

McPherson Rd N.E.

PRELIMINARY
NOT FOR CONSTRUCTION

key plan

project information

project title

**BRIDGELAND
MULTIFAMILY**

community

municipal address

**839, 841 & 845 McPherson
Road N.E. Calgary AB**

legal description

**LOT: 16 & 17 and the East
Portion of Lot 18
BLOCK: 3
PLAN: 4301 R**

client

PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no	date	description
1	2024-MAR-31	DP DRS
2	2024-MAY-09	ISSUED FOR DP

project number
24-402 scale
As indicated

drawn by **Author** approved by
checked by **Checker** Approver

sheet title

**SITE PLAN -
PROPOSED**

sheet number

DP100

2024-05-09 2:40:51 PM

SITE LEGEND	
[Symbol]	EXISTING BUILDINGS
[Symbol]	DWELLING, GARAGE & M.F. PROJECTIONS
[Symbol]	COVERED PORCH & ROOF DEPTH >1.0m
[Symbol]	WOOD DECK
[Symbol]	EXISTING LANDSCAPING
[Symbol]	SOIL on 100mm TOPSOIL
[Symbol]	MULCH BED
[Symbol]	BROOM FINISH CONCRETE
[Symbol]	PERMEABLE CONCRETE
[Symbol]	GRAVEL

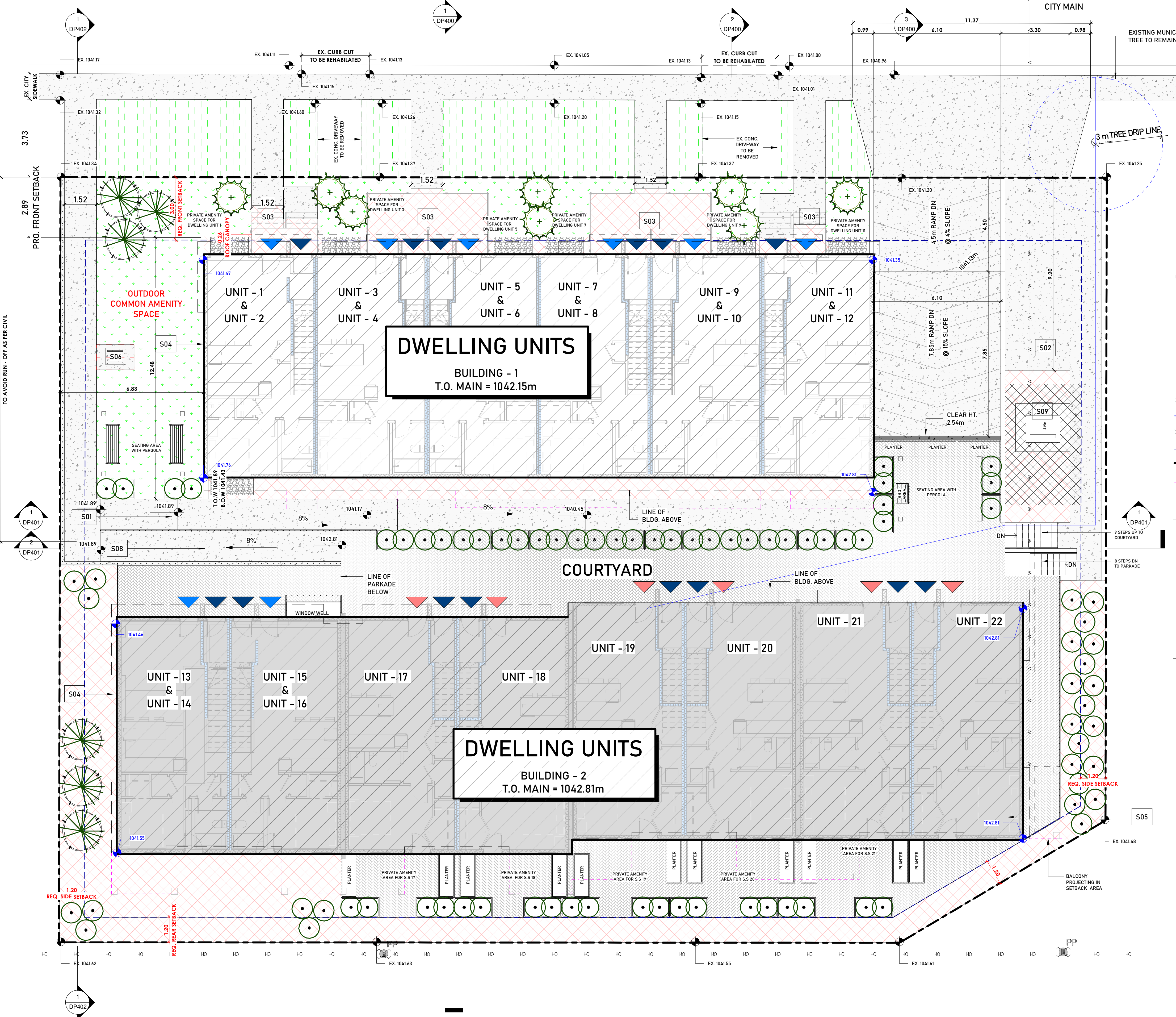
- SITE PLAN GENERAL NOTES**
- Refer to civil engineering drawings for grading, drainage, & site servicing information.
 - Refer to electrical drawings for site lighting & power information.
 - Refer to landscape drawings for detailed landscaping layout & planting information, and surface finishes.
 - Refer to drawing A301 for site details.
 - Asphalt surfaced roadways to support min. 38,556 kg & point load of 57F psi over 24" x 24" area, subgrade preparation as per city of Calgary standards, refer to geotechnical report.
 - Sidewalks & curbs are cast concrete typical, curbs to road perimeter to be low profile, rolled curbs as per City of Calgary Road Construction Standards Specifications, Figure 15, Section B and Curb Crossing B.
 - Post-mounted signage to be inset min. 0.6m from face of curb typical. Sidewalks are 1.5m wide typical with broom finish unless otherwise noted.

- ▲ SECONDARY SUITE ACCESS
- ▲ DWELLING UNIT ACCESS (BASEMENT + M.F)
- ▲ DWELLING UNIT ACCESS (2nd Floor + 3rd Floor)

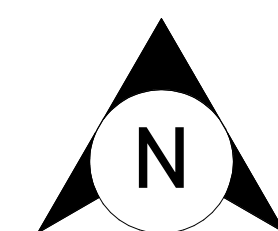
- UTILITY LINES:**
- STORMWATER
 - WATER
 - SANITARY
 - GAS
 - POWER - OVERHEAD
 - POWER - UNDERGROUND

- SITE BOUNDARIES:**
- U/RW
 - FENCE
 - SETBACK LINE
 - PROPERTY LINE
 - LINE OF BALCONY ABOVE

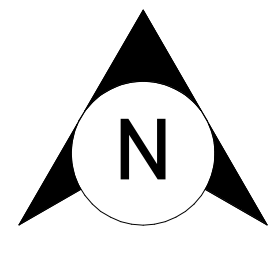
- SITE KEYNOTES**
- S01. RAMP DN TO PARADE
 - S02. LOADING STALL
 - S03. EXT. WOODEN STEPS AND LANDING
 - S04. POSSIBLE LOCATION OF GAS METERS
 - S05. PROPOSED LOCATION OF WATER METERS IN PARADE
 - S06. CLASS - 2 BICYCLE STALL
 - S07. BENCH
 - S08. CONCRETE RAMP UP TO AMENITY SPACE
 - S09. PROPOSED TRANSFORMER LOCATION



THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN REPORT ANY ERRORS/OMMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT. CURB REMAINING WALL ALONG P/L TO AVOID RUN - OFF AS PER CIVIL

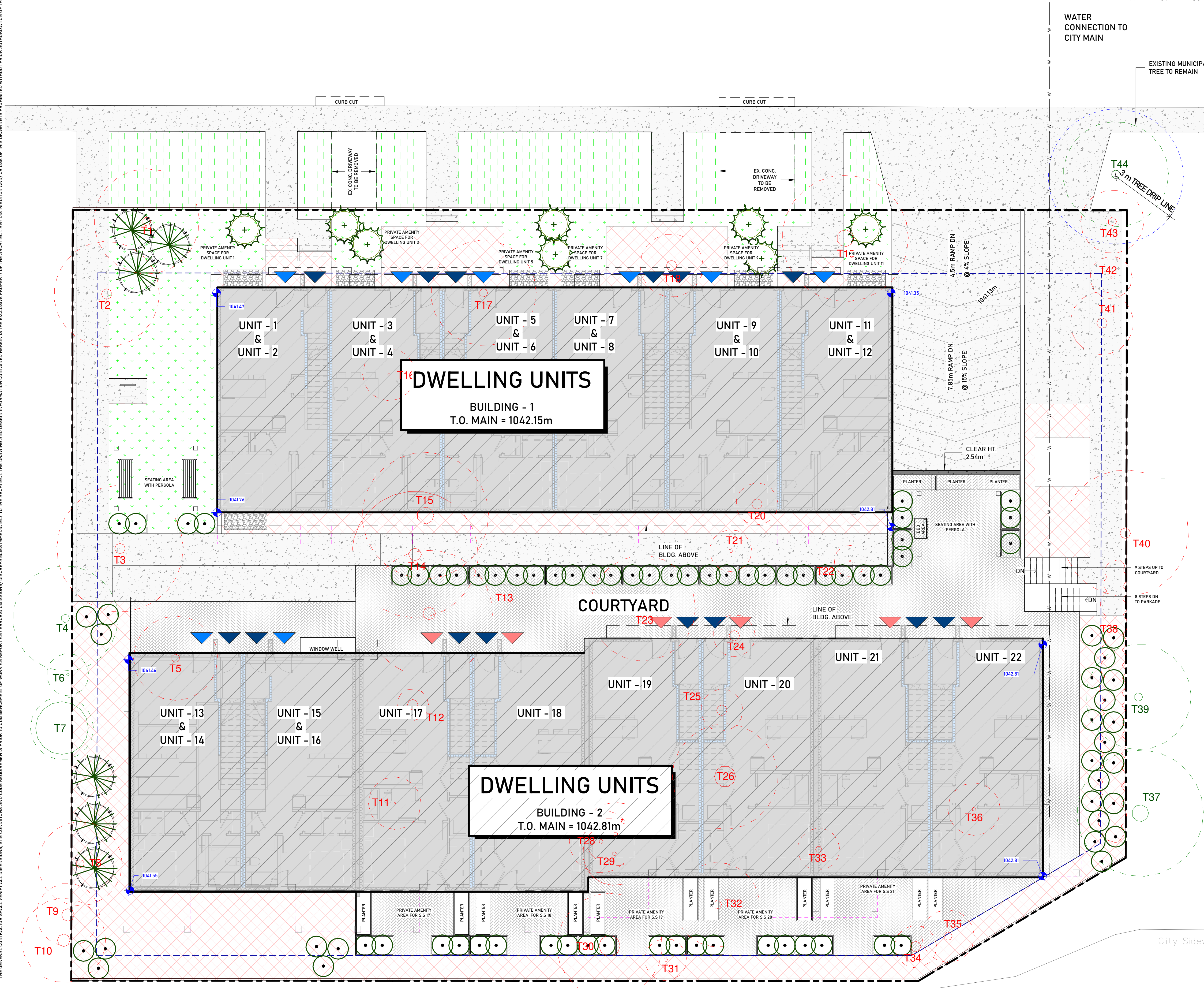


McPherson Rd N.E.



PRELIMINARY
NOT FOR CONSTRUCTION

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN THE EVENT OF ANY ERRORS/OMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT.



SITE LEGEND		
[Symbol]	EXISTING BUILDINGS	
[Symbol]	DWELLING, GARAGE & M.F. PROJECTIONS	
[Symbol]	COVERED PORCH & ROOF DEPTH +1.0m	
[Symbol]	WOOD DECK	
[Symbol]	EXISTING LANDSCAPING	
[Symbol]	SOD ON 150mm TOPSOIL	149.32 m ²
[Symbol]	MULCH BED	247.12 m ²
[Symbol]	BROOM FINISH CONCRETE	143.16 m ²
[Symbol]	PERMEABLE CONCRETE	28.43 m ²
[Symbol]	GRAVEL	
[Symbol]	ROOFTOP DECK	244.54 m ²

LANDSCAPE SCHEDULE						
COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	CALLIPER	QTY.	NOTES
CONIFEROUS TREES						
[Symbol]	FAT ALBERT BLUE SPRUCE	<i>PICEA PUNGENS 'FAT ALBERT'</i>	3.0 m	80 mm	6	LOW WATER
DECIDUOUS TREES						
[Symbol]	COLUMNAR ASPEN	<i>POPULUS TREMULA 'ERECTA'</i>	3.0 m	80 mm	8	
DECIDUOUS SHRUBS						
[Symbol]	GOLDFINGER CINQUEFOIL	<i>POTENTILLA FRUTICOSA 'GOLDFINGER'</i>		400mm	75	LOW WATER

LANDSCAPE ANALYSIS		
Required Landscaping	40% (179.94 m ²)	550(3)
Low Water Landscaping Reduction	3% of parcel area	556
Street - Oriented Development	4% of parcel area	555
Total Reductions	125.98 m² (7% of parcel area)	
Required Landscaping After Reductions	593.97 m ² (33% of parcel area)	
Min. Soft-surface Landscaping	30% (128.39 m ²)	551(3)
Max. Hard-surface Landscaping Req'd	Max. 50% (216.98 m ²)	550(3)(a)
Proposed Landscape On Grade	570.05 m ² (31.67% of parcel area)	
Proposed At-grade Soft-surface Landscaping	393.89 m ² (49.10%) - SOD - 125.36 m ² , Mulch - 258.13 m ²	
Proposed At-grade Hard-surface Landscaping	176.16 m ² (30.79%) - Concrete - 151.94 m ² , Permeable Concrete - 24.20m ²	
Proposed Landscape on Roof Deck	239.57 m ²	
Total Proposed Landscape (On Grade + Roof Deck)	809.62 m² (44.98% of parcel area)	
Proposed Soft Surface Landscape (on Grade + Roof Deck)	393.89 m ² (49.95 %)	
Proposed Hard Surface Landscape (on Grade + Roof Deck)	415.73m ² (51.27 %)	
Required Number of Trees	19.25 (1 tree per 45 sq meters of provided landscape)	
Required Number of Shrubs	26.51	
Proposed Number of Trees	14	
Proposed Number of Shrubs	75	

TREE SCHEDULE:									
Tree	Variety	C-Priser	Canopy	Height	Location	Stock	Notes	Planting	Watering
T1	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T2	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T3	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T4	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T5	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T6	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T7	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T8	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T9	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T10	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T11	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T12	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T13	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T14	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T15	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T16	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T17	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T18	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T19	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T20	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T21	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T22	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T23	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T24	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T25	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T26	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T27	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T28	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T29	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T30	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T31	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T32	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T33	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T34	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T35	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T36	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T37	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T38	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T39	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T40	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T41	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T42	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T43	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			
T44	Deciduous tree	4.0m	4.0m	4.0m	Subject Property	To be retained			

- GENERAL NOTES FOR LANDSCAPING**
- ALL TREE AND SHRUB AREAS (PLANTING BEDS) TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM. CONTRACTOR TO SUPPLY AND INSTALL AUTOMATIC IRRIGATION CONTROLS LOGS AS REQUIRED TO ADEQUATELY IRRIGATE TREES AND SHRUBS ONLY AS DEFINED BY CITY OF CALGARY LOW WATER IRRIGATION SYSTEM REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING IRRIGATION SCHEDULE DURING GROW IN STAGE AND ADJUST FLOW TIMES ACCORDINGLY THROUGHOUT THE MAINTENANCE PERIOD. IRRIGATION MAINTENANCE SHALL INCLUDE ONE FALL WINTERIZATION AND SPRING START UP.
 - ALL CONIFEROUS TREE BEDS AND ALL SHRUB BEDS TO BE WOOD MULCH.
 - DIFFERENT VARIETIES OF DECIDUOUS TREE SPECIES WILL BE PROVIDED TO AVOID MONO-CULTURE AND REDUCE RISK OF INSECT DAMAGE AND DISEASE. IT WILL ALSO PROVIDE SEASONAL VARIETY AND ENHANCE VISUAL INTEREST.
 - ALL LANDSCAPE CONSTRUCTION TO BE IN ACCORDANCE W/ CITY OF CALGARY PARKS DEVELOPMENT GUIDELINES AND STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION - CURRENT EDITION. CONTRACTOR TO ENSURE THE LOCATION OF ALL UNDERGROUND UTILITIES ARE MARKED PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-242-3447.
 - ALL PLANT MATERIAL TO BE DISEASE FREE AND TRUE TO FORM. SPECIFY GRADE SINGLE STEM STOCK - UNLESS OTHERWISE SPECIFIED AND SHALL BE SOIL AND INSTALLED TO CURRENT OLA STANDARDS - CONTRACTOR SHALL GUARANTEE PLANT MATERIAL FOR ONE YEAR.
 - CONSULTANT RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL THAT DOES NOT MEET THESE REQUIREMENTS - LA WEST SHALL INSPECT PLANT MATERIAL PRIOR TO INSTALLATION FOR NURSERY DEFECTS, TRANSPORT DAMAGE & ROOTBALL SIZE. ALL PLANTING BEDS TO BE LOCATED ON SITE AND APPROVED BY CONSULTANT PRIOR TO EXCAVATION.
 - ALL PLANTING BEDS TO BE MULCHED WITH MIN. 50mm DEPTH CLEAN BARK MULCH.
 - ALL TURF AREAS TO BE SOIL INSTALLED ON 150mm MIN OF TOPSOIL. TOPSOIL TO BE ROCK PICKED & CLEANED TO CITY OF CALGARY SPECS. PRIOR TO SOIL INSTALLATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR TREE PROTECTION MEASURES TO PREVENT FURTHER DAMAGE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CARE, MAINTENANCE AND ESTABLISHMENT OF SITE THROUGHOUT C.C.C. TO F.A.C. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - TREES SHALL NOT BE PLACED WITHIN ANY UTILITY RIGHTS-OF-WAY. MAINTAIN 4.0m SETBACK FROM BUS STOP MARKINGS, 4.0m SETBACK FROM SIDEWALKS, 1.0m SETBACK FROM DEEP UTILITY MAINLINES, 2.0m SETBACK FROM SHALLOW UTILITIES (AT&T/ENMAX, TV, PHONE), AND 1.0m SETBACK FROM DRIVEWAYS. A REVISED SETBACK OF 3.0m FROM UTILITIES MAY BE REQUIRED AT THE DISCRETION OF THE UTILITY OWNER.

key plan

project information

project title
BRIDGELAND MULTIFAMILY

community

municipal address
839, 841 & 845 McPherson Road N.E. Calgary AB

legal description
LOT: 16 & 17 and the East Portion of Lot 18 BLOCK: 3 PLAN: 4301 R

client
PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no	date	description
2	2024-MAY-09	ISSUED FOR DP

project number
24-402

scale
As indicated

drawn by
Author

checked by
Checker

approved by
Approver

sheet title
LANDSCAPE PLAN

sheet number
DP101

PRELIMINARY
NOT FOR CONSTRUCTION

key plan

project information

project title

**BRIDGELAND
MULTIFAMILY**

community

municipal address

839, 841 & 845 McPherson
Road N.E. Calgary AB

legal description

LOT: 16 & 17 and the East
Portion of Lot 18
BLOCK: 3
PLAN: 4301 R

client

PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no	date	description
1	2024-MAR-31	DP DRS
2	2024-MAY-09	ISSUED FOR DP

project number	scale
24-402	1 : 200

drawn by	author	approved by
checked by	Checker	Approver

sheet title

**PROJECT DATA &
BLOCK PLAN**

sheet number

DP102

2024-05-09 2:40:57 PM

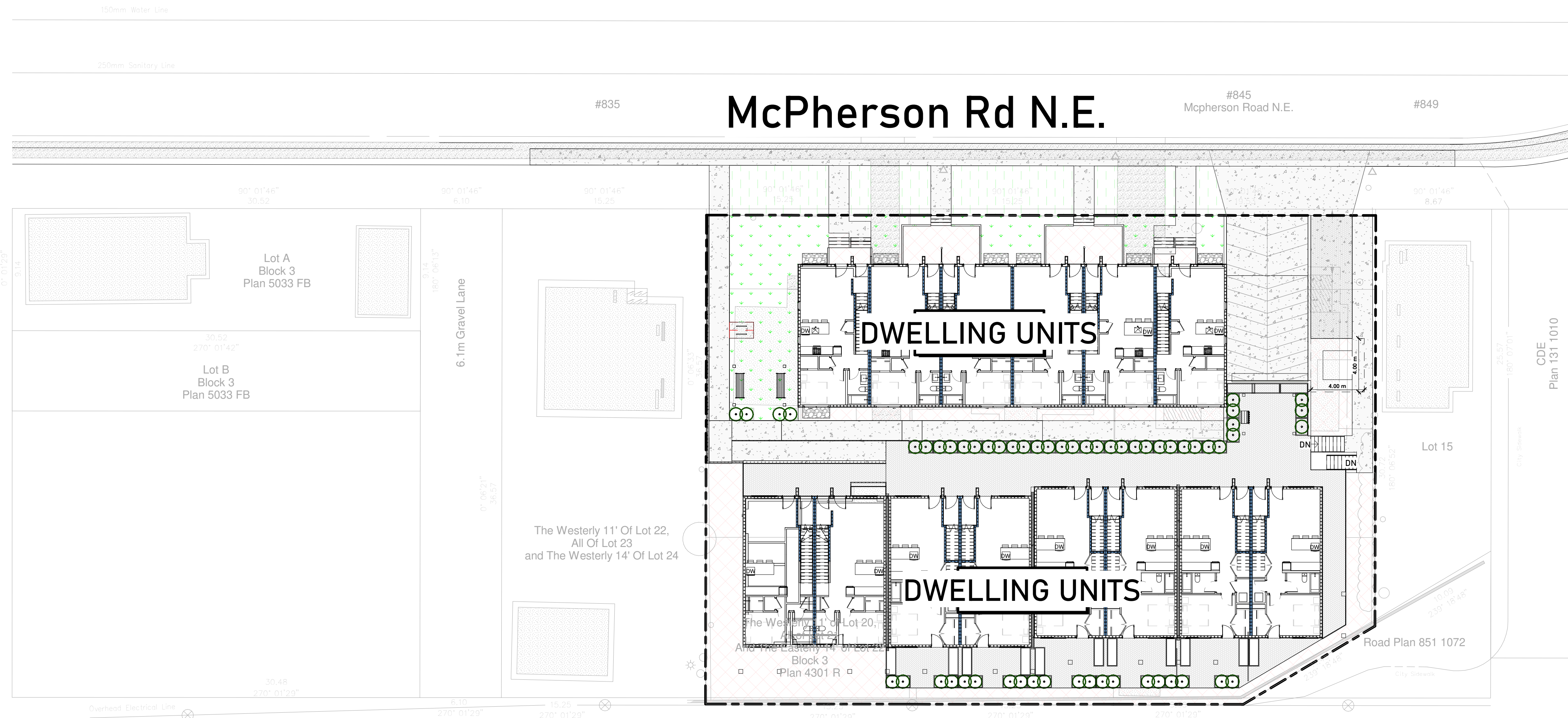
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN REPORT ANY ERRORS/OMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT.

TOTAL GROSS USABLE AREA

Level	Area (in sq. meters)	Area (in sq.ft)
UNIT - 1		
BASEMENT (B-1)	56.90	612.44
Level 1	52.64	566.65
	109.54	1179.09
UNIT - 2		
Level 1	4.25	45.73
Level 2	58.89	633.92
Level 3 (b2, 3)	63.67	685.29
	126.81	1364.94
UNIT - 3		
BASEMENT (B-1)	56.91	612.56
Level 1	52.65	566.73
	109.56	1179.28
UNIT - 4		
Level 1	4.25	45.77
Level 2	57.26	616.37
Level 3 (b2, 3)	62.83	676.32
	124.35	1338.46
UNIT - 5		
BASEMENT (B-1)	56.91	612.61
Level 1	4.26	45.84
	61.17	658.46
UNIT - 6		
Level 1	52.64	566.65
Level 2	57.27	616.42
Level 3 (b2, 3)	62.84	676.39
	172.75	1859.46
UNIT - 7		
BASEMENT (B-1)	56.90	612.50
Level 1	52.66	566.84
	109.56	1179.34
UNIT - 8		
Level 1	4.25	45.77
Level 2	57.26	616.31
Level 3 (b2, 3)	62.83	676.26
	124.34	1338.34
UNIT - 9		
BASEMENT (B-1)	56.91	612.56
Level 1	4.25	45.72
	61.16	658.28
UNIT - 10		
Level 1	52.64	566.66
Level 2	57.26	616.37
Level 3 (b2, 3)	62.83	676.32
	172.74	1859.35
UNIT - 11		
BASEMENT (B-1)	56.91	612.56
Level 1	4.26	45.84
	61.17	658.40
UNIT - 12		
Level 1	52.64	566.65
Level 2	58.92	634.25
Level 3 (b2, 3)	63.70	685.63
	175.27	1886.54
UNIT - 13		
BASEMENT (B-1)	60.12	647.14
Level 1	55.90	601.75
	116.03	1248.88
UNIT - 14		
Level 1	4.25	45.75
Level 2	63.97	688.59
Level 3 (b2, 3)	64.71	696.54
	132.93	1430.87
UNIT - 15		
BASEMENT (B-1)	61.28	659.58

TOTAL GROSS USABLE AREA

Level	Area (in sq. meters)	Area (in sq.ft)
Level 1		
	4.25	45.75
	65.53	705.34
UNIT - 16		
Level 1	57.06	614.14
Level 2	62.25	670.07
Level 3 (b2, 3)	62.99	678.02
	182.30	1962.23
UNIT - 17		
Level 1	4.25	45.76
Level 2	62.24	670.00
Level 3 (b2, 3)	62.98	677.94
	129.48	1393.70
UNIT - 18		
Level 1	4.25	45.76
Level 2	62.25	670.09
Level 3 (b2, 3)	62.99	678.04
	129.50	1393.89
UNIT - 19		
Level 1	4.25	45.76
Level 2	62.25	670.07
Level 3 (b2, 3)	62.99	678.02
	129.49	1393.84
UNIT - 20		
Level 1	4.25	45.76
Level 2	62.25	670.07
Level 3 (b2, 3)	62.99	678.02
	129.49	1393.84
UNIT - 21		
Level 1	4.25	45.76
Level 2	62.25	670.07
Level 3 (b2, 3)	62.99	678.02
	129.49	1393.84
UNIT - 22		
Level 1	4.25	45.76
Level 2	63.97	688.59
Level 3 (b2, 3)	64.71	696.54
	132.93	1430.88
TOTAL GUA	2685.57	28907.24



Memorial Drive N.E.

PRELIMINARY
NOT FOR CONSTRUCTION

key plan

project information

project title

**BRIDGELAND
MULTIFAMILY**

community

municipal address

**839, 841 & 845 McPherson
Road N.E. Calgary AB**

legal description

**LOT: 16 & 17 and the East
Portion of Lot 18
BLOCK: 3
PLAN: 4301 R**

client

PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no.	date	description
2	2024-MAY-09	ISSUED FOR DP

project number: **24-402** scale: **3/16" = 1'-0"**

drawn by: **Author** approved by:
checked by: **Checker** **Approver**

sheet title

BLDG-1(ELEVATIONS)

sheet number

DP300

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN REPORT ANY ERRORS/OMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT.



1 BLDG-1 (NORTH ELEV.)
DP300 3/16"=1'-0"

ELEVATION LEGEND	
TAG	DESCRIPTION
001	Smooth Cementitious Board, Colour: Dark Blue
002	Corrugated Metal Panel, Colour: Anodized Silver/Off-white
003	Stucco Siding, Colour: Light grey
004	Brick veneer, Colour: Light grey mix
005	Fascia/Trim, Colour: Dark Blue
006	Metal canopy, Colour: Anodized silver/Off-white
007	Metal canopy, Colour: Blue
101	Thermally broken vinyl window with clear, Low-E glazing, Frame Colour: Black
103	Thermally broken entrance door with clear, Low-E glazing, Colour: Black
104	Prefinished metal railing, Colour: Charcoal/Black
105	Clear tempered glass railing on prefinished anodized aluminum frame, Frame Colour: Charcoal/Black
106	2m High obscured glass privacy screen, Frame Colour: Black
107	2m High wood privacy screen
109	Cement parging, min. 8" above grade



2 BLDG-1 (EAST ELEV.)
DP300 3/16"=1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

key plan

project information

project title

**BRIDGELAND
MULTIFAMILY**

community

municipal address

**839, 841 & 845 McPherson
Road N.E. Calgary AB**

legal description

**LOT: 16 & 17 and the East
Portion of Lot 18
BLOCK: 3
PLAN: 4301 R**

client

PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no	date	description
2	2024-MAY-09	ISSUED FOR DP

project number: 24-402 scale: 3/16" = 1'-0"

drawn by: Author approved by: Approver
checked by: Checker

sheet title

BLDG-1(ELEVATIONS)

sheet number

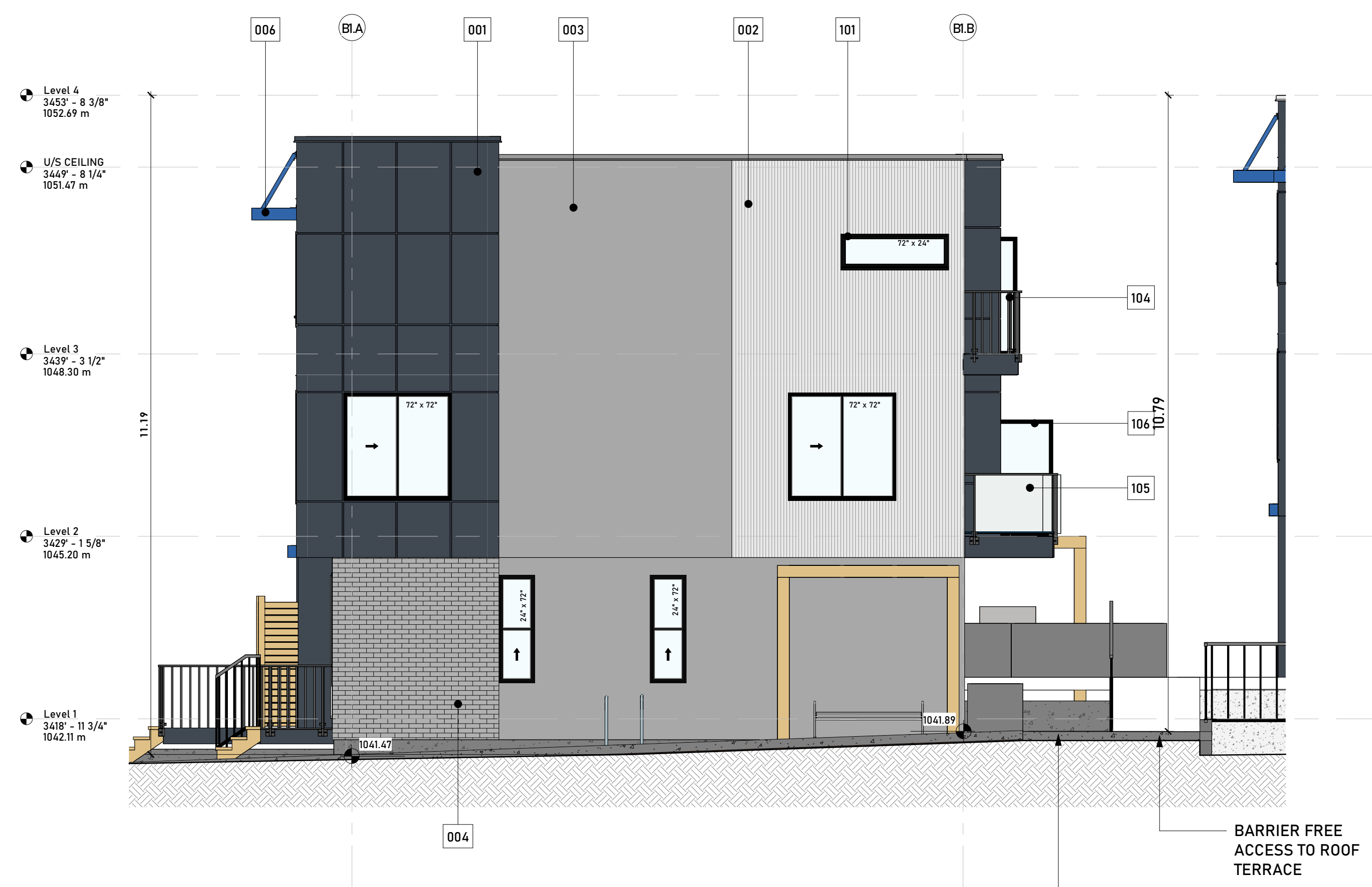
DP301

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN REPORT ANY ERRORS/OMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT.



1 BLDG-1 (SOUTH ELEV.)
DP301 3/16"=1'-0"

ELEVATION LEGEND	
TAG	DESCRIPTION
001	Smooth Cementitious Board, Colour: Dark Blue
002	Corrugated Metal Panel, Colour: Anodized Silver/Off-white
003	Stucco Siding, Colour: Light grey
004	Brick veneer, Colour: Light grey mix
005	Fascia/Trim, Colour: Dark Blue
006	Metal canopy, Colour: Anodized silver/Off-white
007	Metal canopy, Colour: Blue
101	Thermally broken vinyl window with clear, Low-E glazing, Frame Colour: Black
103	Thermally broken entrance door with clear, Low-E glazing, Colour: Black
104	Prefinished metal railing, Colour: Charcoal/Black
105	Clear tempered glass railing on prefinished anodized aluminum frame, Frame Colour: Charcoal/Black
106	2m High obscured glass privacy screen, Frame Colour: Black
107	2m High wood privacy screen
109	Cement parging, min. 8" above grade



2 BLDG-1 (WEST ELEV.)
DP301 3/16"=1'-0"

BARRIER FREE ACCESS TO ROOF TERRACE
BARRIER FREE ACCESS TO PARKADE

PRELIMINARY
NOT FOR CONSTRUCTION

key plan

project information

project title

**BRIDGELAND
MULTIFAMILY**

community

municipal address

**839, 841 & 845 McPherson
Road N.E. Calgary AB**

legal description

**LOT: 16 & 17 and the East
Portion of Lot 18
BLOCK: 3
PLAN: 4301 R**

client

PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no	date	description
2	2024-MAY-09	ISSUED FOR DP

project number: **24-402** scale: **3/16" = 1'-0"**

drawn by: **Author** approved by:
checked by: **Checker** **Approver**

sheet title

BLDG-2(ELEVATIONS)

sheet number

DP302

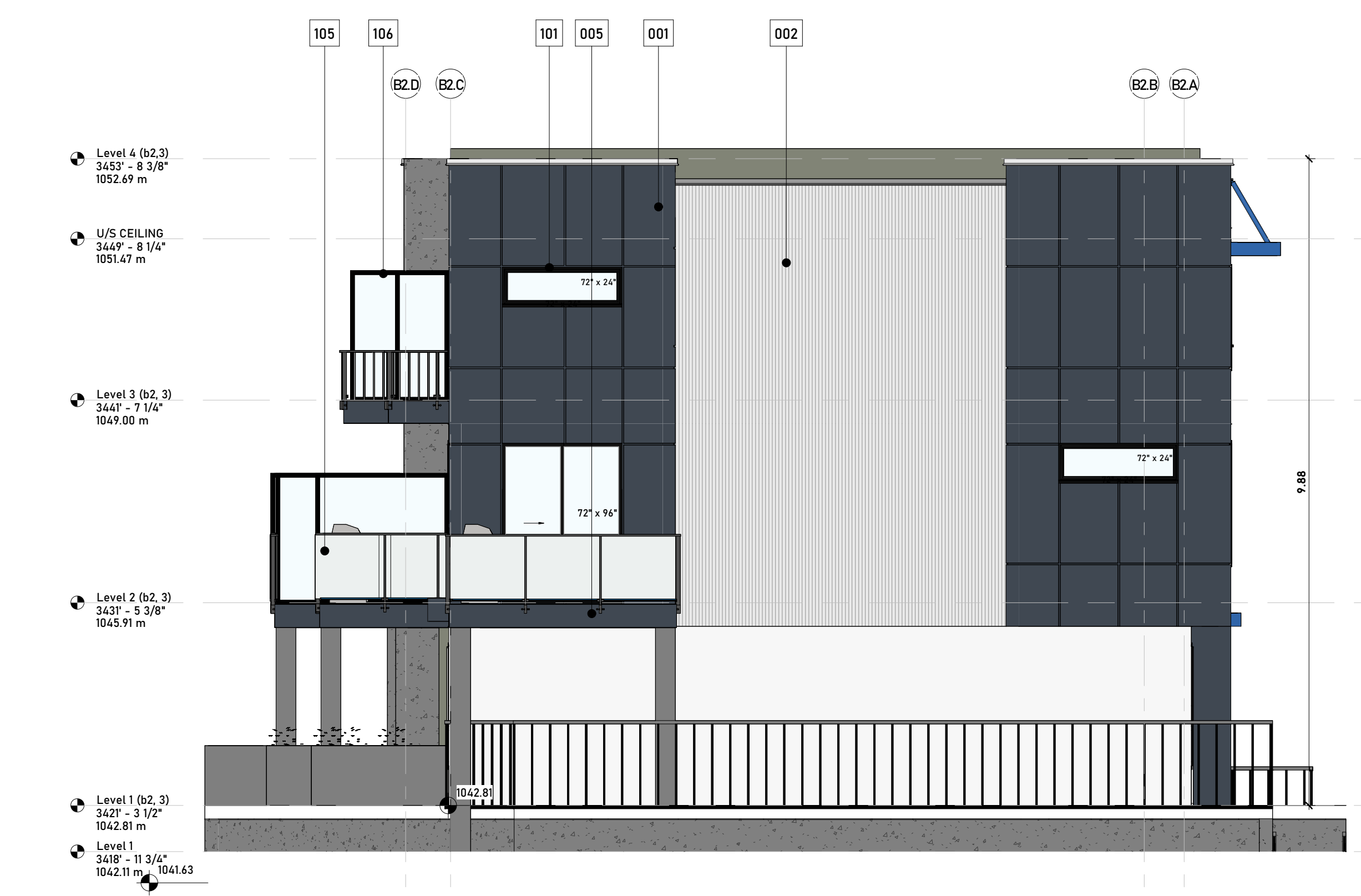
2024-05-09 2:40:14 PM

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN REPORT ANY ERRORS/OMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT.



1 BLDG-2 (NORTH ELEV.)
3/16" = 1'-0"

ELEVATION LEGEND	
TAG	DESCRIPTION
001	Smooth Cementitious Board, Colour: Dark Blue
002	Corrugated Metal Panel, Colour: Anodized Silver/Off-white
003	Stucco Siding, Colour: Light grey
004	Brick veneer, Colour: Light grey mix
005	Fascia/Trim, Colour: Dark Blue
006	Metal canopy, Colour: Anodized silver/Off-white
007	Metal canopy, Colour: Blue
101	Thermally broken vinyl window with clear, Low-E glazing, Frame Colour: Black
103	Thermally broken entrance door with clear, Low-E glazing, Colour: Black
104	Prefinished metal railing, Colour: Charcoal/Black
105	Clear tempered glass railing on prefinished anodized aluminum frame, Frame Colour: Charcoal/Black
106	2m High obscured glass privacy screen, Frame Colour: Black
107	2m High wood privacy screen
109	Cement parging, min. 8" above grade



2 BLDG-2 (EAST ELEV.)
3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

key plan

project information

project title

**BRIDGELAND
MULTIFAMILY**

community

municipal address

839, 841 & 845 McPherson
Road N.E. Calgary AB

legal description

LOT: 16 & 17 and the East
Portion of Lot 18
BLOCK: 3
PLAN: 4301 R

client

PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no.	date	description
2	2024-MAY-09	ISSUED FOR DP

project number 24-402 scale 3/16" = 1'-0"

drawn by Author approved by Approver
checked by Checker

sheet title

SITE SECTION

sheet number

DP401

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN REPORT ANY ERRORS/OMMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT.



1 B/F RAMP TO PARKADE
3/16" = 1'-0"



2 B/F RAMP TO ROOF TERRACE
3/16" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

key plan

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND CODE REQUIREMENTS PRIOR TO COMMENCEMENT OF WORK. IN REPORT ANY ERRORS/OMMISSIONS/DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. THE DRAWING AND DESIGN INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY DISTRIBUTION AND/OR USE OF THIS DRAWING IS PROHIBITED WITHOUT PRIOR AUTHORIZATION OF THE ARCHITECT.



project information

project title

**BRIDGELAND
MULTIFAMILY**

community

municipal address

**839, 841 & 845 McPherson
Road N.E. Calgary AB**

legal description

**LOT: 16 & 17 and the East
Portion of Lot 18
BLOCK: 3
PLAN: 4301 R**

client

PRIVATE CLIENT

phase

DEVELOPMENT PERMIT

issue / revision

no.	date	description
2	2024-MAY-09	ISSUED FOR DP

project number: **24-402** scale: **3/16" = 1'-0"**

drawn by: **Author** approved by:
checked by: **Checker** **Approver**

sheet title

SITE SECTION

sheet number

DP402

2024-05-09 2:41:53 PM