

211 99 AVE SE 6 PLEX
CALGARY, ALBERTA



DRAWING LISTS:

ARCHITECTURAL	
A.00	COVER PAGE
A.01	GENERAL NOTE
A.02	EXISTING SITE PLAN
A.03	PROPOSED BLOCK PLAN
A.03A	PROPOSED SITE PLAN
A.03B	PROPOSED BOULEVARD PLAN
A.03C	PROPOSED LANDSCAPE PLAN
A.04	PROPOSED BASEMENT FLOOR PLAN
A.05	PROPOSED MAIN FLOOR PLAN
A.06	PROPOSED SECOND FLOOR PLAN
A.07	PROPOSED THIRD FLOOR PLAN
A.08	PROPOSED ROOF PLAN
A.09	PROPOSED EAST ELEVATION
A.10	PROPOSED WEST ELEVATION
A.11	PROPOSED NORTH ELEVATION BLOCK B
A.12	PROPOSED SOUTH ELEVATION BLOCK B
A.13	PROPOSED NORTH ELEVATION BLOCK A
A.14	PROPOSED SOUTH ELEVATION BLOCK A
A.15	PROPOSED SECTION
A.16	PROPOSED SECTION
A.17	PROPOSED SECTION

ELECTRCAL	
E.01	PROPOSED ELECTRICAL BASEMENT FLOOR PLAN
E.02	PROPOSED ELECTRICAL MAIN FLOOR PLAN
E.03	PROPOSED ELECTRICAL SECOND FLOOR PLAN
E.04	PROPOSED ELECTRICAL THIRD FLOOR PLAN

PROJECT

6 PLEX RESIDENCE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	05.03.25
2	ISSUE FOR REVIEW	11.01.25
2	ISSUE FOR REVIEW	12.09.25

NOTES

DRAWING INFORMATION:

CLIENT:
ADDRESS: 211 99 AVE SE
LOCATION: CALGARY , ALERTA
DRAWN BY: KT
LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 00
DRAWING TITTLE: COVER PAGE
SHEET: A.00
SCALE: NA
REV. 6 PLEX



LEGEND:

Subject Property Line
Utility Right-of-Way
Fence & Gate
Underground Sanitary Line
Underground Storm Line
Underground Water Line
Underground Gas Line
Underground Communications Line
Underground Electrical Line
Overhead Electrical Line
Power Pole
Anchor & Guy Wire
Light Standard
Light Pole
Water Valve
Fire Hydrant
Gas Valve
Sign
Sanitary Manhole
Storm Manhole
Electrical Manhole
Manhole
Bollard
Catch Basin
Catch Basin
Utility Box
Electrical Outlet
Tank
Door
Main Floor Windows
Second Floor Windows
Basement Floor Windows

Tree (Number, Trunk, & Canopy)

denotes Shed Hatch
denotes Detached Garage Hatch
denotes Main Building Hatch
denotes Concrete and Asphalt Hatch
denotes Wood Hatch
denotes Roof Hatch

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

TREE SCHEDULE					
NO.	VARIETY	CALIPER (#)	CANOPY (#)	HEIGHT (#)	LOCATION
T1	Coniferous Tree	0.6	8.0	14.0	On Adjacent Lot
T2	Bush	---	2.0	2.0	On Property Lot
T3	Bush	---	8.0	6.0	On Subject Lot
T4	Bush	---	8.0	4.0	On Subject Lot
T5	Coniferous Tree	0.5	5.0	12.0	On Subject Lot
T6	Bush	---	6.0	4.0	On Subject Lot
T7	Bush	---	6.0	4.0	On Subject Lot
T8	Bush	---	6.0	4.0	On Subject Lot
T9	Bush	---	6.0	4.0	On Subject Lot
T10	Coniferous Tree	0.3	4.0	9.0	On Subject Lot
T11	Deciduous Tree	0.25	4.0	2.0	On Subject Lot
T12	Coniferous Tree	0.5	5.0	12.0	On Subject Lot

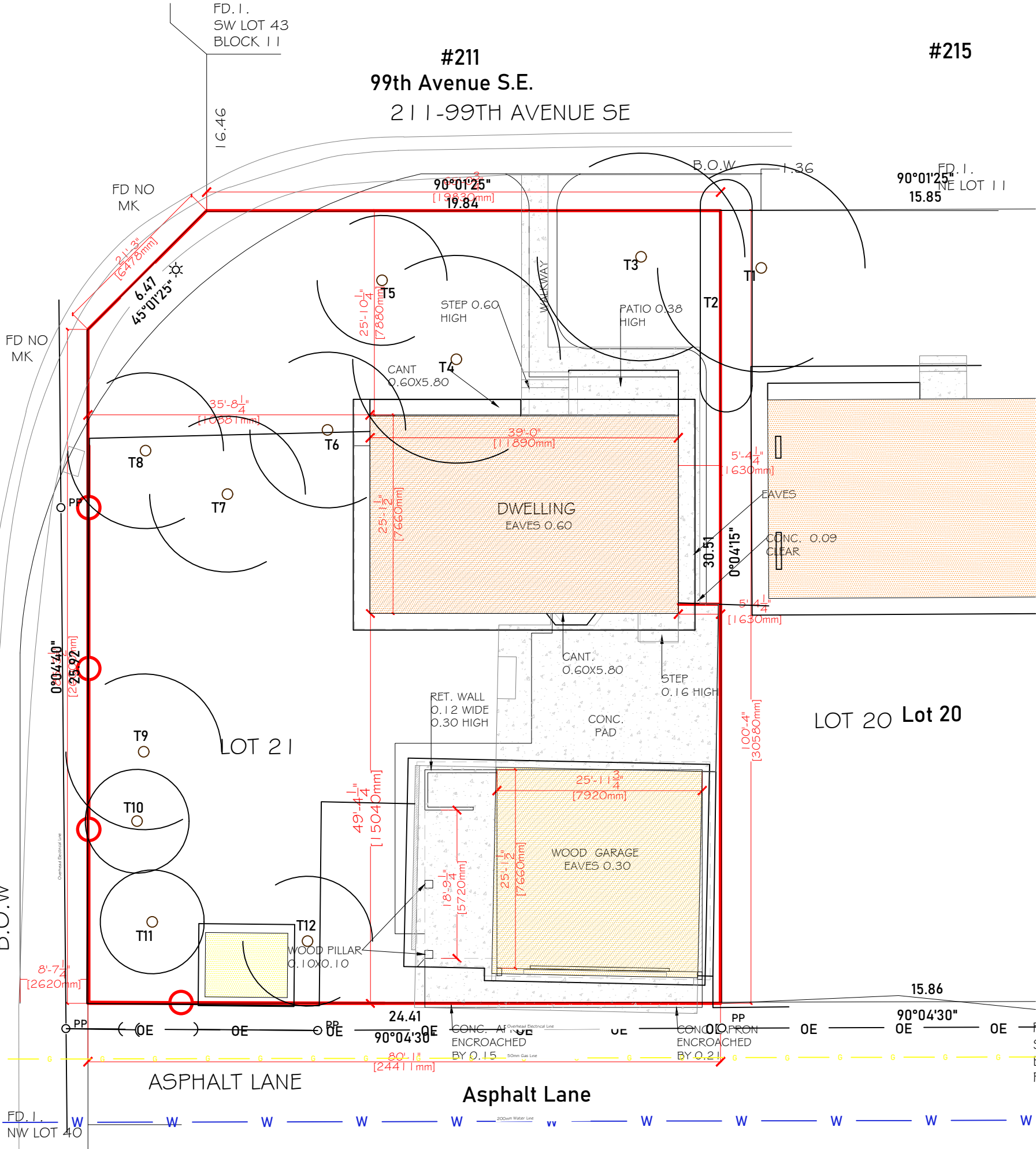
EXISTING SITE PLAN

A.02

Bonaventure Drive S.E.

1ST. STREET S.E.

B.O.W.



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LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN: PLAN 3035 JK, BLOCK 16, LOT 21

DRAWING NO: 01

DRAWING TITLE: SITE LAYOUT

SHEET: A.02

SCALE: 1/16" = 1'-0"

REV: 0



1 ST. STREET SE

FD NO
MK

B.O.W 1.36

90°01'25"
15.85

90°05'55"
16.16

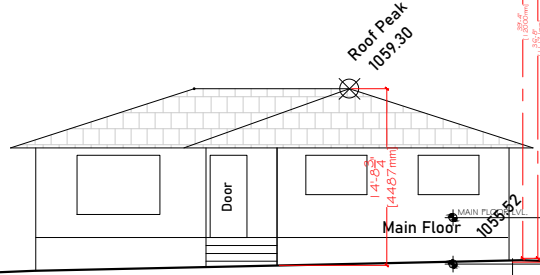
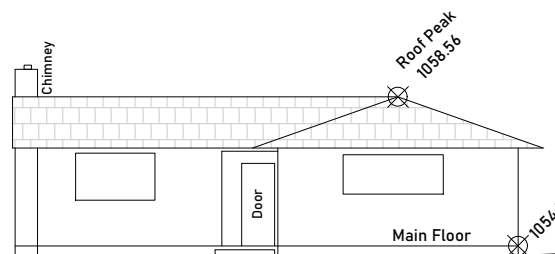
Lot 18

Lot 20

Lot 19

Lot 18

1
A.03
PROPOSED BLOCK PLAN
AND ELEVATION





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LOCATION: CALGARY , ALERTA

DRAWN BY: KT

LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 02A

DRAWING TITTLE: PROP. SITE PLAN

SHEET: A.03A

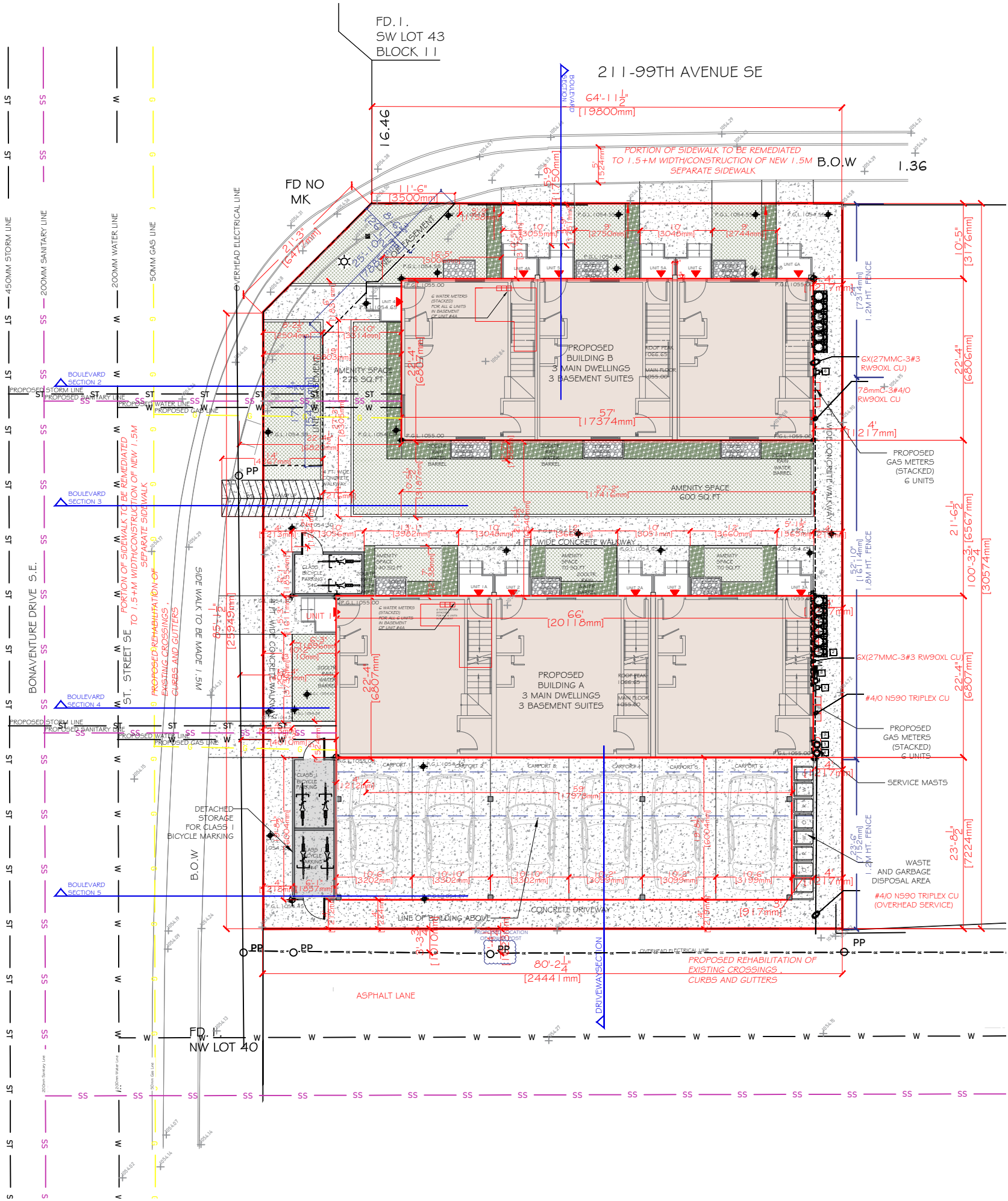
SCALE: 1/16" = 1'-0"

REV. 0

SITE AREA - 7922.10 SQ.FT.
CAR PARKING - 1320 SQ.FT.
BUILDING A - 1475
BUILDING B - 1275
COVERAGE - 4070 SQ.FT.
- 51.3%

PERMISSIBLE FAR - 1.5
= 7922.15 * 1.5
= 11883.15 SQ.FT.

TOTAL CONSTRUCTION = 11110 SQ.FT.
PROPOSED F.A.R = 1.40



GENERAL NOTES	
1.	ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS. WHERE DISCREPANCIES ARE FOUND, THEY SHOULD BE BROUGHT FORWARD PRIOR TO TENDER CLOSE.
2.	CONDUCTOR SIZES INDICATED BY MINIMUM REQUIRED. INCREASE CONDUCTOR SIZE (AND CONDUIT SIZE WHERE APPLICABLE) TO ACCOMMODATE VOLTAGE DROP PER CEC REQUIREMENTS.
NOTES	
1.	ENMAX TO PROVIDE POLE MOUNTED TRANSFORMER. LOCATION TO BE CONFIRMED ON SITE. GENERAL CONTRACTOR TO COORDINATE WITH UTILITY FOR NEW SERVICES.
2.	ENMAX METER LOCATION. CONTRACTOR TO ENSURE METERS ARE INSTALLED PER ENMAX STANDARD.
3.	CONTRACTOR TO COORDINATE WITH COMMUNICATION COMPANY TO BRING SERVICE. COMMUNICATION SERVICE LINES TO EACH UNIT.
4.	CONTRACTOR TO PROVIDE SERVICE MAST FOR POWER AND COMMUNICATION PER CEC AND ENMAX STANDARD. ENSURE MAXIMUM HEIGHT OF SERVICE MAST IS NOT EXCEEDED PER ENMAX STANDARD. LOCATION TO BE CONFIRMED ON SITE WITH ENMAX PRIOR TO INSTALLATION.
5.	CONTRACTOR TO PROVIDE WEATHERPROOF MAIN DISCONNECT SWITCH AND MAIN SPLITTER C/W LOCKABLE HANDLES FOR BUILDING ELECTRICAL METER FEEDERS. REFER TO SINGLE LINE DIAGRAM.
6.	CONTRACTOR TO PROVIDE WEATHERPROOF DISCONNECT SWITCH AND SPLITTER C/W LOCKABLE HANDLES FOR BUILDING ELECTRICAL METER FEEDERS. REFER TO SINGLE LINE DIAGRAM.
7.	CONTRACTOR TO PROVIDE 607mm UNDERGROUND TO SUITE PANELS FOR COMMUNICATION. FINAL LOCATION TO BE CONFIRMED ON SUITE. COORDINATE REQUIREMENTS WITH COMMUNICATIONS COMPANY.
8.	CONTRACTOR TO PROVIDE WEATHERPROOF HOUSE PANEL. C/W LOCKABLE HANDLES FOR EACH BUILDING. REFER TO SINGLE LINE DIAGRAM.



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LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 02
DRAWING TITTLE: SITE LAYOUT
SHEET: A.03
SCALE: 1/16" = 1'-0"
REV. 0

PROPOSED PLANTINGS					
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @PLANTING	TYP. SPREAD	TYP. HEIGHT
DECIDUOUS TREES					
	AMUR MAPLE	ACER GINNALA	GOMM CALIPER	15'-20'	15'-20'
CONIFEROUS TREES					
	DWARF SPRUCE	PICEA GLAUCA	2m HIGH	7'-10'	10'-12'
SHRUBS					
	SAVYN JUNIPER	JUNIPERUS SABINA	0.6m SPREAD	4'	3'-6'
	LILAC	SYRINGA SPT.	0.6m SPREAD	6'-12'	8'-15'
	CHERRY PRUNELLA	PRINSEPIA SINENSIS	0.6m SPREAD	3'-6'	3'-6'
GRASSES AND FLOWERS					
	ROCKY MOUNTAIN BROOMRAPE	CLEOME SERRULATA	0.6m SPREAD		12'-48"

LANDSCAPE INFORMATION

LANDSCAPE LEGEND:

- MULCH GROUND COVER
- LAWN
- CONCRETE
- PAVED WALKWAY
- GRAVEL WINDOW WELL

■ PATHWAY LIGHTING

● IRRIGATION BY AN UNDERGROUND IRRIGATION SYSTEM

NOTE:
"ALL SOFT LANDSCAPING TO BE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM," AS PER LUB REQUIREMENTS.

ALL SHOOED AREAS TO BE DROUGHT RESISTANT



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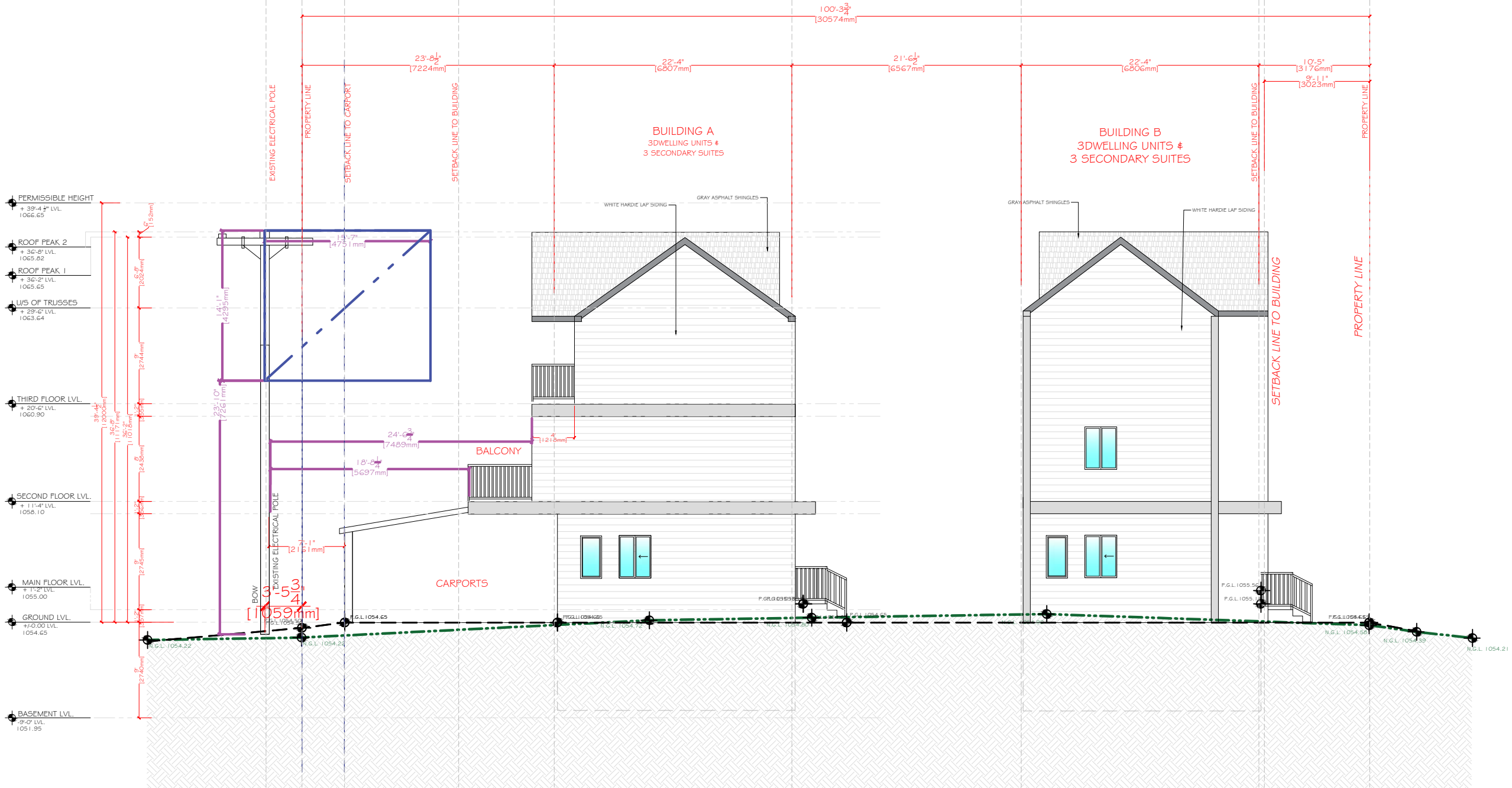
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LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 08
DRAWING TITTLE: ELEVATION
SHEET: A.09
SCALE: 3/32= 1'-0"
REV. 0



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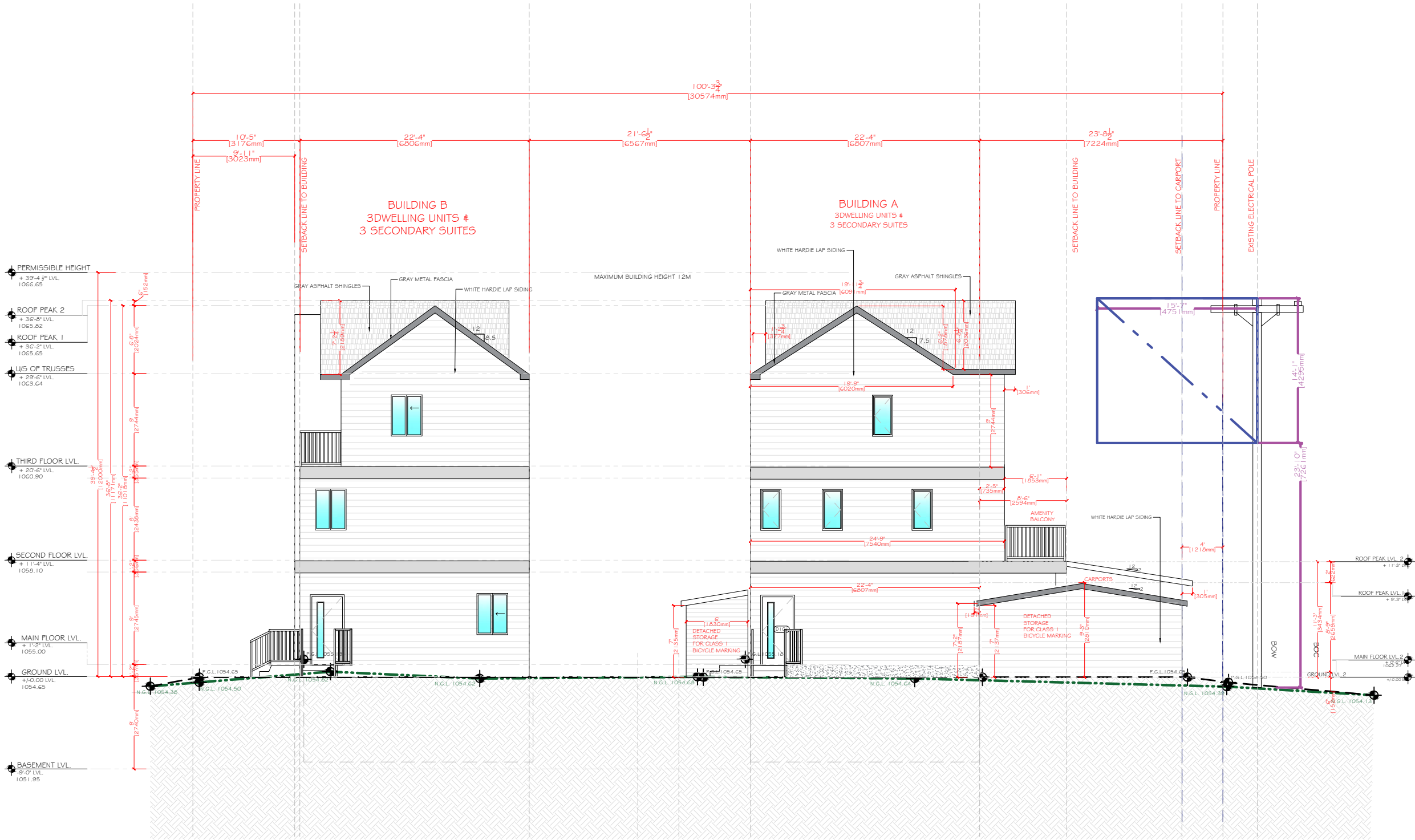
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LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 09
DRAWING TITTLE: ELEVATION
SHEET: A.10
SCALE: 3/32= 1'-0"
REV. 0



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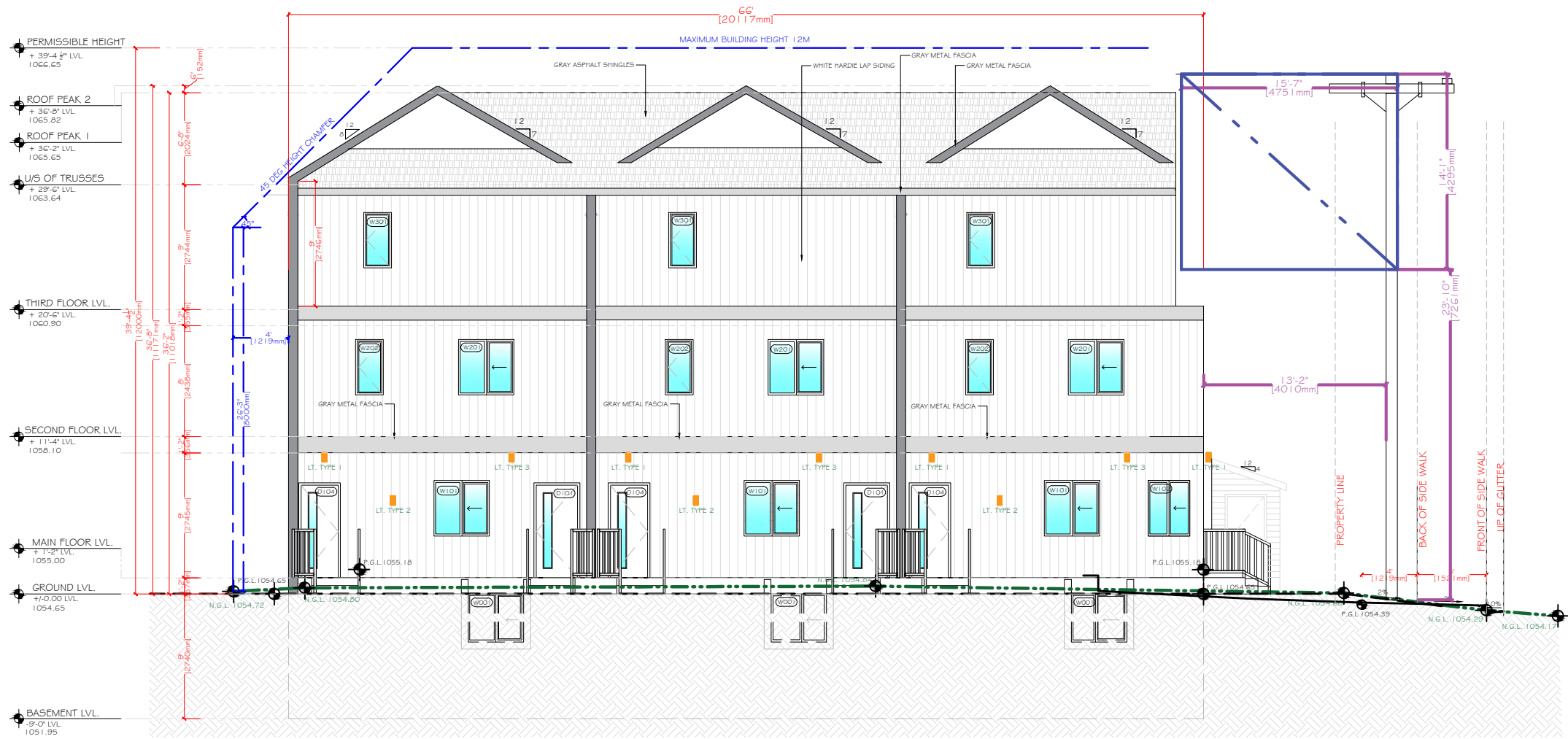
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DRAWN BY: KT
LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 10
DRAWING TITTLE: ELEVATIONS
SHEET: A.11
SCALE: 3/32"= 1'-0"
REV. 0



1
A.11
PROPOSED NORTH ELEVATION
BLOCK A



1
A.12
PROPOSED SOUTH ELEVATION
BLOCK A



LIGHT TYPE 1 - ENTRANCE



LIGHT TYPE 2 - ENTRANCE



LIGHT TYPE 3 - SITE LIGHTING



LIGHT TYPE 4 - LANDSCAPE LIGHTING

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LEGAL PLAN: PLAN 3035 JK, BLOCK 16, LOT 21

DRAWING NO: 11

DRAWING TITLE: ELEVATIONS

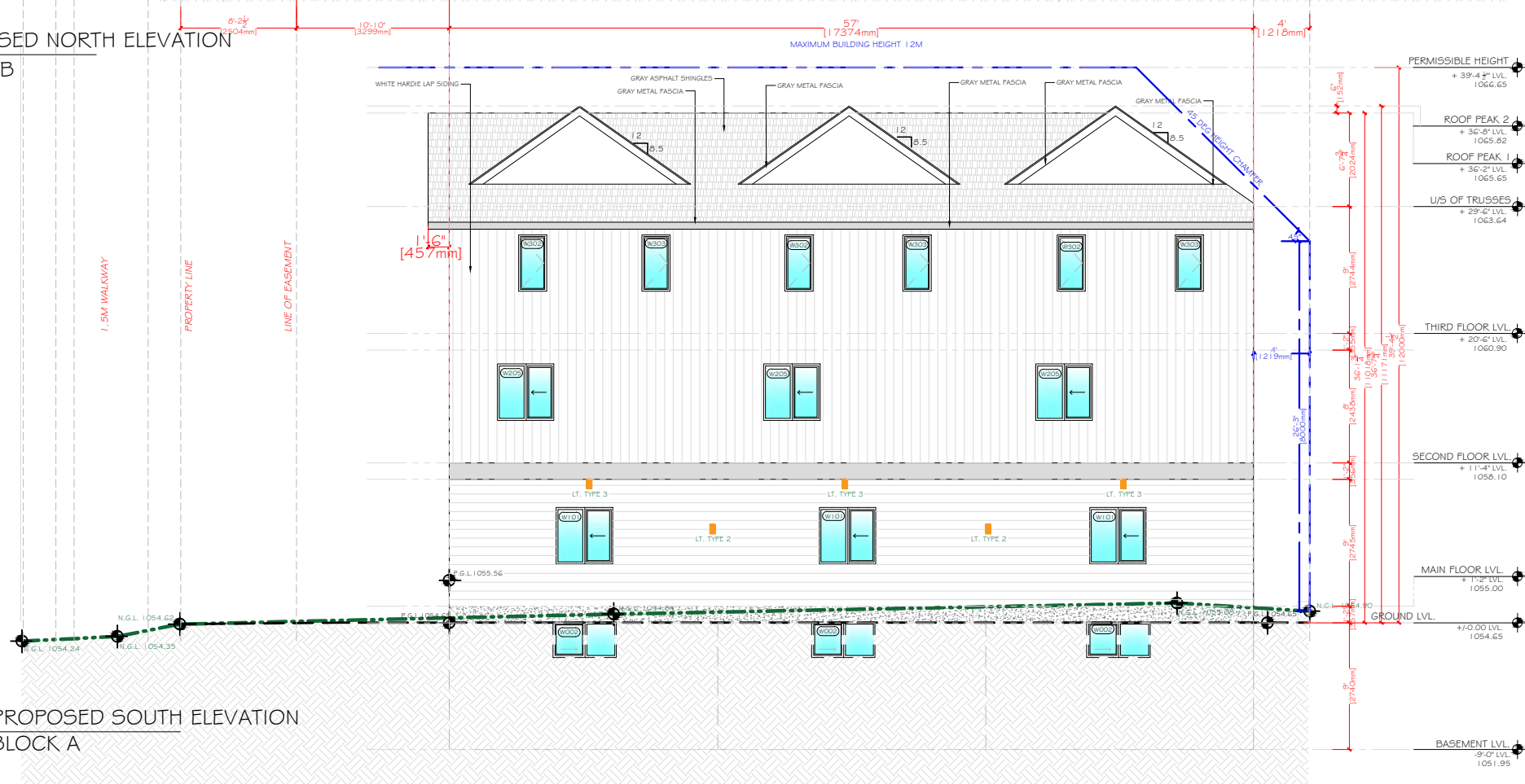
SHEET: A.12

SCALE: 3/32" = 1'-0"

REV. 0



1 PROPOSED NORTH ELEVATION
A.12 BLOCK B



2 PROPOSED SOUTH ELEVATION
A.12 BLOCK A



LIGHT TYPE 1 - ENTRANCE



LIGHT TYPE 2 - ENTRANCE



LIGHT TYPE 3 - SITE LIGHTING



LIGHT TYPE 4 - LANDSCAPE LIGHTING



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LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 16
DRAWING TITTLE: 3D VIEWS
SHEET: A.17
SCALE: 3/16= 1'-0"
REV. 0