

4605 VALIANT DR NW - TRI-PLEX
DEVELOPMENT PERMIT SET

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PARCEL ADDRESS

LEGAL: LOT 14 BLOCK 7 PLAN: 3473 JK

MUNICIPAL: 4605 VALIANT DRIVE NW

COMMUNITY: VARISTY

ZONING: H-GO

FIRM NAME & ADDRESS:
TAMSON DEVELOPMENTS INC.
403.671.3385
INFO@TAMSON.CA



REVISIONS:

PROJECT NOTES:

Project:TRI-PLEX

STATUS:NEW BUILD

Title Page

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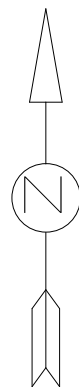
PROJECT NAME:
4605 VALIANT DRIVE NW

CALGARY, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:Checker

SHEET:A-0

SKETCH PLAN SHOWING
ELEVATIONS



VALIANT DRIVE N.W.

SHAGANAPPI TRAIL N.W.

LOT 12

PLAN 3473 JK

LOT 28
LOT 29

LOT 15

VANDERGRIFF CRESCENT N.W.

BLOCK 7

LANE (9.1m Wide)
(ASPHALT)

VALIANT DRIVE N.W.

STREETSCAPE
NOT TO SCALE

THE BOULEVARD GRADES ARE TO REMAIN
THE SAME AS THE EXISTING CONDITION, AS
PER STREETS BYLAW 2008, SECTION 35

Concrete
Rolling
Curb
0.30 Wide

CONCRETE GUTTER 0.3 WIDE

CONCRETE ROLLING CURB 0.3 WIDE

New 2.0m City Sidewalk

New 2.0m City Sidewalk

89°58'00"

19.40

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REVISIONS:

PROJECT NOTES:

LEGAL DESCRIPTION :

LOT 14
BLOCK 7 (the "Property")
PLAN 3473 JK
CLIENT : TAMSON DEVELOPMENTS INC. (the "Client")

CIVIC ADDRESS :

4605 & 4607 VALIANT DRIVE N.W.
CALGARY, ALBERTA

Date of Survey : JULY 30, 2024

LEGEND :

All dimensions are in metres and decimals thereof.
Unless otherwise specified, the dimensions shown relate to distances from property boundaries to extent of the foundation walls only at the time of the survey

Subject property is outlined thus :
Eaves are dimensioned to the fascia line and shown thus :
Fences outlined thus :
Overhead Utility Line Shown Thus :
Underground Utility Line Shown Thus :
MFJ denotes Main Floor Joist
RP denotes Roof Peak
Elevations shown thus :
Add 1000m to all elevations =1055.61
Elevations are geodetic and derived from ASCM's 47183 and 187070.
Main Floor Window Openings shown thus :
Basement Floor Window Openings shown thus :

SITE INFORMATION

*SITE AREA = 650.96 SQ. METERS
60% SITE AREA = 390.58 SQ. METERS
21 SQ. METERS X 6 PARKING STALLS = 126SQM
390.58SQM - 126SQM = **264.58SQM ALLOWABLE**
*PROPOSED DWELLING 1 = 131.64 SQ. METERS
*PROPOSED DWELLING 2 = 131.64 SQ. METERS
*TOTAL DEVELOPED AREA = **263.28 SQM**

Dated at Calgary, Alberta this 6th day of AUGUST 2024.

0 1 2 3 4 5 10m SCALE = 1:200

Project:	TRI-PLEX	PRINTED:	8/24/2025 8:24:44 PM
STATUS:	NEW BUILD	PROJECT NAME:	COCHRANE, ALBERTA LOT:14 BLOCK:7 PLAN: 3473 JK
Site & Block Plan	4605 VALIANT DRIVE NW	AREA	SCALE: 1:200
		SHEET:	A-1



VIEW 3 - LOT 28-29



VIEW 2 - SOUTH (REAR)



VIEW 4 - LOT 15



VIEW 1 - NORTH (FRONT)

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REVISIONS:

PROJECT NOTES:

LANDSCAPING REQUIREMENTS

- LANDSCAPED AREA - 195.29SQM / 650.96SQM

- MINIMUM OF 30% OF LANDCAPED AREA TO BE SOFT LANDSCAPING

- 1 TREE AND 3 SHRUBS REQUIRED FOR 110SQM = 6 TREES & 18 SHRUBS PROVIDED

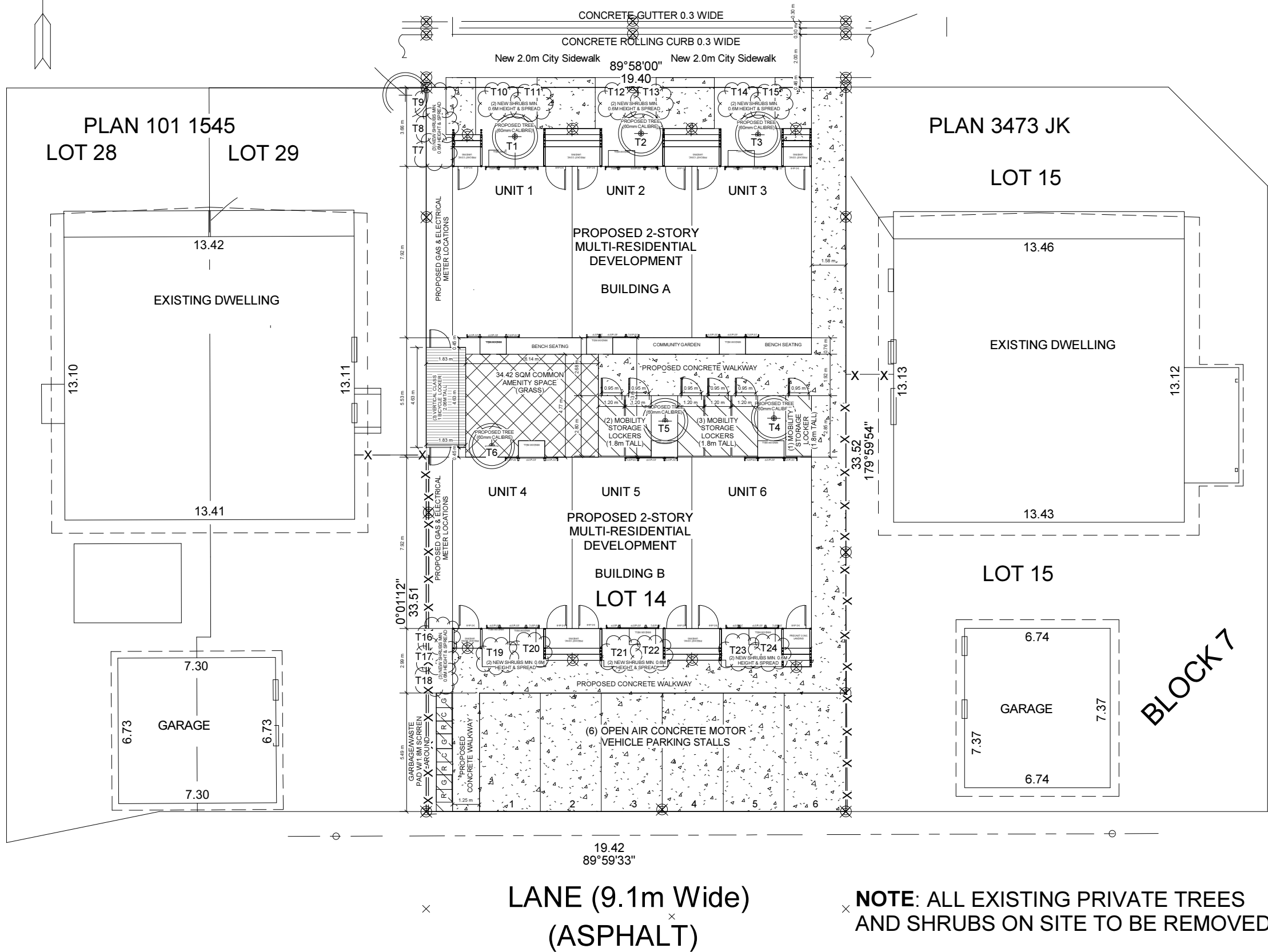
- LANDSCAPING TO BE LOW WATER PLANTING, DROUGHT TOLERANT
- LOW WATER IRRIGATION SYSTEM FOR SOFT SURFACED AREA
- MINIMUM OF 300mm TOPSOIL IS PROPOSED TO BE USED FOR ALL ABSORBENT LANDSCAPING AREAS

NUMBER	SPECIES	CANOPY(M)	CALLIPER(CM)	HEIGHT(M)	STATUS	PUB/PR
T1 - T6	Pincherry	0.60	2.5	3.5	Proposed Tree	PR
T7-24	Potentilla Shrub	--	--	0.60	Proposed Shrub	PR

NOTE: AN URBAN FORESTRY TECHNICIAN MUST ON-SITE DURING ECAVATION OF THE PROPOSED WALKWAYS IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST 3 BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANPOIES AND ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING APPROVED INDEMNIFIED TREE CONTRACTOR AT THE APPLICANTS EXPENSE, PLUS COMPENSATION.

LANDSCAPING PLAN

VALIANT DRIVE N.W.



VANDERGRIFT CRESCENT N.W.

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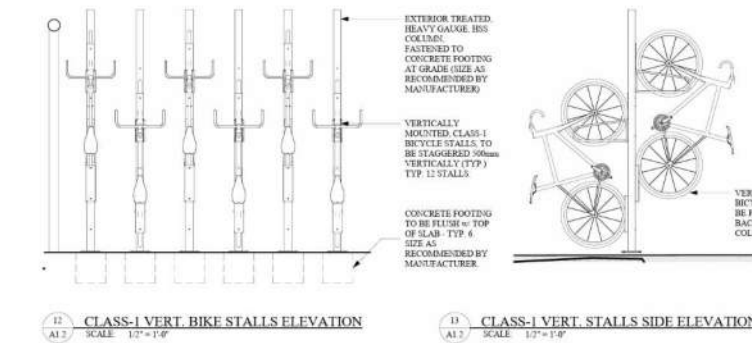
Elevations shown thus :
Add 1000m to all elevations =1055.61

Elevations are geodetic and derived from ASCM's 47183 and 187070.

Proposed trees shown thus :
Proposed Hedges and shrubs shown thus :

Tree dimensions noted as follows:
TD=trunk diameter, CD=canopy diameter, HT=height
Main Floor Window Openings shown thus :
Basement Floor Window Openings shown thus :

GRASS Amenity Space shown thus :
Concrete shown thus :

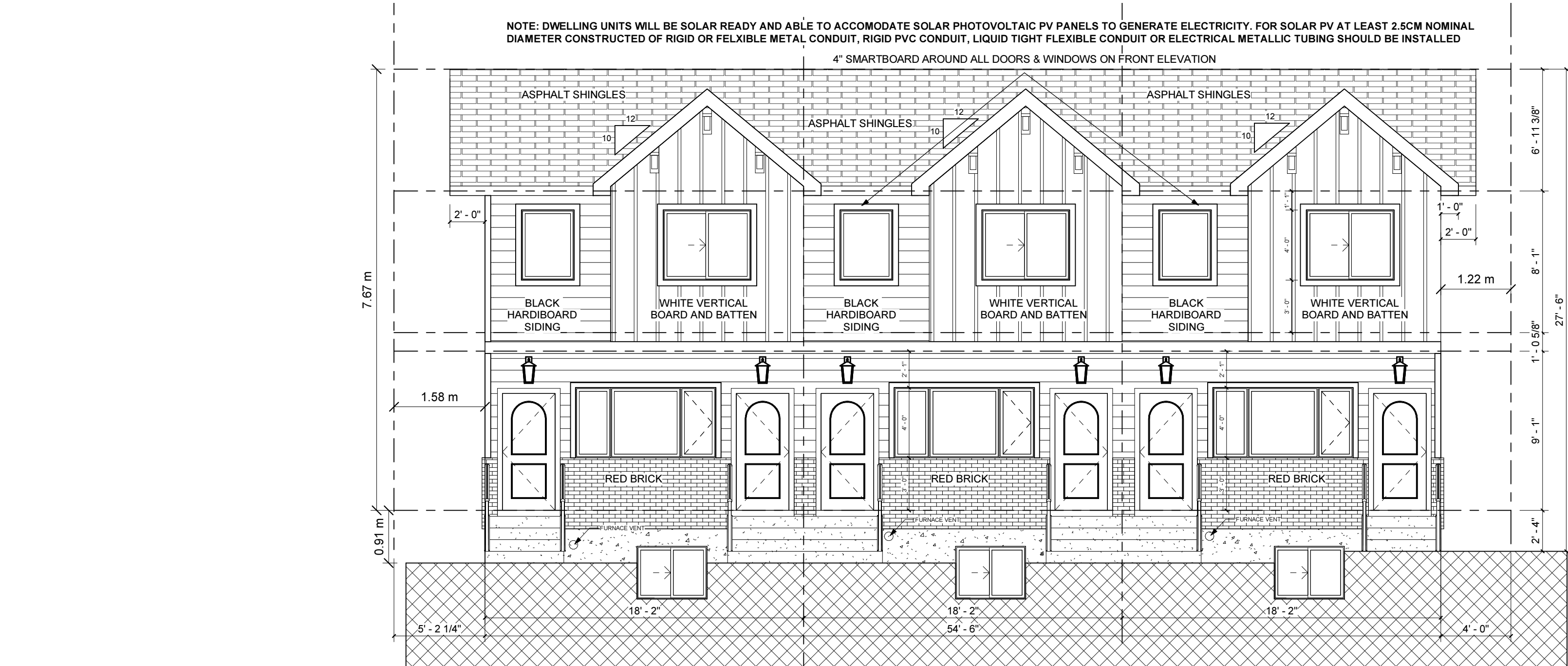


CLASS-I VERT. BIKE STALLS ELEVATION
CLASS-I VERT. STALLS SIDE ELEVATION

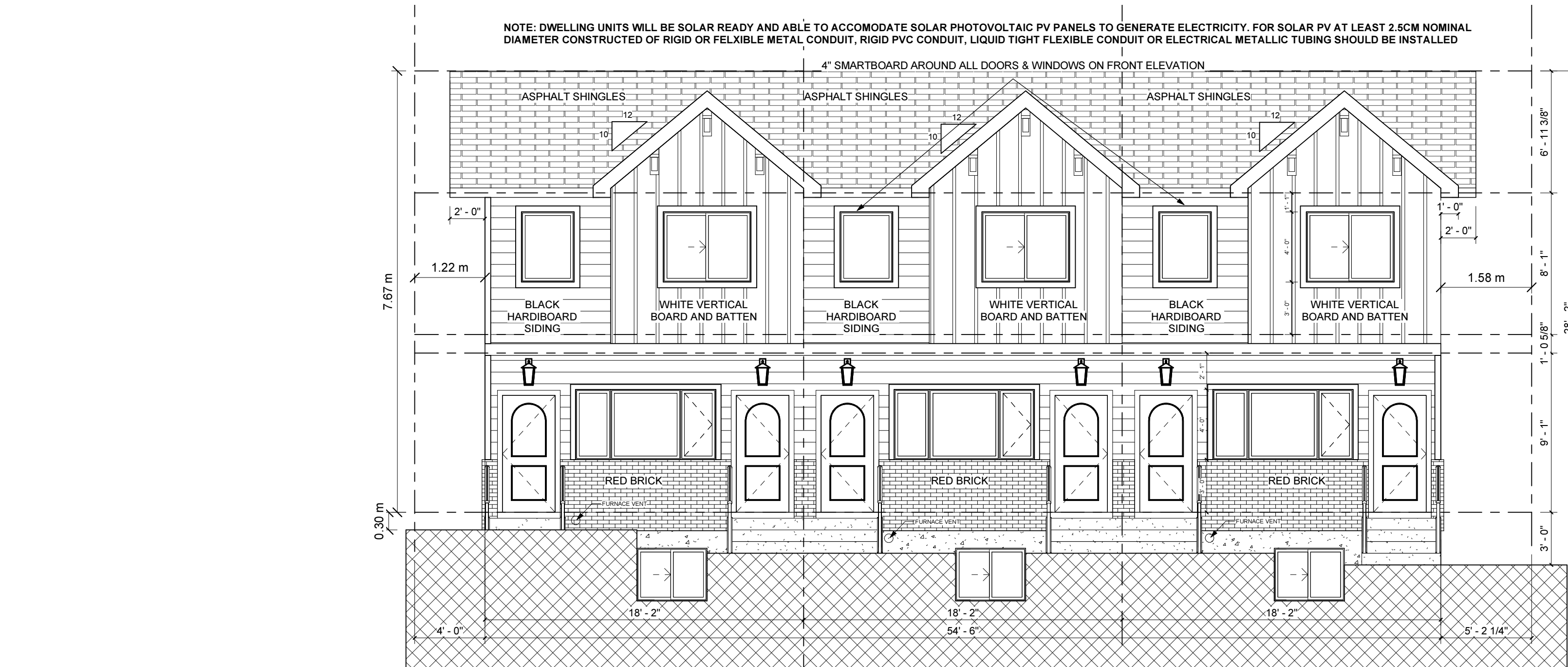
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0 1 2 3 4 5 10m
SCALE = 1:200

Project:	TRI-PLEX	PRINTED:	8/24/2025 8:24:44 PM
STATUS:	NEW BUILD	PROJECT NAME:	COCHRANE, ALBERTA LOT:14 BLOCK:7 PLAN: 3473 JK
Landscaping Plan	4605 VALIANT DRIVE NW	AREA	SCALE: Checker
		SHEET:	A-2



PROPOSED FRONT (NORTH) ELEVATION - BUILDING A
SCALE: 3/16" = 1'-0"



PROPOSED FRONT (SOUTH) ELEVATION - BUILDING B
SCALE: 3/16" = 1'-0"

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REVISIONS:

PROJECT NOTES:

Project: TRI-PLEX

STATUS: NEW BUILD

Front Elevations

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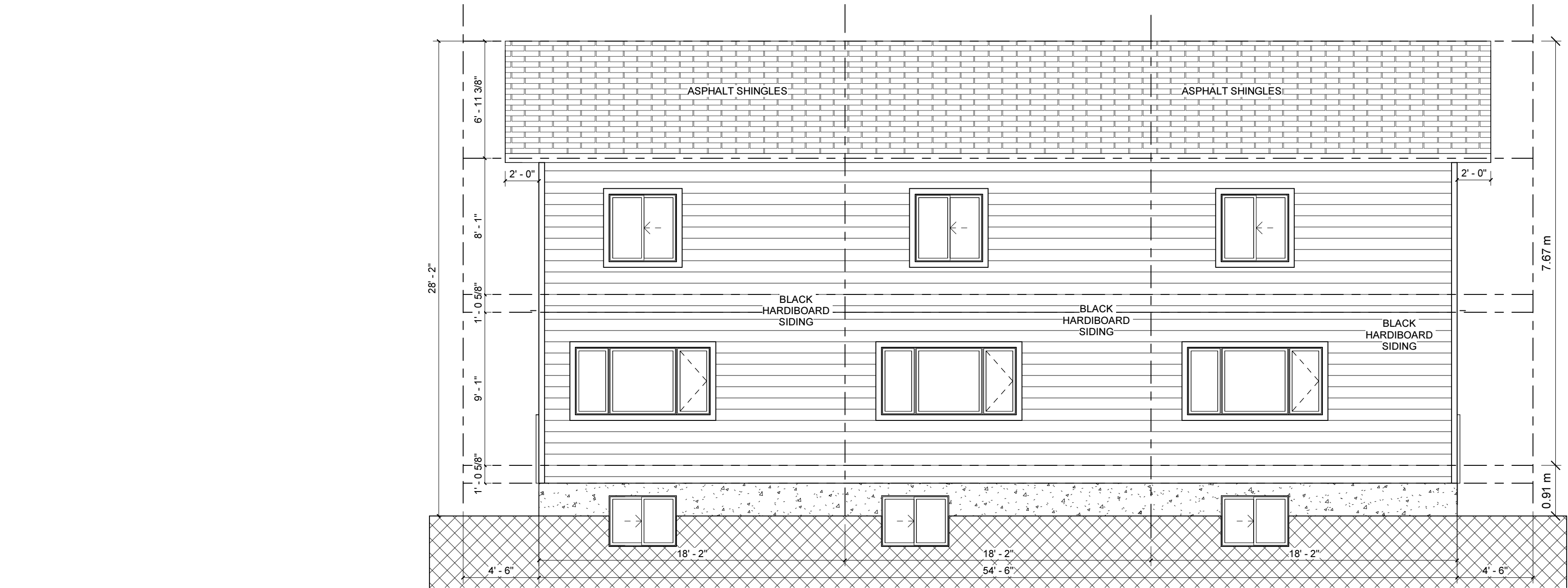
PROJECT NAME:
4605 VALIANT DRIVE NW
CALGARY, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:

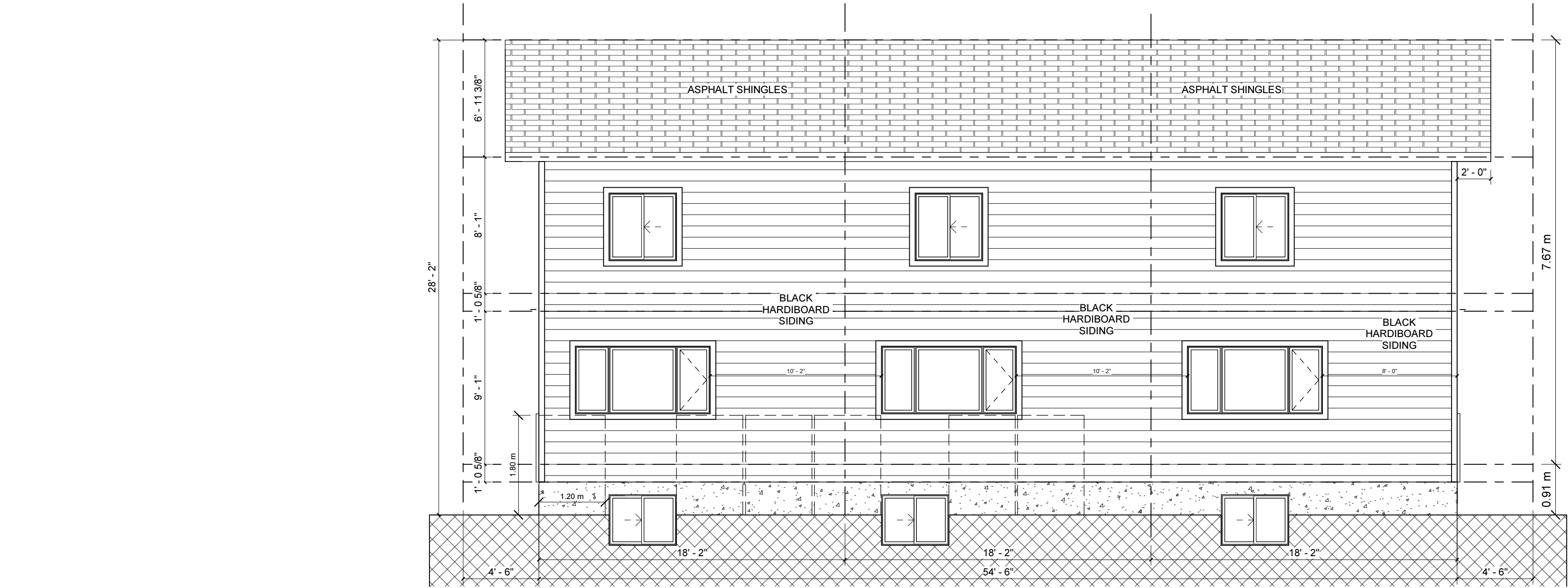
3/16" = 1'-0"

SHEET:

A-6

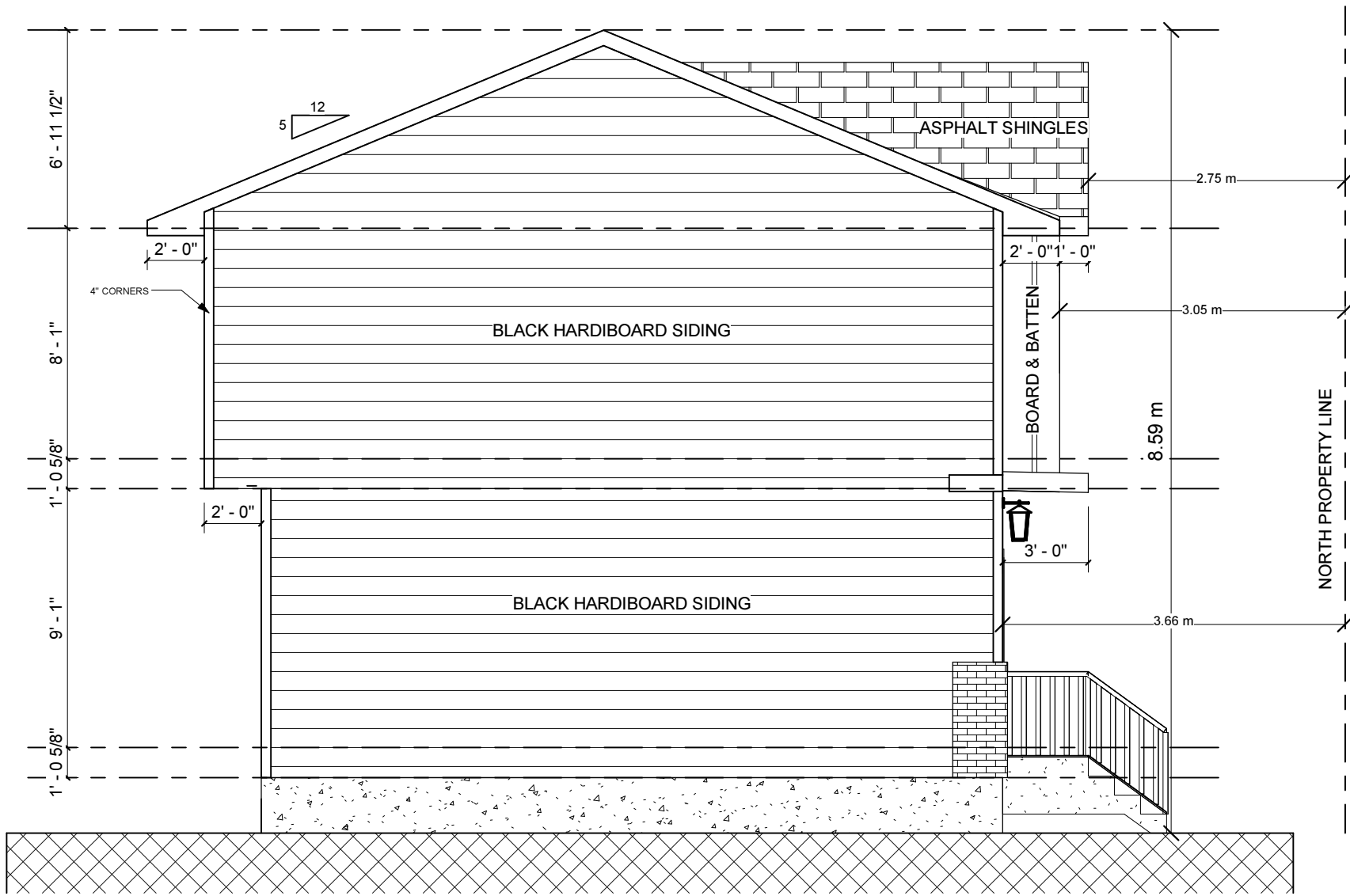


PROPOSED REAR (SOUTH) ELEVATION - BUILDING A
SCALE: 3/16" = 1'-0"

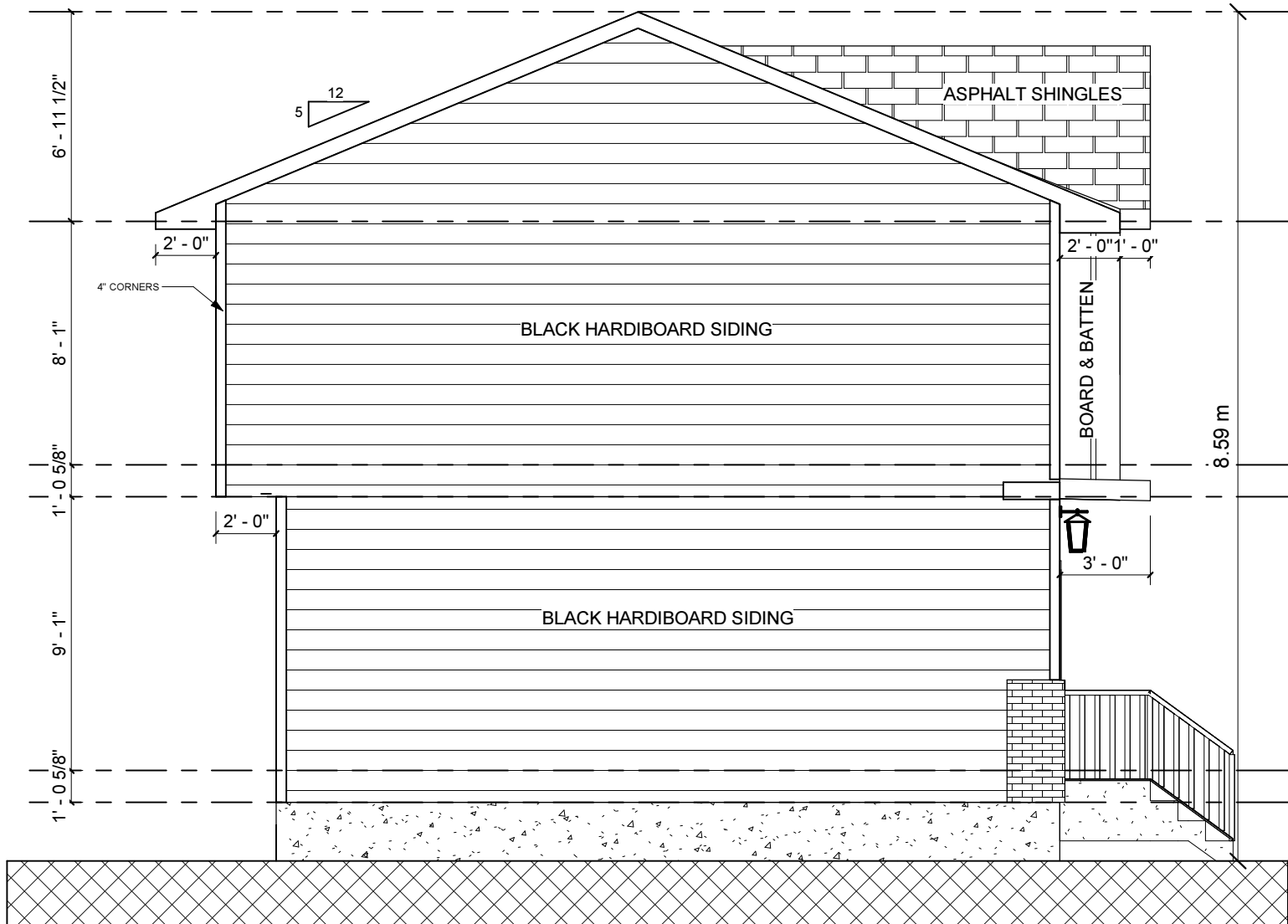


PROPOSED REAR (NORTH) ELEVATION - BUILDING B
SCALE: 3/16" = 1'-0"

FIRM NAME & ADDRESS: TAMSON DEVELOPMENTS INC. 403.671.3385 INFO@TAMSON.CA 	
REVISIONS:	
PROJECT NOTES:	
Project:	TRI-PLEX
STATUS:	NEW BUILD
Rear Elevations	
PRINTED: 8/24/2025 8:24:48 PM	
PROJECT NAME: 4805 VALIANT DRIVE NW CALGARY, ALBERTA LOT:14 BLOCK:7 PLAN: 3473 JK	
SCALE:	SHEET:
Checker	A-7



PROPOSED LEFT (EAST) ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"



PROPOSED LEFT (WEST) ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

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REVISIONS:

PROJECT NOTES:

Project: TRI-PLEX

STATUS: NEW BUILD

Left Elevations

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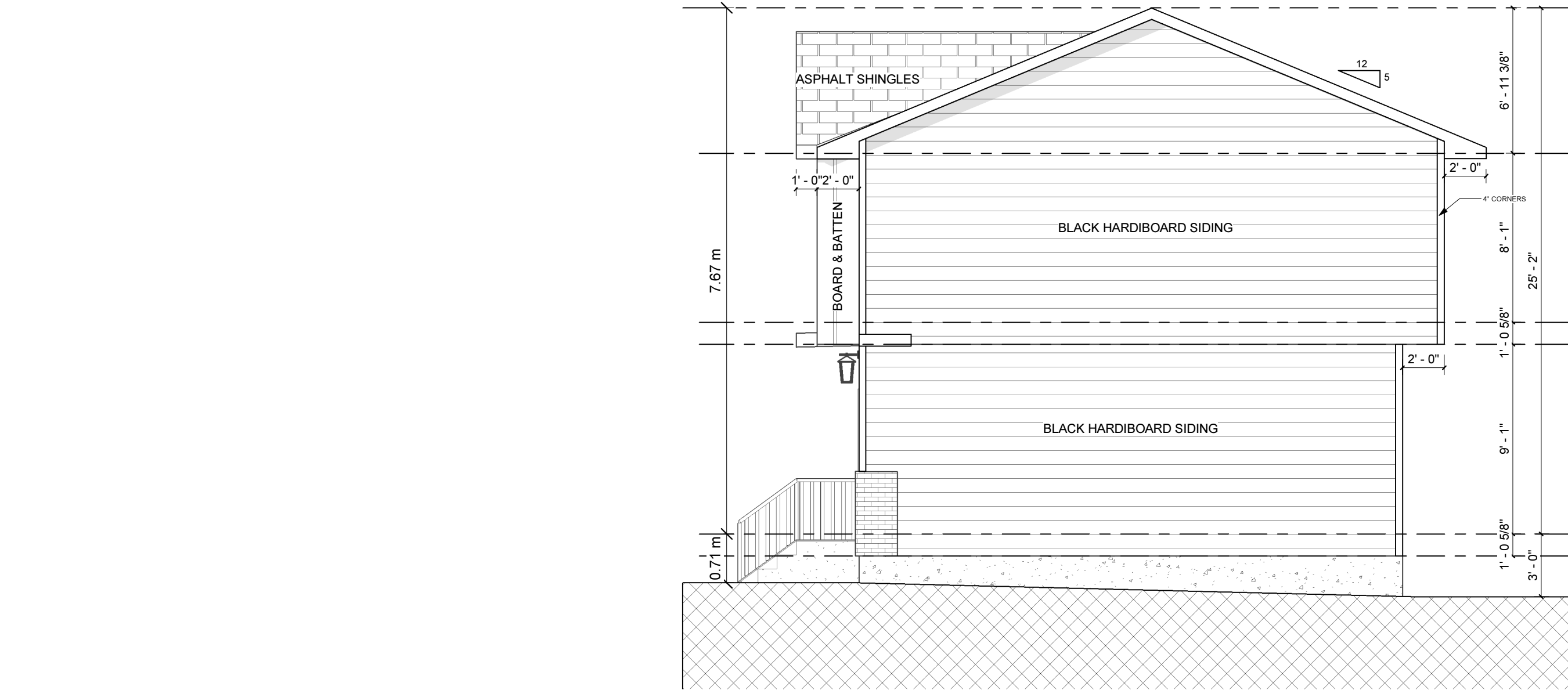
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4805 VALIANT DRIVE NW
CALGARY, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:

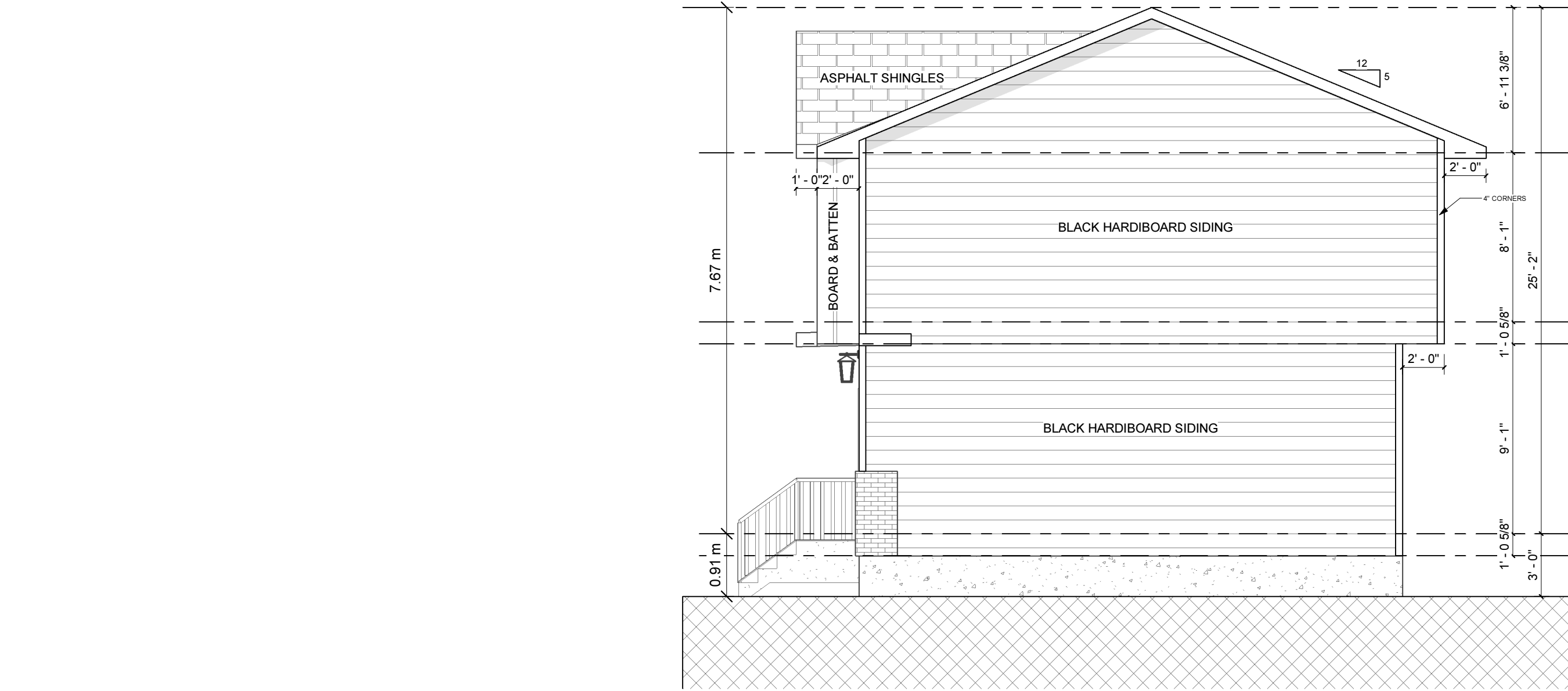
Checker

SHEET:

A-8



PROPOSED RIGHT (WEST) ELEVATION - ELEVATION A
SCALE: 3/16" = 1'-0"



PROPOSED RIGHT (EAST) ELEVATION - ELEVATION B
SCALE: 3/16" = 1'-0"

REVISIONS:

PROJECT NOTES:

Project: TRI-PLEX

STATUS: NEW BUILD

Right Elevations

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PROJECT NAME:
4805 VALIANT DRIVE NW
CALGARY, ALBERTA
LOT:14 BLOCK:7 PLAN: 3473 JK

SCALE:

3/16" = 1'-0"

SHEET:

A-9