

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



A SITE - CONTEXT PLAN
A015

CODE REVIEW
MEREDITH APPARTMENTS 27 SEPT 2024

BUILDING CODE: NATIONAL BUILDING CODE – 2023 ALBERTA EDITION
BUILDING AREA: 3140.60 SQM
BUILDING HEIGHT: 5 STOREYS

3.1.2.1 (2) MAJOR OCCUPANCY CLASSIFICATION:

GROUP C (APARTMENTS)

3.1.3.1. SEPARATION OF MAJOR OCCUPANCIES – TO CONFORM TABLE 3.1.3.1.
C & C 0hr

3.2.2.10.2. % OF BUILDING LOCATED WITHIN 15M OF STREET
3) 25% - 1 STREET
4) 50% - 2 STREET
5) 75% - 3 STREET
FACING NUMBER OF STREETS 1 STREET

3.2.2.18 AUTOMATIC SPRINKLER REQUIRED
3.2.2.48 Group C, UP TO 6 STOREYS, SPRINKLERED, NONCOMBUSTIBLE CONSTRUCTION (MOST RESTRICTIVE)

- A) 5 STOREYS
- B) BUILDING AREA NOT MORE THAN 7,200 m² IF 5 STOREYS IN BUILDING HEIGHT
- 2) NON-COMBUSTIBLE CONSTRUCTION
- FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS WITH NOT LESS THAN 1 HOUR FIRE RESISTANCE RATING
- A) MEZZAINES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN 1 H, AND
- B) LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY
- C) LOADBEARING WALLS, COLUMNS AND ARCHES SHALL HAVE A FIRE-RESISTANCE RATING NOT LESS THAN THAT REQUIRED FOR THE SUPPORTED ASSEMBLY

BYLAW REVIEW
MAY 31, 2024
BYLAW:
M-C2 (1P2007)
LEGAL:
LOT 6&7, BLOCK 1, PLAN E
MUNICIPAL:
422.420 MEREDITH RD NE, CALGARY, AB

LAND USE
M-C2 MULTI-RESIDENTIAL - CONTEXTUAL MEDIUM PROFILE

- A. IS INTENDED TO APPLY TO THE DEVELOPED AREA.
- B. HAS MULTI-RESIDENTIAL DEVELOPMENT THAT WILL TYPICALLY HAVE HIGHER NUMBERS OF DWELLING UNITS AND TRAFFIC GENERATION THAN LOW DENSITY RESIDENTIAL DWELLINGS AND THE M-CG AND M-C1 DISTRICTS.
- C. PROVIDES FOR MULTI-RESIDENTIAL DEVELOPMENT IN A VARIETY OF FORMS.
- D. HAS MULTI-RESIDENTIAL DEVELOPMENT OF MEDIUM HEIGHT AND MEDIUM DENSITY.
- E. HAS MULTI-RESIDENTIAL DEVELOPMENT WHERE INTENSITY IS MEASURED BY FLOOR AREA RATIO TO PROVIDE FLEXIBILITY IN BUILDING FORM AND DWELLING UNIT SIZE AND NUMBER.
- F. ALLOWS FOR VARIED BUILDING HEIGHT AND FRONT SETBACK AREAS IN A MANNER THAT REFLECTS THE IMMEDIATE CONTEXT.
- G. IS IN CLOSE PROXIMITY TO, OR ADJACENT TO, LOW DENSITY RESIDENTIAL DEVELOPMENT.
- H. IS TYPICALLY LOCATED AT COMMUNITY NODES OR TRANSIT AND TRANSPORTATION CORRIDORS AND NODES.
- I. PROVIDES OUTDOOR SPACE FOR SOCIAL INTERACTION, AND
- J. PROVIDES LANDSCAPING TO COMPLEMENT THE DESIGN OF THE DEVELOPMENT AND TO HELP SCREEN AND BUFFER ELEMENTS OF THE DEVELOPMENT THAT MAY HAVE IMPACTS ON RESIDENTS OR NEARBY PARCELS.

PARCEL SIZE: 1302.278 M2
NO. OF STOREY
5 STOREYS
GROSS FLOOR AREA - 3217.3 SQM
GROSS USABLE FLOOR AREA: 3217.30 SQM
UNITS: 40

DISCRETIONARY USES
597 THE FOLLOWING USES ARE DISCRETIONARY USES IN THE MULTI-RESIDENTIAL-CONTEXTUAL MEDIUM PROFILE DISTRICT:
(J) MULTI-RESIDENTIAL DEVELOPMENT.

FLOOR AREA RATIO CALCULATION = GFA/SITE AREA
= 2654 SQM / 1302.27 SQM
= 2.19 FAR

FLOOR AREA RATIO 599 THE MAXIMUM FLOOR AREA RATIO FOR BUILDINGS IS 2.5. REQUIRED 2.5 PROPOSED 2.19

DENSITY 600 (1) THERE IS NO MAXIMUM DENSITY FOR PARCELS DESIGNATED M-C2 DISTRICT UNLESS ESTABLISHED AS REFERENCED IN SUBSECTION (2).

BUILDING HEIGHT 604 THE MAXIMUM BUILDING HEIGHT IS 16.0 METRES. REQUIRED 16.0 METRES PROPOSED 15.17 METRE AVERAGE

FRONT SETBACK AREA 602 THE FRONT SETBACK AREA MUST HAVE A MINIMUM DEPTH OF 3.0 METRES. REQUIRED 5.53 METRES PROPOSED 5.6 METRES

REAR SETBACK AREA 602 (3) THE MINIMUM BUILDING SETBACK FROM A PROPERTY LINE SHARED WITH A LANE IS 1.2 METRES. REQUIRED 1.2 METRES PROPOSED 4.25 METRES

SIDE SETBACK AREA 602 (5) THE MINIMUM BUILDING SETBACK FROM A PROPERTY LINE SHARED WITH ANOTHER PARCEL FOR A STREET-ORIENTED MULTI-RESIDENTIAL BUILDING IS 0 METRES WHEN THE ADJOINING PARCEL IS DESIGNATED: (M-C2) REQUIRED 0 METRES PROPOSED 7.7 METRES ON WEST AND 1.45 METRES ON EAST

AMENITY SPACE 557 (2) A PATIO MAY BE LOCATED IN A SETBACK AREA BETWEEN A STREET ORIENTED MULTI-RESIDENTIAL BUILDING AND A PROPERTY LINE SHARED WITH A STREET.

(3) AMENITY SPACE MAY BE PROVIDED AS COMMON AMENITY SPACE, PRIVATE AMENITY SPACE OR A COMBINATION OF BOTH
(4) THE REQUIRED MINIMUM AMENITY SPACE IS 5.0 SQUARE METRES PER UNIT.

(5) WHEN THE PRIVATE AMENITY SPACE PROVIDED IS 5.0 SQUARE METRES OR LESS PER UNIT, THAT SPECIFIC AREA WILL BE INCLUDED TO SATISFY THE AMENITY SPACE REQUIREMENT.

(6) WHEN THE PRIVATE AMENITY SPACE EXCEEDS 5.0 SQUARE METRES PER UNIT, ONLY 5.0 SQUARE METRES PER UNIT MUST BE INCLUDED TO SATISFY THE AMENITY SPACE REQUIREMENT.

(8) PRIVATE AMENITY SPACE MUST:
(A) BE IN THE FORM OF A BALCONY, DECK OR PATIO; AND
(B) HAVE NO MINIMUM DIMENSIONS OF LESS THAN 2.0 METRES.

(9) COMMON AMENITY SPACE:
(A) MAY BE PROVIDED AS COMMON AMENITY SPACE — INDOORS AND AS COMMON AMENITY SPACE — OUTDOORS;
(B) MUST BE ACCESSIBLE FROM ALL THE UNITS;
(C) MUST HAVE A CONTIGUOUS AREA OF NOT LESS THAN 50.0 SQUARE METRES, WITH NO DIMENSION LESS THAN 6.0 METRES;
(D) MUST NOT BE LOCATED IN A REQUIRED SETBACK AREA; AND
(E) WHEN PROVIDED AS PART OF A MULTI-RESIDENTIAL DEVELOPMENT — MINOR, MUST BE LOCATED AT GRADE.

COMMON AMENITY SPACE — OUTDOORS:
(A) MUST PROVIDE A BALCONY, DECK OR PATIO AND AT LEAST ONE OF THE FOLLOWING AS PERMANENT FEATURES:

- (I) A BARBEQUE; OR
- (II) SEATING; AND
- (B) MUST BE USED IN THE CALCULATION OF THE REQUIRED LANDSCAPED AREA.

REQUIRED AMENITY SPACE
5 SQM PER UNIT = 5 SQM * 40 = 200 SQM
PROPOSED 284 SQM SEE PAGE A030

LANDSCAPING

SEE PAGE - A115

MOTOR VEHICLE PARKING STALL REQUIREMENTS

558 THE MINIMUM MOTOR VEHICLE PARKING STALL REQUIREMENT IS CALCULATED:
(A) BASED ON THE SUM FOR ALL DWELLING UNITS AND SUITES WHERE THE RATE IS 0.625 STALLS PER DWELLING UNIT OR SUITE

559 THE MINIMUM NUMBER OF BICYCLE PARKING STALLS IS CALCULATED BASED ON THE SUM FOR ALL UNITS AND SUITES WHERE THE RATE IS:
(C) 0.1 BICYCLE PARKING STALLS - CLASS 2 PER UNIT FOR DEVELOPMENTS OF 20 UNITS OR MORE, WITH A MINIMUM OF 2.0 STALLS

VEHICLE PARKING CALCULATIONS:
USE: UNITS RATIO REQUIRED: PROPOSED:
DWELLING 40 0.625 25 27

BICYCLE CLASS 1 INDOOR PARKING CALCULATIONS
UNITS RATIO REQUIRED: PROPOSED:
40 1 40 40

BICYCLE CLASS 1 INDOOR PARKING CALCULATIONS
UNITS RATIO REQUIRED: PROPOSED:
40 0 36

BICYCLE CLASS 2 OUTDOOR PARKING CALCULATIONS
UNITS RATIO REQUIRED: PROPOSED:
40 0.1 4 12

TOTAL BIKE PARKING: 88

Waste & Recycling Requirements

Waste Per Week Y3 : 0.31 per unit
Waste Per Week M3 : 0.24 Per unit

Units 40

Waste = 1/2 of total = 0.31 x 40 = 12.4

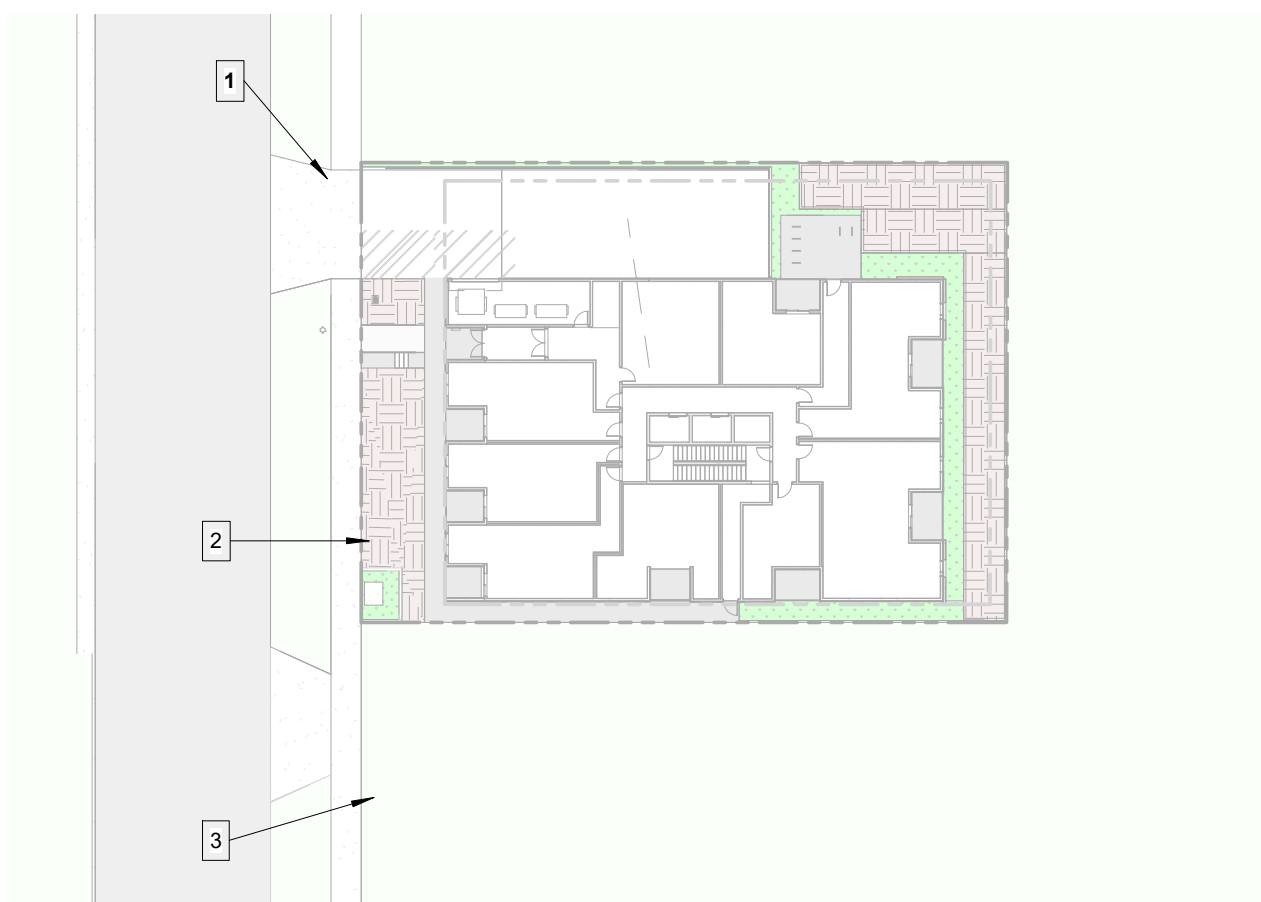
12.4 / 2 = 6.2

Recyclable = 12.4 / 4 = 3.1

6 yard bin =

8/6 = 1 bin needed for waste

4/6 = 1 bin needed for recyclable



B SITE PLAN - KEY - DP VIEWS
A015 1 : 500



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CONSULTANTS:
LUCENT ARCHITECTURE LTD.

3	2024-11-24	BP SUBMISSION	M.E. R.B.
2	2025-03-24	DP - DETAILED REVIEW - RESPONSE	M.E. R.B.
1	2024-07-04	DEVELOPMENT SUBMISSION	M.E. R.B.
	NO. YYYY-MM-DD	ISSUED FOR	DRN /CHK

REVISION:

MUNICIPAL ADDRESS:
420 MEREDITH RD NE, CALGARY,
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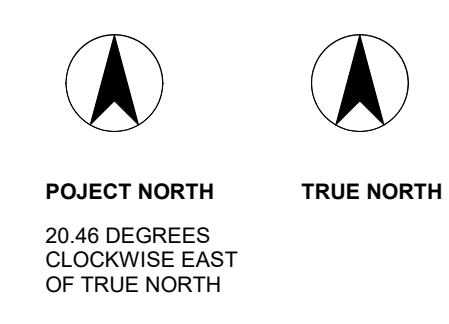
LEGAL ADDRESS:
LOT 6&7, BLOCK 1, PLAN E

PROJECT TITLE:
MEREDITH APPARTMENT

SHEET TITLE:
PROJECT INFO - BYLAW

PROJECT NO.: CN-011 SHEET NO.: A015

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



- LEGEND - SITE PLAN**
- CATCH BASIN SEE CIVIL
 - ⊕ MANHOLE SEE CIVIL
 - STREET LIGHTING
 - SITE SERVICES LINES (SEE CIVIL)
 - - - ROOF/EAVES OVERHANG
 - - - SETBACK LINE
 - PROPERTY LINE
 - ×××××× CHAINLINK FENCE
 - DECORATIVE METAL FENCE
 - SITE ASPHALT PAVING - LIGHT DUTY
 - SITE ASPHALT PAVING - HEAVY DUTY
 - CONCRETE SIDEWALK - BROOM FINISH
 - CONCRETE PAVING / PAD - BROOM FINISHED
 - SITE VEGETATION - SEE LANDSCAPE DRAWING
 - SITE EARTH - SEE LANDSCAPE DRAWING
 - SITE - GRAVEL
 - SITE - BRICK OR STONE PAVEMENT (HARDSCAPED LANDSCAPE)
 - /// TRAFFIC PAINTED LINES - 100 WIDE, TYPICAL OHSA YELLOW COLOUR
 - ||| PEDESTRIAN CROSSING TRAFFIC PAINTED LINES



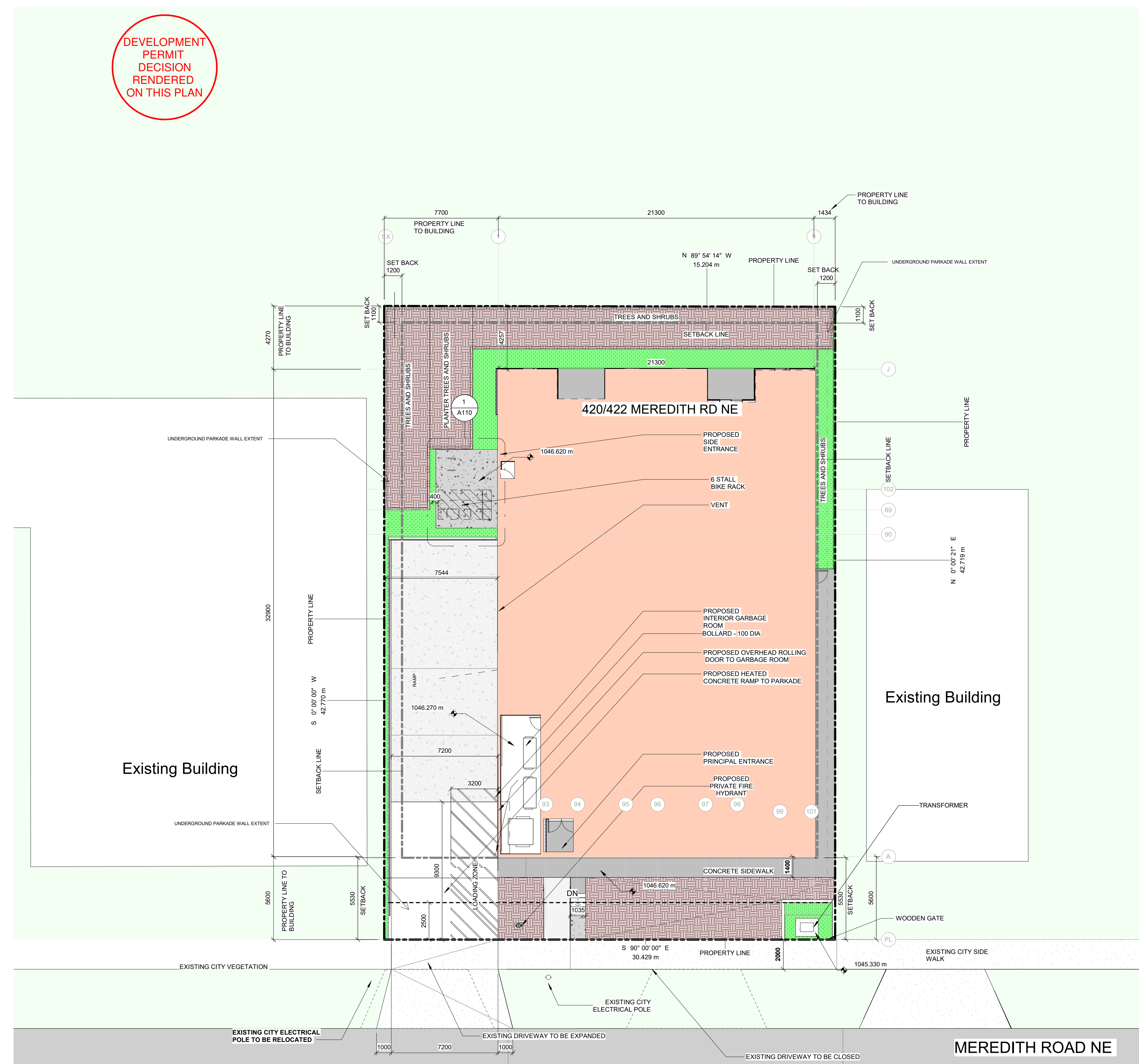
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SITE NOTES:

1. SITE PLAN BASED ON SITE SURVEY DRAWING.
2. FOR ALL EXISTING SITE ITEMS, PROPERTY LINE DIMENSIONS, SEE SITE SURVEY PLAN/AS-BUILT SITE SURVEY.
3. EXISTING TOPOGRAPHY - BASED ON SITE SURVEY PLAN. REFER TO SITE SURVEY FOR ALL EXISTING TOPOGRAPHY INFORMATION.
4. FOR LOCATION OF CATCHBASINS, MANHOLES AND FIREHYDRANT NEW AND OLD, SEE CIVIL.
5. FOR SITE GRADING, SITE SERVICING PLAN, OVERLAND DRAINAGE, GEODETIC TOP OF FLOOR, SEE CIVIL.
6. FOR ASPHALT PAVEMENT, HEAVY DUTY AND LIGHT DUTY, CONCRETE PAVEMENT, SUBGRADES, DEPTH AND SPECIFICATIONS, REFER TO GEOTECHNICAL REPORT.
7. ASPHALT DRIVEWAY - HEAVY DUTY - SHALL SUPPORT A LOAD OF 85,000LB, 38556 kg.
8. SIDEWALK EXPANSION JOINTS @ 7500 OC MAX & @ CURVES, TANGENTS & CORNERS
9. ALL SIDEWALK AND DRIVEWAY THAT IS TO BE REPAIRED OR BUILT ON CITY PROPERTY, MUST FOLLOW CITY STANDARD. CONTACT CITY FILE MANAGER PRIOR TO CONSTRUCTION.
10. ALL PAVEMENT MARKINGS AND SIGNS - ARROW, HANDICAP STALL PAVEMENT MARKING, ZEBRA CROSSING, CROSS WALKS, PARKING STRIPES PER TO CITY STANDARD. IN THE ABSENCE OF ANY CITY INFORMATION, PAINT TO BE OHSA YELLOW.
11. ALL SITE ELEMENTS SUCH AS BENCHES, SIAMSE ETC IS DIMENSIONED TO CENTERED, UNLESS THE DIMENSION IS SHOWN TO THE PERIMETER OF THE OBJECT, IN THAT CASE IT IS DIMENSIONED TO THE FACE.
12. ALL DIMENSIONS FROM BUILDING IS TO THE SHEATHING OR EXTERIOR GRID. SEE FLOOR PLAN FOR GRIDS. ALLOW MAX 150MM FOR CLADDING.
13. ALL-WEATHER ROAD - 6000MM WIDE, TO BE CREATED DURING CONSTRUCTION. ROADWAY TO BE UNOBSTRUCTED AT ALL TIME, AND BE CAPABLE OF SUPPORTING 39,000KG LOAD.
14. FIRE HYDRANTS MUST BE OPERATIONAL DURING ALL PHASES OF CONSTRUCTION.
15. BICYCLE RACK TO BE 600MM OC FROM ANOTHER BICYCLE RACK, FOLLOW MANUFACTURER'S SUGGESTED CLEARANCE.
16. ANY EXISTING CITY SIDEWALKS OR ELEMENTS ON CITY PROPERTY THAT WAS DAMAGED DURING CONSTRUCTION MUST BE REPAIRED PRIOR TO COMPLETION.
17. BARRIER FREE CURB CUT, WITHIN PROPERTY MUST MEET BUILDING CODE. SEE DETAILS.
18. PROVIDE BARRIER FREE SIGN IN FRONT OF EACH BARRIER FREE PARKING STALLS.
19. IF PARKING STALL IS NOT SPECIFICALLY DIMENSIONED, FOLLOW CITY BYLAW STANDARD.
20. FOR ANY DROP IN HEIGHT GREATER THAN 600MM HIGH IN SITE SURFACE, SIDEWALK OR LANDSCAPING OR RETAINING WALL PROVIDE GUARD RAIL 1070 HIGH.
21. SIDEWALK SHALL HAVE A MAXIMUM CROSS SLOPE OF 2%.
22. SIDEWALK TO HAVE MAXIMUM SLOPE OF 10%.
23. RAMP SURFACE - W/ 12.5 DEEP DRAINAGE GROOVES & 150(H) X 250(W) CONC CURB ON BOTH SIDES
24. RESERVED - (STEEL ANGLE CORNER GUARD TO BE L102X102X6.4, 1200 HIGH & PAINTED OHSA YELLOW)
25. REFER TO LANDSCAPE DRAWINGS FOR TREES/SHRUBS SCHEDULE AND LANDSCAPE INFORMATION.
26. SITE GRADING AND DRAINAGE ARE TO BE VERIFIED BY CONTRACTOR BEFORE EXECUTING WORK. IF ARCHITECTURAL DRAWINGS SHOWS THESE INFORMATION, IT IS ONLY FOR COORDINATION PURPOSE. SEE CIVIL DRAWINGS TO VERIFY.
27. RUBBER WHEELSTOP TO BE - BURNO LANDSCAPE CENTRE, RUBBER PARKING CURB, 6"x4"x6"
28. PARKIGN SIGNAGE:
A. ACCESSIBILITY SIGNAGE - SEE
B. SIGNAGE FOR LOADING STALL
SIGNAGE TO STATE:
LOADING STALLS - MAX 30 MIN.
SHORT TERM USE DURING OFF-PEAK TIMES.
30. SEE LANDSCAPE DRAWING FOR ADDITIONAL SITE INFORMATION.
31. ALL ELECTRICAL SERVICING FOR FREESTANDING LIGHT STANDARDS MUST BE PROVIDED FROM UNDERGROUND.



1 SITE PLAN
A100 / 1 : 150

NO.	DATE	DESCRIPTION	BY	CHK
3	2024-11-24	BP SUBMISSION	M.E.	R.B.
2	2025-03-24	DP - DETAILED REVIEW - RESPONSE	M.E.	R.B.
1	2024-07-04	DEVELOPMENT SUBMISSION	M.E.	R.B.
No.	YYYY-MM-DD	ISSUED FOR	DRN	CHK

REVISION:

MUNICIPAL ADDRESS:
420 MEREDITH RD NE, CALGARY,
AB T2E 5A6

LEGAL ADDRESS:
LOT 6&7, BLOCK 1, PLAN E

PROJECT TITLE:
MEREDITH APPARTMENT


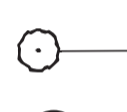
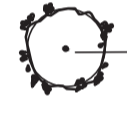



SHEET TITLE:
SITE PLAN

PROJECT NO.: CN-011
SHEET NO.:
A100

LANDSCAPE REQUIREMENTS:

TOTAL LANDSCAPE AREA: 464m2	
TREES REQUIRED	PROVIDED
1 TREE/25m2 OF LANDSCAPE AREA 464m2 = 18 TREES	18
2 SHRUBS/35m2 OF LANDSCAPE AREA 464m2 = 29 SHRUBS	41
TOTAL CONIFEROUS TREE REQUIRED = 5 TREES	PROVIDED
25% OF TREES TO BE CONIFEROUS: 18 X 25% = 4.5 = 5 TREES	5
50% CONIFEROUS TREES TO BE MIN. 3.0m HT. = 2 TREES	2
50% CONIFEROUS TREES TO BE MIN. 4.0m HT. = 3 TREES	3
TOTAL DECIDUOUS TREES REQUIRED: = 13.5 = 14 TREES	14
50% DECIDUOUS TREES TO BE MIN. 65mm CAL. = 7 TREES	7
50% DECIDUOUS TREES TO BE MIN. 85mm CAL. = 7 TREES	7

PLANT LEGEND

-  PIN CHERRY
-  GOLD DROP POTENTILLA
-  PARKLAND PILLAR BIRCH
-  ALPINE CURRANT
-  BLUE COLUMNAR SPRUCE
-  CALGARY CARPET JUNIPER

LEGEND



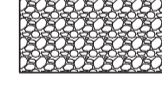
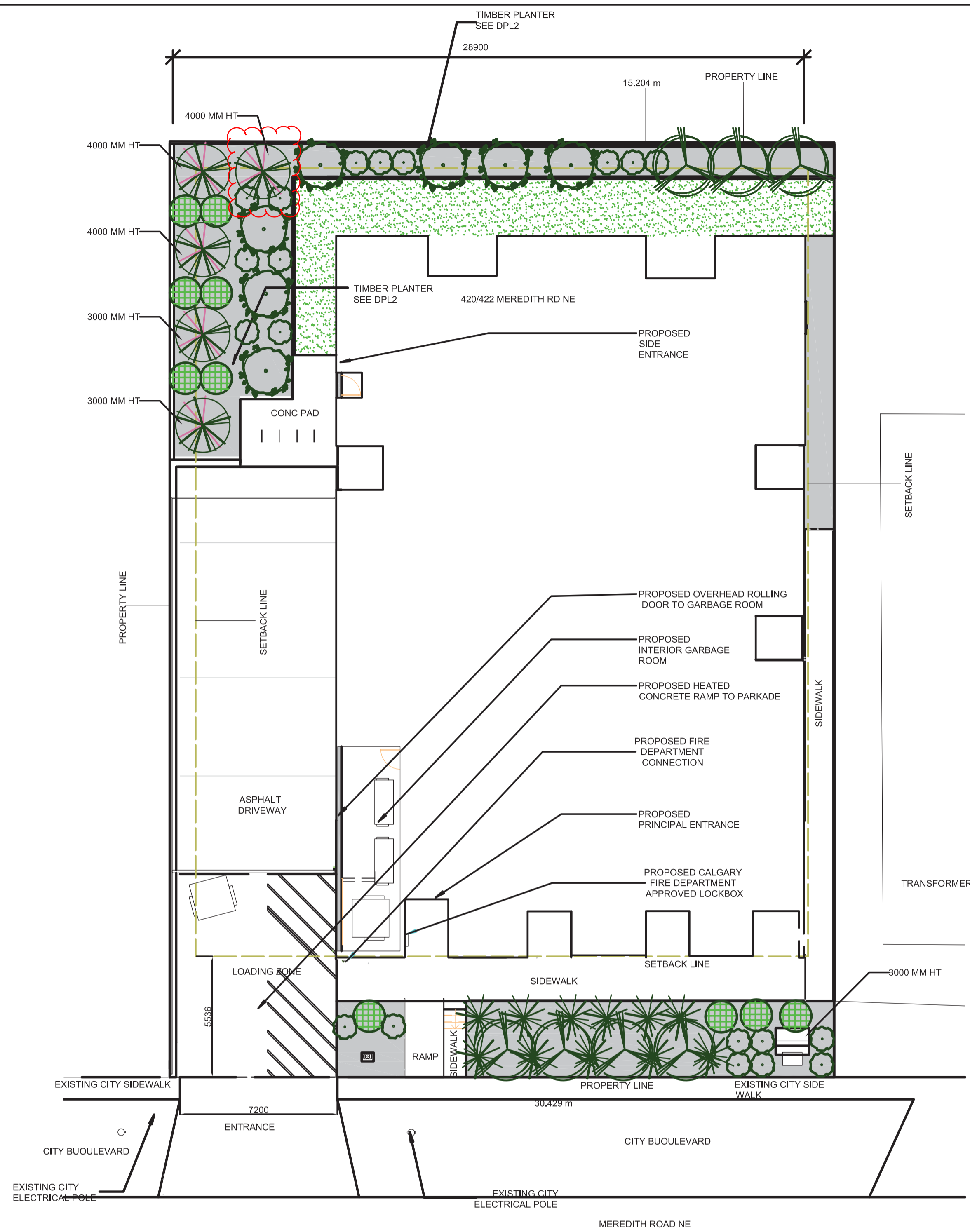
-  SOD ON 150 mm DEPTH TOPSOIL
-  75mm DEPTH CEDAR MULCH IN ALL PLANTING BEDS
ALL PLANTING BEDS SHALL HAVE PRO BLACK EDGING
-  50mm DEPTH LIMESTONE CRUSH ON LINER

Table 4-2: Tree Separations To Utilities

Deep Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
Sanitary	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	4.0 m
Storm (<4.5 m deep)	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	4.0 m
Water	3.0 m	4.0 m	0 m ^b	2.5 m	3.0 m	4.0 m
Hydrants	3.0 m	4.0 m	N/A	2.5 m	N/A	3.0 m
Shallow Utilities	Poplar		Deciduous		Coniferous	
	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line	Services	Mains Parallel to tree line
ATCO	2.0 m ^a	2.0 m ^a	2.0 m	2.0 m	2.0 m ^a	2.0 m ^a
TELUS	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
CTV	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
ENMAX	2.0 m ^a	2.0 m ^a	1.5 m	1.5 m	2.0 m ^a	2.0 m ^a
Enmax	Poplar		Deciduous		Coniferous	
Overhead (to outside conductor)	9.0 m		7.0 m - 9.0 m		7.0 m - 9.0 m	
Transformers (within Utility Rights of Way)	N/A (Tree planting not permitted within Utility Rights-of-Way)					
Street Light Poles	Poplar	Deciduous	Coniferous			
	5.0 m	4.0 m - 5.0 m	Min. 4.0 m			

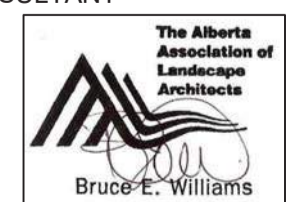

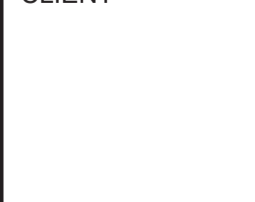
Notes: a) A 3.0 m separation may be required at the discretion of the utilities.
 b) Pipe joints are not permitted on water or sewer services located under medians.
 c) Trees on residential (15.0 m RoW) boulevards, with no sidewalks, can be planted 1.0 m from driveways. Driveway crossings are to be aligned, wherever possible, to allow space for tree planting.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



PLANT LIST

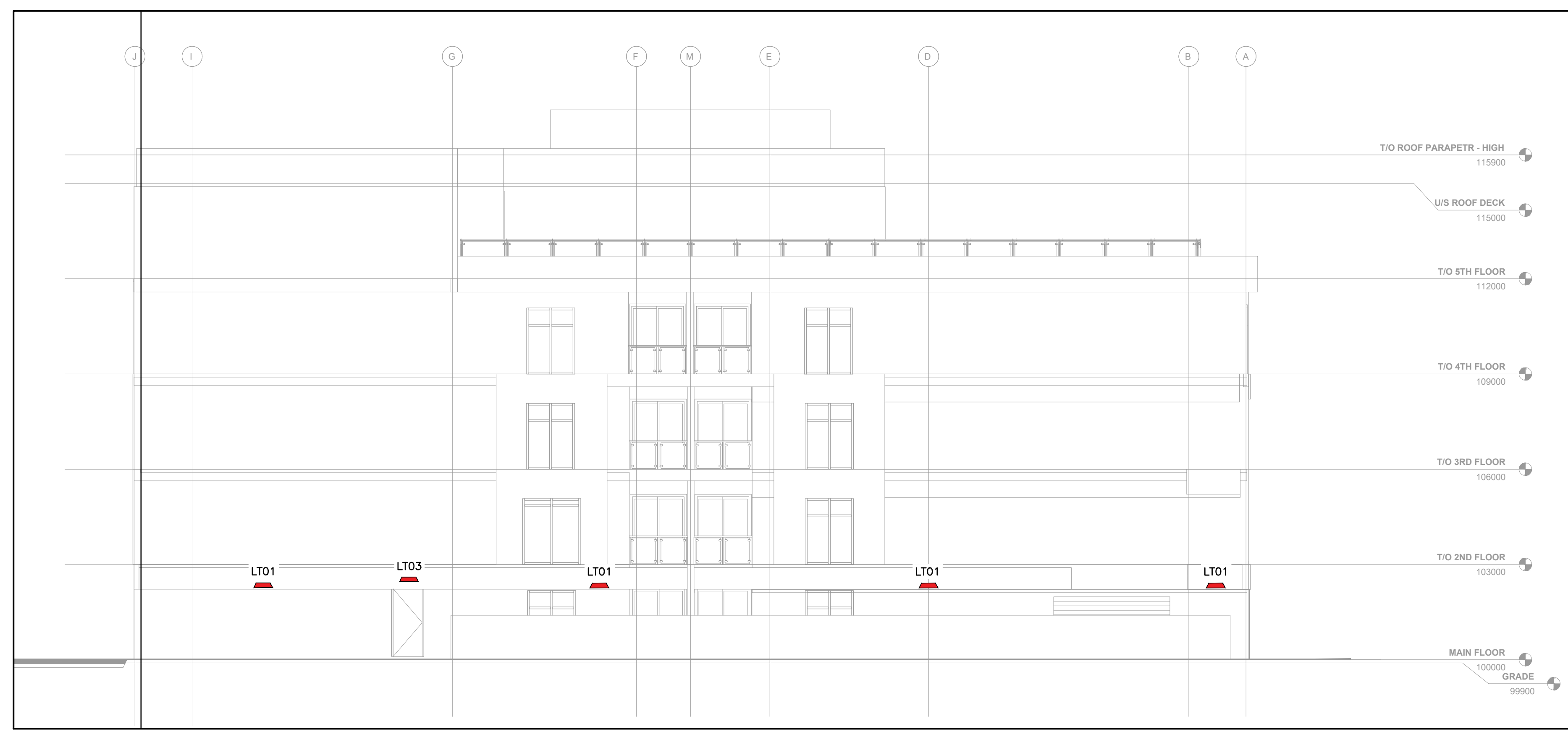
QTY	COMMON NAME	BOTANICAL NAME	TYPE	SIZE	REMARKS
TREES					
2	COLUMNAR BLUE SPRUCE	PICEA PUNGENS FASTIGIATA	CONIFEROUS	3000 mm HT.	B&B
3	COLUMNAR BLUE SPRUCE	PICEA PUNGENS FASTIGIATA	CONIFEROUS	4000 mm HT.	B&B
7	PARKLAND PILLAR BIRCH	BETULA PLATYPHYLLA JEFFPARK	DECIDUOUS	85 mm CAL.	B&B
7	PIN CHERRY	PRUNUS PENNSYLVANICA	DECIDUOUS	65 mm CAL.	B&B
SHRUBS					
11	CALGARY CARPET JUNIPER	JUNIPERUS SABINA CALGARY CARPET		600 mm DIA	POTTED
20	GOLD DROP POTENTILLA	POTENTILLA FRUTICOSA GOLD DROP		600 mm HT	POTTED
10	ALPINE CURRANT	TRIBES ALPINUM		600 mm HT	POTTED

<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">4</td> <td style="width: 60%;">ADDED 6 TREES AND 6 SHRUBS</td> <td style="width: 10%;">BEW</td> <td style="width: 10%;">3/03/2016</td> <td style="width: 10%;">BEW</td> </tr> <tr> <td>3</td> <td>REMOVED STONE AND BENCH ADDED SHRUBS AND RESIZED</td> <td>BEW</td> <td>21/01/2016</td> <td>BEW</td> </tr> <tr> <td>2</td> <td>ADDED NEW BASE PLAN ADJUSTED PLANT MATERIAL</td> <td>BEW</td> <td>09/10/2015</td> <td>BEW</td> </tr> <tr> <td>1</td> <td>ADDED NEW BASE PLAN ADJUSTED PLANT MATERIAL</td> <td>BEW</td> <td>20/10/2015</td> <td>BEW</td> </tr> </table>	4	ADDED 6 TREES AND 6 SHRUBS	BEW	3/03/2016	BEW	3	REMOVED STONE AND BENCH ADDED SHRUBS AND RESIZED	BEW	21/01/2016	BEW	2	ADDED NEW BASE PLAN ADJUSTED PLANT MATERIAL	BEW	09/10/2015	BEW	1	ADDED NEW BASE PLAN ADJUSTED PLANT MATERIAL	BEW	20/10/2015	BEW	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">8</td> <td style="width: 60%;">SUB - CONSULTANT</td> <td style="width: 10%;"> </td> <td style="width: 10%;"> </td> <td style="width: 10%;"> </td> </tr> <tr> <td>7</td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td>6</td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td>5</td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	8	SUB - CONSULTANT				7					6					5					<p style="text-align: center;">SUB - CONSULTANT</p> <div style="text-align: center;">   <small>12 Richmond Link Fort Saskatchewan AB T8L 0S2</small> </div>	<p style="text-align: center;">CLIENT</p> <div style="text-align: center;">  MEREDETH APARTMENT 420 MEREDITH RD NE CALGARY, ALBERTA </div>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">DRAWN</td> <td style="width: 20%;">MAR 3, 2016</td> <td style="width: 20%;">DATE</td> <td style="width: 20%;"> </td> </tr> <tr> <td>DESIGNED</td> <td>MAR 3, 2016</td> <td>DATE</td> <td> </td> </tr> <tr> <td>CHECKED</td> <td>MAR 3, 2016</td> <td>DATE</td> <td> </td> </tr> <tr> <td>ISSUED FOR DEVELOPMENT PERMIT</td> <td>MAR 3, 2016</td> <td>DATE</td> <td> </td> </tr> <tr> <td>ISSUED FOR CONSTRUCTION</td> <td> </td> <td>DATE</td> <td> </td> </tr> </table>	DRAWN	MAR 3, 2016	DATE		DESIGNED	MAR 3, 2016	DATE		CHECKED	MAR 3, 2016	DATE		ISSUED FOR DEVELOPMENT PERMIT	MAR 3, 2016	DATE		ISSUED FOR CONSTRUCTION		DATE		<p style="text-align: center;">DRAWING</p> <p style="text-align: center; font-size: 24px; font-weight: bold;">LANDSCAPE PLAN</p>	<p style="text-align: center; font-size: 24px; font-weight: bold;">DPL-1</p>
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DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



1 EAST ELEVATION
E0-5 SCALE: 1:100



2 WEST ELEVATION
E0-5 SCALE: 1:100

ARCHITECT/CONSULTANT:



REVISIONS:

REV	DATE	DESCRIPTION

PROJECT:
MEREDITH APARTMENT

ISSUES:

A	ISSUED FOR DEVELOPMENT PERMIT	DATE	BY

PROJECT ADDRESS #:
**422, 420 MEREDITH RD NE,
CALGARY, AB
LOT 6 & 7, BLOCK 1, PLAN E**



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DRAWING TITLE:
ELEVATION VIEW

NORTH: STAMP: APEGA PERMIT # 16083

PROJECT NO #: 2461

SCALE: N.T.S.	DESIGNED BY: MK
DATE: 2024.07.03	CHECKED BY: PB
DRAWING #: E0-5	

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



1 NORTH ELEVATION
E0-6 SCALE: 1:100



2 SOUTH ELEVATION
E0-6 SCALE: 1:100

ARCHITECT/CONSULTANT:



REVISIONS:

REV.	DATE	DESCRIPTION

PROJECT:
MEREDITH APARTMENT

ISSUES:

A	ISSUED FOR DEVELOPMENT PERMIT	2024.07.03	MK
NO.	DESCRIPTION	DATE	BY

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