

211 99 AVE SE 6 PLEX
CALGARY,ALBERTA



DRAWING LISTS:

ARCHITECTURAL

A.00	COVER PAGE
A.01	GENERAL NOTE
A.02	EXISTING SITE PLAN
A.03	PROPOSED BLOCK PLAN
A.03A	PROPOSED SITE PLAN
A.03B	PROPOSED BOULEVARD PLAN
A.03C	PROPOSED LANDSCAPE PLAN
A.04	PROPOSED BASEMENT FLOOR PLAN
A.05	PROPOSED MAIN FLOOR PLAN
A.06	PROPOSED SECOND FLOOR PLAN
A.07	PROPOSED THIRD FLOOR PLAN
A.08	PROPOSED ROOF PLAN
A.09	PROPOSED EAST ELEVATION
A.10	PROPOSED WEST ELEVATION
A.11	PROPOSED NORTH ELEVATION BLOCK B
A.12	PROPOSED SOUTH ELEVATION BLOCK B
A.13	PROPOSED NORTH ELEVATION BLOCK A
A.14	PROPOSED SOUTH ELEVATION BLOCK A
A.15	PROPOSED SECTION
A.16	PROPOSED SECTION
A.17	PROPOSED SECTION

ELECTRCAL

E.01	PROPOSED ELECTRICAL BASEMENT FLOOR PLAN
E.02	PROPOSED ELECTRICAL MAIN FLOOR PLAN
E.03	PROPOSED ELECTRICAL SECOND FLOOR PLAN
E.04	PROPOSED ELECTRICAL THIRD FLOOR PLAN

PROJECT

6 PLEX RESIDENCE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	05.03.24
2	ISSUE FOR REVIEW	12.30.24

NOTES

DRAWING INFORMATION:

CLIENT:
ADDRESS: 211 99 AVE SE
LOCATION: CALGARY , ALERTA
DRAWN BY: KT
LEGAL PLAN: PLAN 3035 JK, BLOCK 16 , LOT 21

DRAWING NO: 00
DRAWING TITTLE: COVER PAGE
SHEET: A.00
SCALE: NA
REV. 6 PLEX



LEGEND:

Subject Property Line
Utility Right-of-Way
Fence & Gate
Underground Sanitary Line
Underground Storm Line
Underground Water Line
Underground Gas Line
Underground Communications Line
Underground Electrical Line
Overhead Electrical Line
Power Pole
Anchor & Guy Wire
Light Standard
Light Pole
Water Valve
Fire Hydrant
Gas Valve
Sign
Sanitary Manhole
Storm Manhole
Electrical Manhole
Manhole
Bollard
Catch Basin
Catch Basin
Utility Box
Electrical Outlet
Tank
Door
Main Floor Windows
Second Floor Windows
Basement Floor Windows

Tree (Number, Trunk, & Canopy)

denotes Shed Hatch
denotes Detached Garage Hatch
denotes Main Building Hatch
denotes Concrete and Asphalt Hatch
denotes Wood Hatch
denotes Roof Hatch

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

TREE SCHEDULE					
NO.	VARIETY	CALIPER (")	CANOPY (')	HEIGHT (')	LOCATION
T1	Coniferous Tree	0.6	8.0	14.0	On Adjacent Lot
T2	Bush	---	2.0	2.0	On Property Lot
T3	Bush	---	8.0	6.0	On Subject Lot
T4	Bush	---	8.0	4.0	On Subject Lot
T5	Coniferous Tree	0.5	5.0	12.0	On Subject Lot
T6	Bush	---	6.0	4.0	On Subject Lot
T7	Bush	---	6.0	4.0	On Subject Lot
T8	Bush	---	6.0	4.0	On Subject Lot
T9	Bush	---	6.0	4.0	On Subject Lot
T10	Coniferous Tree	0.3	4.0	9.0	On Subject Lot
T11	Deciduous Tree	0.25	4.0	2.0	On Subject Lot
T12	Coniferous Tree	0.5	5.0	12.0	On Subject Lot

Bonaventure Drive S.E.

1ST. STREET S.E.

B.O.W.

Asphalt Lane

Asphalt Lane

#211
99th Avenue S.E.
211-99TH AVENUE SE

#215



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LEGAL PLAN: PLAN 3035 JK, BLOCK 16, LOT 21

DRAWING NO: 01

DRAWING TITLE: SITE LAYOUT

SHEET: A.02

SCALE: 1/16" = 1'-0"

REV: 0

EXISTING SITE PLAN

A.02



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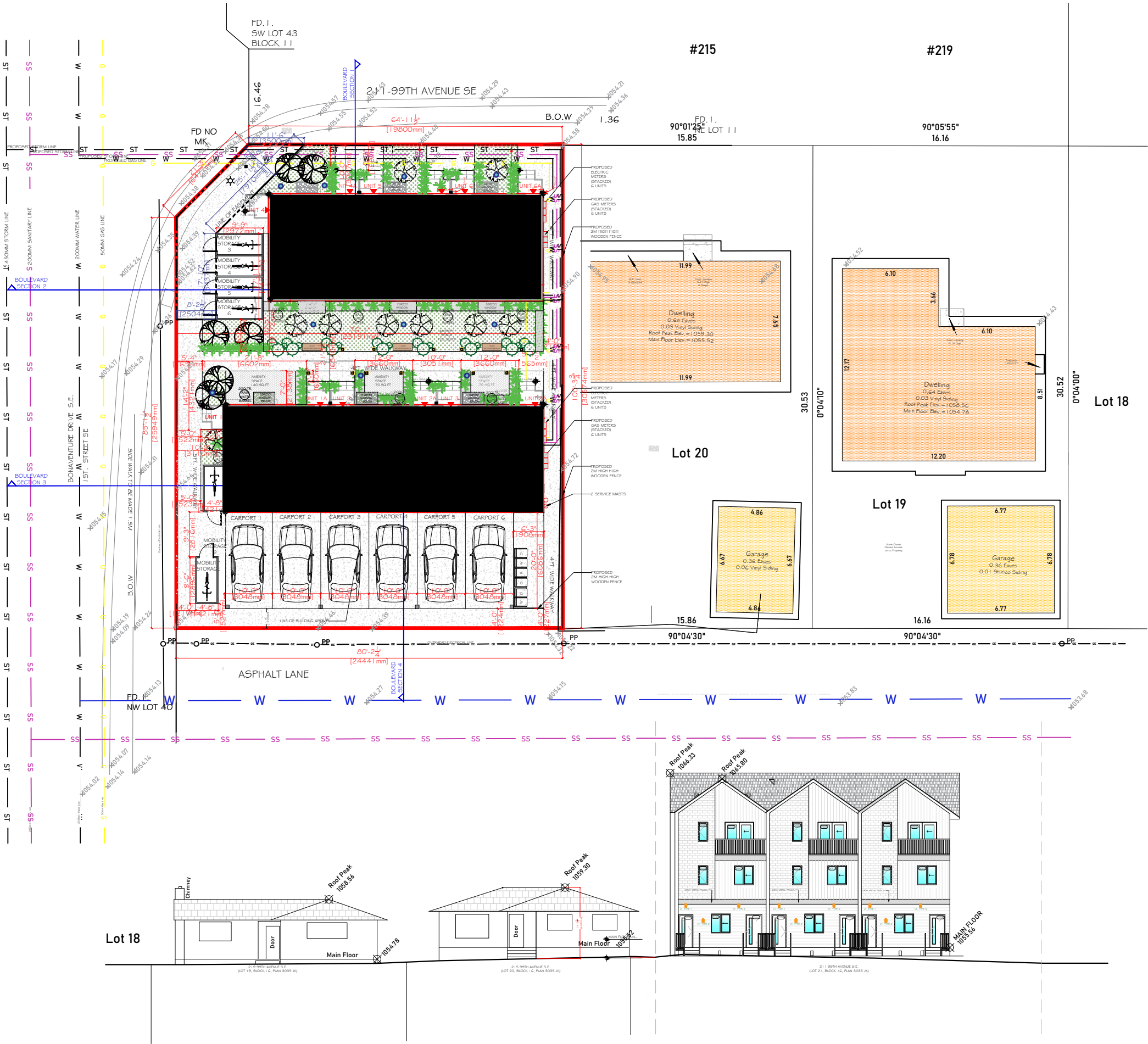
DRAWING NO: 02
DRAWING TITLE: SITE LAYOUT
SHEET: A.03
SCALE: 3/32 = 1'-0"
REV: 0

LEGEND:

- Subject Property Line
- Utility Right-of-Way
- Fence & Gate
- Underground Sanitary Line
- Underground Storm Line
- Underground Water Line
- Underground Gas Line
- Underground Communications Line
- Underground Electrical Line
- Overhead Electrical Line
- Power Pole
- Anchor & Guy Wire
- Light Standard
- Light Pole
- Water Valve
- Fire Hydrant
- Gas Valve
- Sign
- Sanitary Manhole
- Storm Manhole
- Electrical Manhole
- Manhole
- Bollard
- Catch Basin
- Catch Basin
- Utility Box
- Electrical Outlet
- Tank
- Door
- Main Floor Windows
- Second Floor Windows
- Basement Floor Windows

Tree (Number, Trunk, & Canopy)

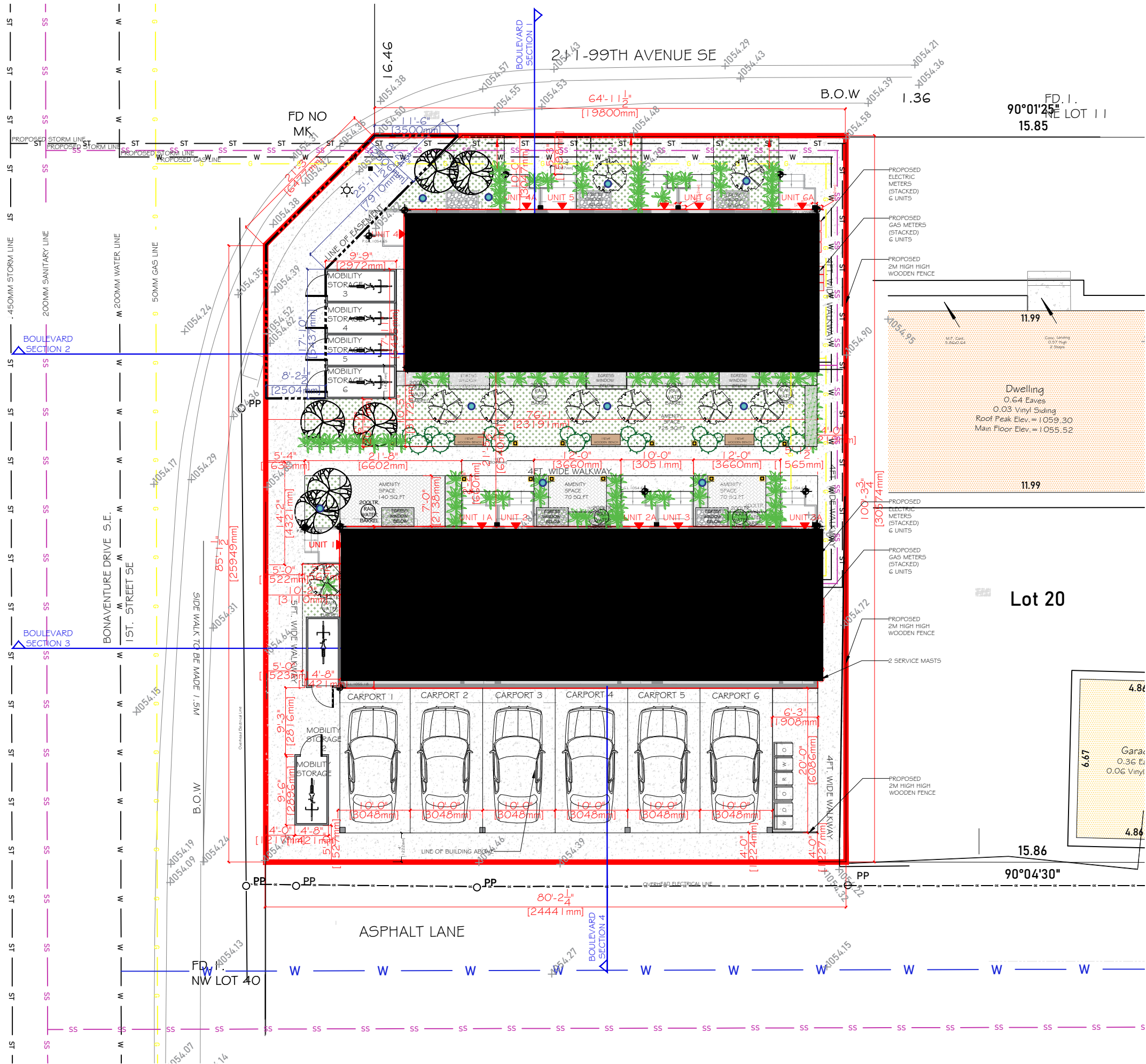
- denotes Shield Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch
- denotes Roof Hatch



Streetscape Facing 211 99th Avenue S.E.



SITE AREA	- 7922.10 SQ.FT.
CAR PARKING	- 1320 SQ.FT
BUILDING A	- 1475
BUILDING B	- 1275
COVERAGE	- 4070 SQ.FT.
	- 51.3%
PERMISSIBLE FAR - 1.5	
= 7922.15*1.5	
= 11883.15 SQ.FT,	
TOTAL CONSTRUCTION	= 11110 SQ.FT
PROPOSED F.A.R	= 1.40



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DRAWING TITLE: SITE LAYOUT

SHEET: A.03

SCALE: 3/32 = 1'-0"

REV. 0



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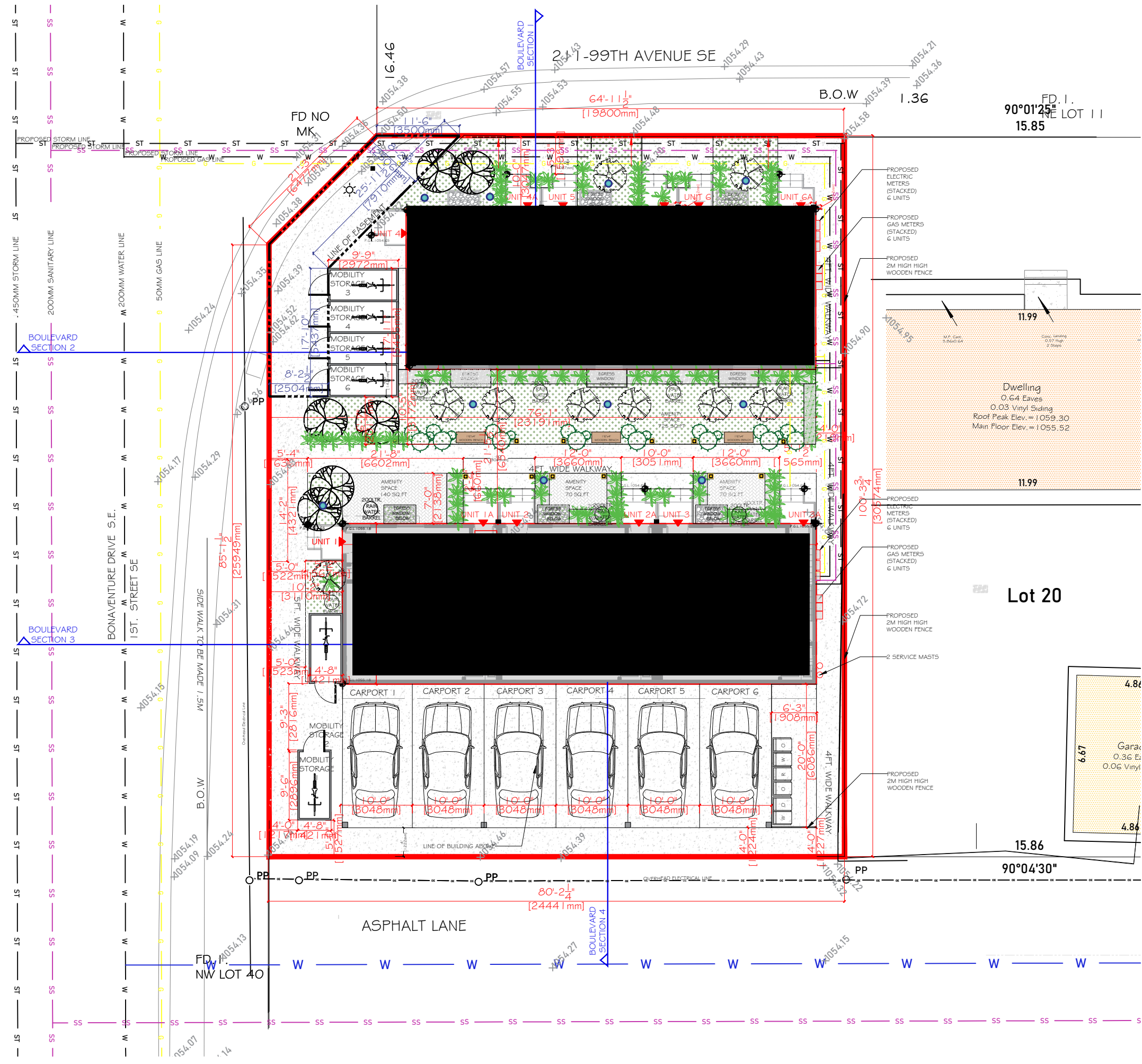
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SCALE: 3/32 = 1'-0"
REV: 0



PROPOSED PLANTINGS						
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE @ PLANTING	TYF. SPREAD	TYF. HEIGHT	AMOUNT
DECIDUOUS TREES						
	AMUR MAPLE	ACER GINNALA	60MM CALIPER			5
CONIFEROUS TREES						
	DWARF SPRUCE	PICEA GLAUCA	2m HIGH	7'-10'	10'-13'	3
SHRUBS						
	SAVYN JUNIPER	JUNIFERUS SABINA	0.6m SPREAD	4'	3'-6'	32
	LILAC	SYRINGA SPP.	0.6m SPREAD			18
	CHERRY PRUNEFOLIA	PRINSEPIA SINENSIS	0.6m SPREAD		3'-6'	14
GRASSES AND FLOWERS						
	ROCKY MOUNTAIN BROOMRAPE	CLEOME SERRULATA	0.6m SPREAD		12'-48"	13

LANDSCAPE INFORMATION	
LANDSCAPE LEGEND :	
	MULCH GROUND COVER
	LAWN
	CONCRETE
	PAVED(WALK WAY)
	GRAVEL(WINDOW WELL)



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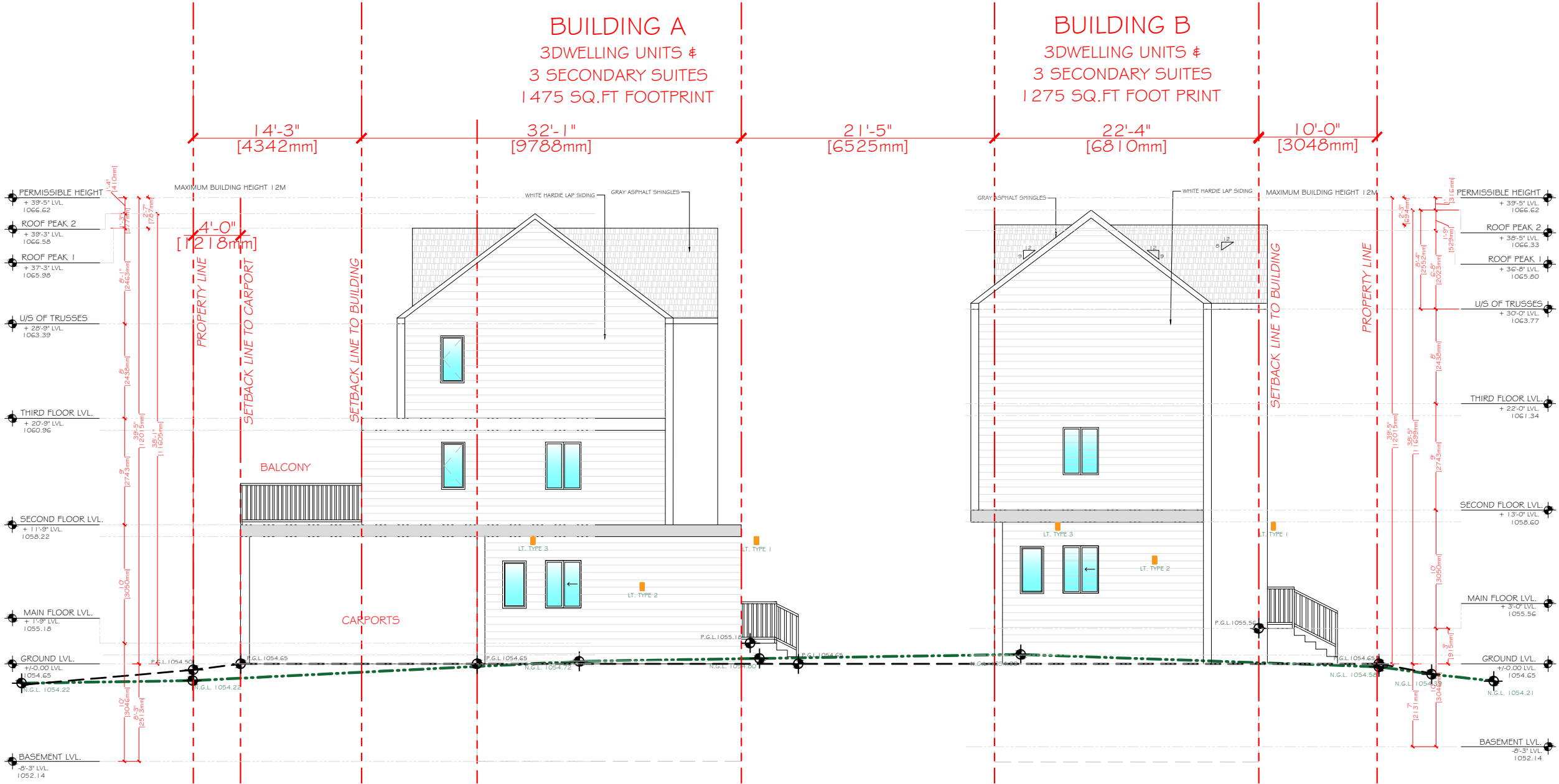
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DRAWING NO: 11
DRAWING TITTLE: ROOF PLAN
SHEET: A.12
SCALE: 3/16" = 1'-0"
REV. 0



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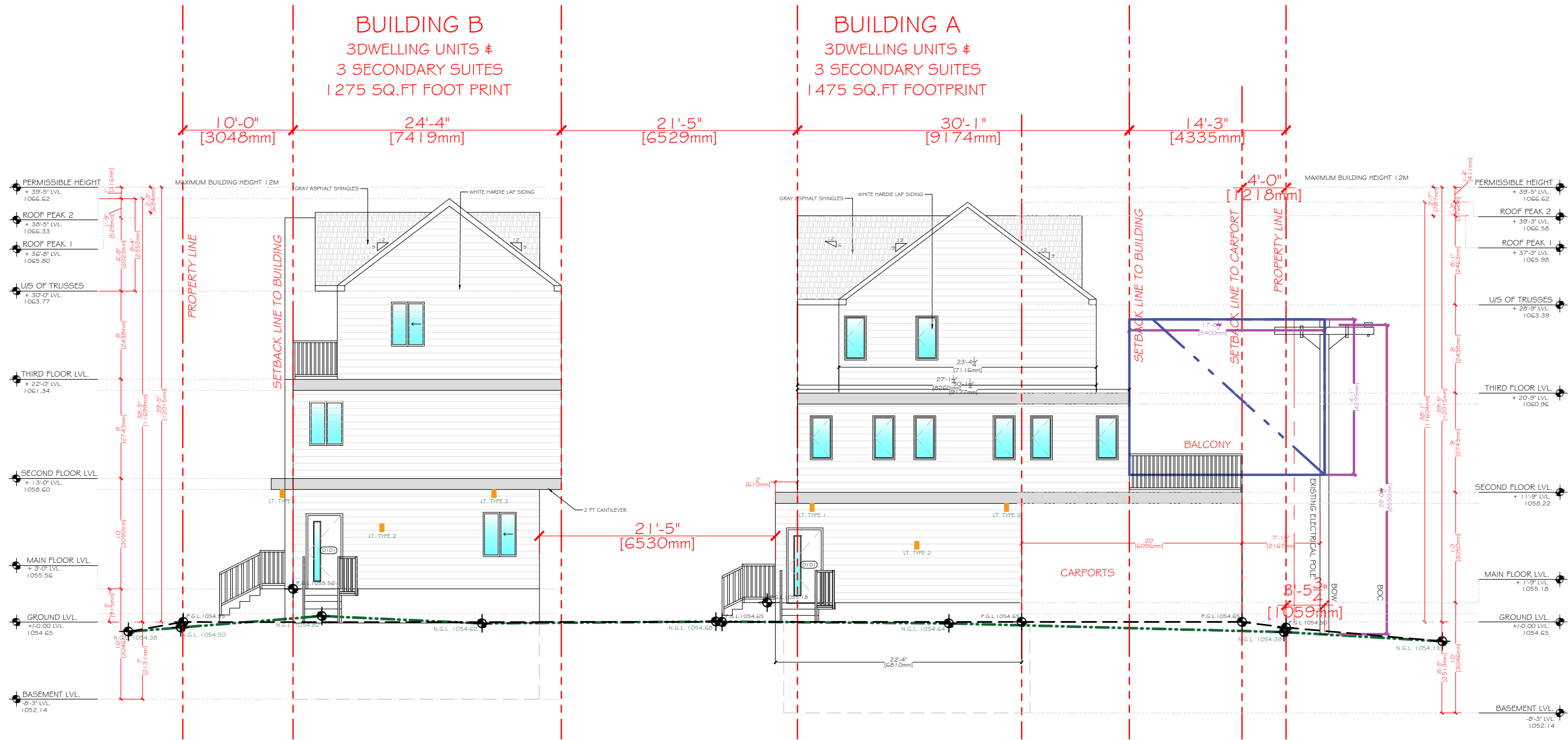
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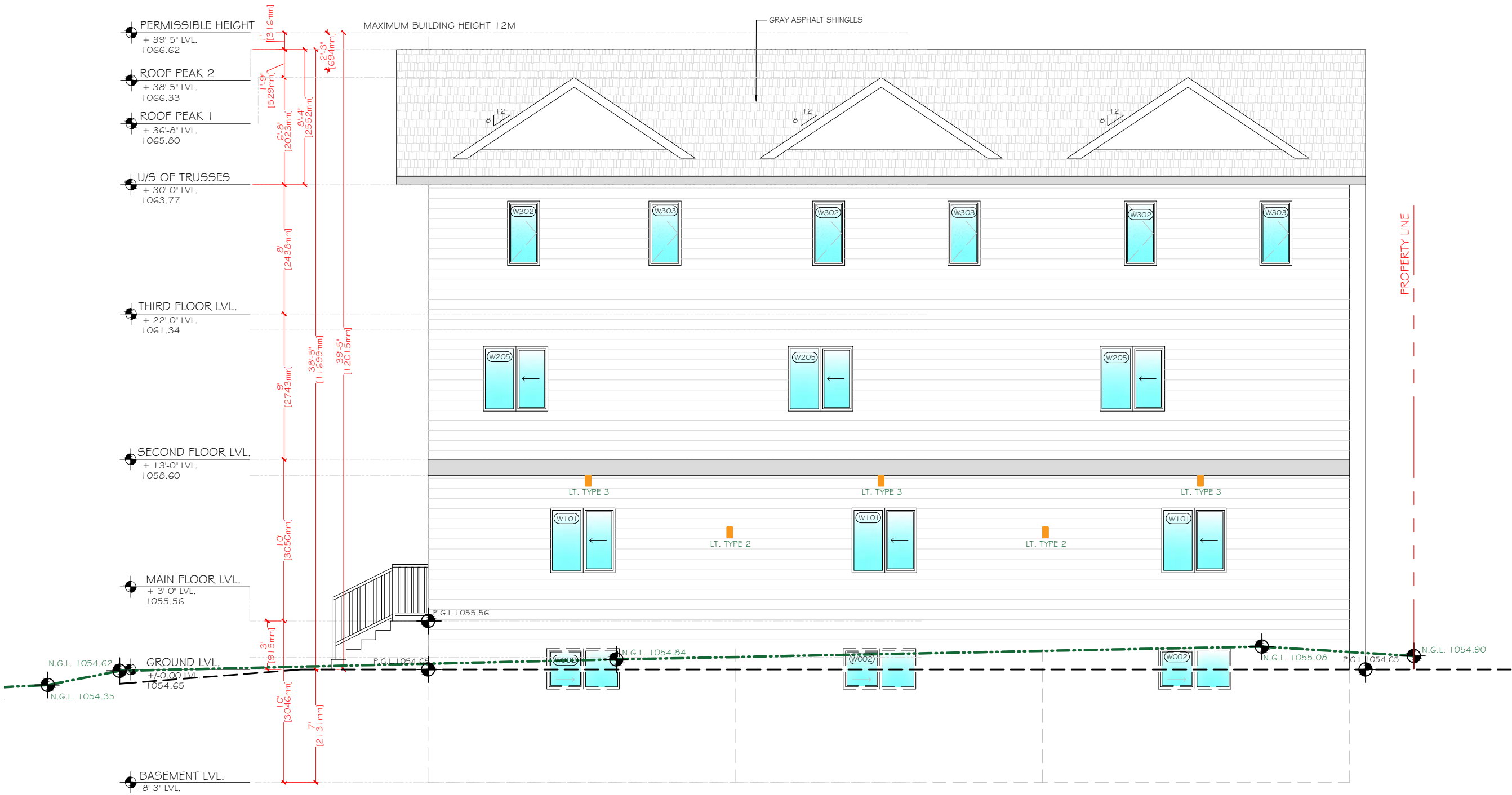
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DRAWING NO: 13
DRAWING TITTLE: EAST ELEVATION
SHEET: A.14
SCALE: 1/8"= 1'-0"
REV. 0









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DRAWING NO: 23

DRAWING TITTLE: TYPICAL DETAILS

SHEET: A.25

SCALE: 3/16= 1'-0"

REV. 0



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DRAWING TITTLE:	TYPICAL DETAILS
SHEET:	A.25
SCALE:	3/16= 1'-0"
REV.	0