALUE: 100%
- FURNACE - GME960803BN
- HIGH EFFICIENCY NATURAL GAS GOODMAN
- 96% AFUE SINGLE-STAGE
- HEAT RECOVERY VENTILATOR - HRV - 5 - 150 - GDX
- RNC C1.0 HRV. 30-140 CFM
- EFFICIENCY VALUE: 75% (59CFM) @0C & 72% (64CFM) @ -25C

FIRM NAME & ADDRESS:

TAMSON DEVELOPMENTS INC.
403.671.3385
INFO@TAMSON.CA



REVISIONS:

PROJECT NOTES:

Project: TRI-PLEX

STATUS: NEW BUILD

Construction Assemblies

PRINTED: 10/2/2024 9:32:23 PM

PROJECT NAME:

4605 VALIANT DRIVE NW

CALGARY, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:

3/16" = 1'-0"

SHEET:

A-11