

NOTE:
CONTRACTOR MUST VERIFY THE CITY MAIN TIE-IN INVERTS, ALL PIPE CROSSING, SPACE BETWEEN PIPES AND STRUCTURE/PARKING TO AVOID POTENTIAL CONFLICTS PRIOR TO ON-SITE SERVICES INSTALLATION.

LEGEND:

| | PROPOSED | EXISTING |
|---------------------|------------|---------------|
| STORM SEWER | SD 250 PVC | EX SD 250 PVC |
| SANITARY SEWER | SS 250 PVC | EX SS 250 PVC |
| WATER MAIN | PW 250 PVC | EX PW 250 PVC |
| CATCHBASIN | ■ | ● |
| MANHOLE | ● | ● |
| MANHOLE, GRATED TOP | ● | ● |
| WATER VALVE | X | X |
| FIRE HYDRANT | ● | ● |
| CAPPED PIPE END | ⊥ | ⊥ |
| WATER METER | ⊕ | ⊕ |
| REDUCER | ⊕ | ⊕ |
| CHECK VALVE | Z | Z |
| LIGHT STANDARD | ⊕ | ⊕ |
| INSULATED PIPE | ===== | ===== |
| DRAINAGE CHANNEL | ===== | ===== |
| SITE BOUNDARY | ----- | ----- |
| TO BE ABANDONED | TBA | |
| TO BE REMOVED | TBR | |

- NOTES:**
- ALL PIPE SIZES ARE IN MILLIMETERS AND ALL DIMENSIONS ARE IN METERS AND DECIMALS THEREOF, UNLESS OTHERWISE NOTED.
 - ALL COORDINATES AND DISTANCES ARE BASED ON STM COORDINATE SYSTEM (NAD 83).
 - ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
 - ALL ELEVATIONS REFERENCED TO 1000 m GEODETIC DATUM.
 - ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 - WATER SERVICES SHALL HAVE A MIN. OF 2.7m COVER FOR LOOPED MAINS & SERVICES AND 3.0m COVER FOR DEAD END MAINS & SERVICES AND HYDRANT LEADS IN CLAY SOIL CONDITIONS AND 3.3m COVER IN GRAVEL CONDITIONS.
 - WATER MAINS 150mm OR LARGER SHALL BE PVC DR18.
 - ALL HYDRANT LEADS ARE TO BE PVC DR18.
 - ALL SANITARY & STORM MAINS 150mm OR LARGER SHALL BE SDR-35.
 - ALL SANITARY SERVICES 100mm OR SMALLER SHALL BE SDR-28.
 - ALL PE WATER SERVICES SHALL BE DR 11.
 - SAN & STM SERVICES ARE TO BE BROUGHT TO 1.0m OUTSIDE THE FOUNDATION WALL. WATER SERVICES ARE TO BE BROUGHT TO MASTER CONTROL VALVE INSIDE THE BUILDING.
 - SAN & STM CITY MAIN TIE-IN INVERTS TO BE CONFIRMED PRIOR TO ONSITE SAN & STM SERVICES INSTALLATION.
 - MANHOLES TO BE TYPE 5A SULPHATE RESISTANT CONCRETE AND TO BE INSTALLED IN ACCORDANCE WITH CITY OF CALGARY SPECIFICATIONS.
 - ALL CONCRETE SEWER PIPES, MANHOLES, CATCH BASIN BARRELS SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
 - STORM & SANITARY PIPES BEDDING AND BACKFILL SHOULD FOLLOW STD. DWG. 452.1055.003 SHEET 33. WATER PIPES BEDDING AND BACKFILL SHOULD FOLLOW STD. DWG. 452.1050.001 SHEET 39A.
 - ALL BEDDING MATERIAL SHALL CONFORM TO THE EMBANKMENT MATERIALS SPECIFIED IN ASTM D2321.
 - IF WEEPING TILE IS NEEDED, CONNECT TO SUMP PUMP. WEEPING TILE SHALL BE PUMPED TO GRADE TO A POINT PAST THE DOWNSPOUTS VIA A BASEMENT SUMP AND PUMP, AS PER ALBERTA BUILDING CODE.
 - ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM THE BUILDING.
 - EXACT ELEVATION OF MANHOLE RIMS ARE TO BE SET IN THE FIELD PRIOR TO FINAL ASPHALT LIFT.
 - PLASTIC PLUGS TO BE USED IN PLACE OF PARSON INSERTS ON SANITARY MANHOLES SITUATED IN TRAP LOWS.
 - ALL WATER LINE TO BE JOINTLESS UNDER BUILDINGS.
 - THE CONTRACTOR MUST VERIFY THE EXISTING PIPE INVERTS PRIOR TO INSTALLATION TO AVOID POTENTIAL CONFLICT.
 - SANITARY INTERIOR DROP MANHOLE IS REQUIRED WHEN THE ELEVATION DIFFERENCE BETWEEN THE INCOMING PIPE INVERT AND THE OUTGOING PIPE CENTRE LINE IS GREATER THAN 760MM.
 - WHEN DEEP UTILITY CROSSING, THE SPACE BETWEEN IS LESS THAN 0.3m, SHOULD FOLLOW STD. DWG. 452.1044.001 SHEET 58. NON-SHRINK FILL AS PER STANDARD SPECIFICATIONS STREETS CONSTRUCTION 304.04.00.
 - WATER SERVICE ENTRIES THROUGH FLOOR. FOLLOW STD. DWG. 453.1009.002 SHEET 33 AS PER STANDARD SPECIFICATIONS WATERWORKS CONSTRUCTION.

MUNICIPAL ADDRESS
906 12 AVE SW, CALGARY, AB.

LEGAL DESCRIPTION
LOT 43 BLOCK 74 PLAN 081 0013
1/4 SE 16 TWP 24 R1W5

REVISIONS

| REV | Y | M | D | ISSUE/REVISION DESCRIPTION | DRN | CHK |
|-----|----|----|----|----------------------------|-----|-----|
| 0 | 24 | 04 | 24 | FOR DP | VA | MG |



5800 - 1A ST. SW CALGARY, AB T2H 0G1
PHONE: (403) 640-0900 FAX:(403) 640-0678

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| | |
|--------|-------|
| PERMIT | STAMP |
|--------|-------|

CLIENT
STRATEGIC GROUP

PROJECT
906 OFFICE CONVERSION

DESIGN
MG

DRAWN
VA

CHECKED
MG

DATE:
FEB 15, 2024

SCALE:
1:300

DEVELOPMENT PERMIT No.:
627-001E

DWG. No.:
01

ISS/REV:
0

CITY OF CALGARY
DEVELOPMENT SITE SERVICING PLAN

DATE RECEIVED

| | | |
|-----------------|---------|------|
| CIRCULATION TO | INITIAL | DATE |
| WATER RESOURCES | | |

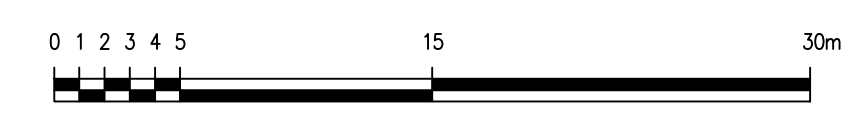
REVIEW AND INSPECTION BY THE CITY IS NOT A SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR.

THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND TO PERFORM INSPECTIONS AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.

* The contractor must supply written notice to AI-Terra of intent to start construction of the deep utilities at least 3 days in advance of the construction start.

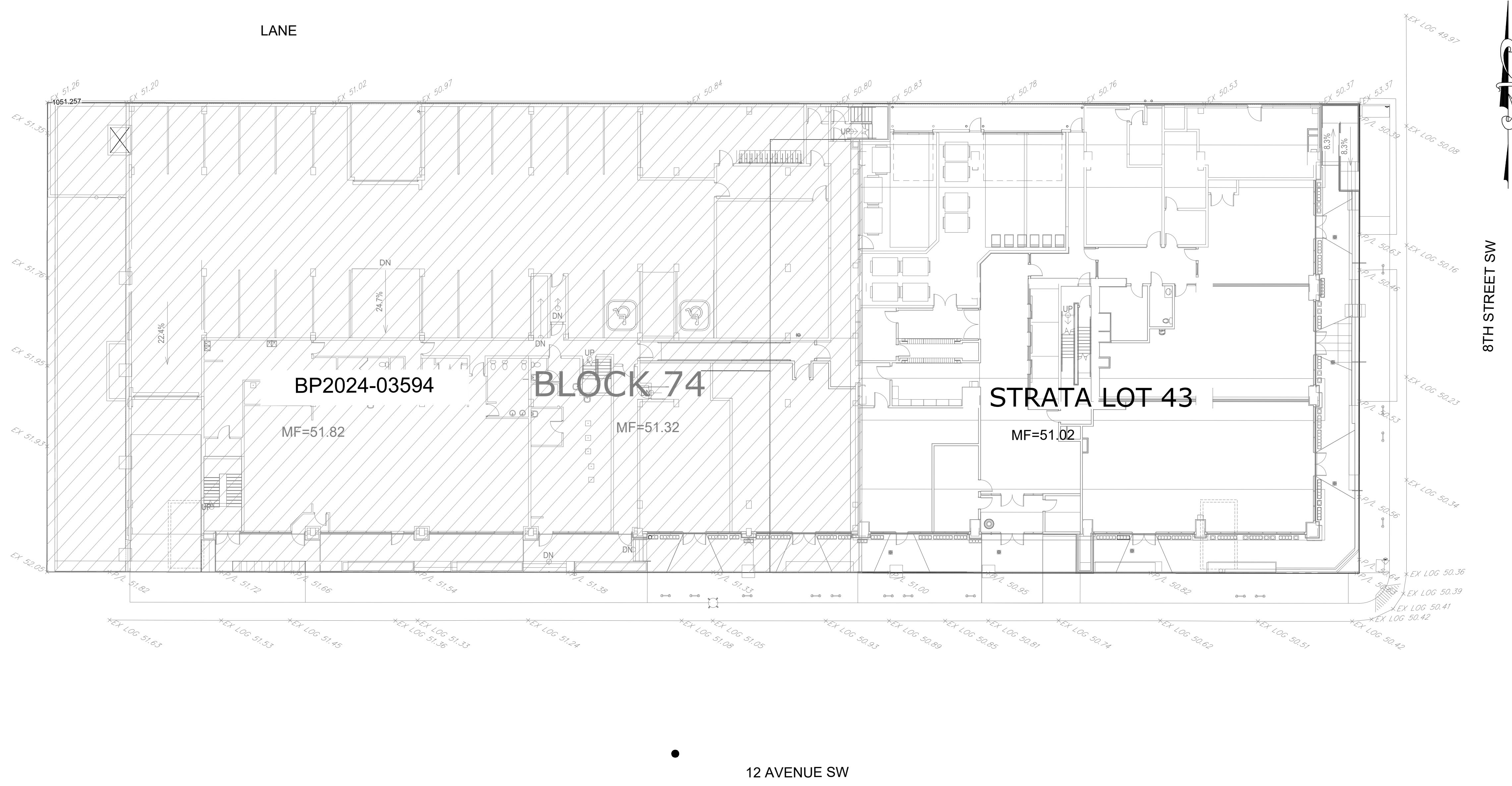
Failure to do so may result in a request to have the lines excavated so as to ascertain bedding conditions and that pipe has been placed correctly and/or to have a video examination of the pipe performed at the contractor's expense.

Failure to have the inspections completed adequately will prevent AI-Terra's being able to execute the necessary certifications required by the Alberta Building Code and the National Building Code.



NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY

C:\ATerra\DAL-TERRA ENGINEERING LTD\600 Private Developers - Document\627-Strategic Group\627-001 806-12 Ave SW\07 Design Work\Working Drawings\Current Drawings\627-001 DSSP - Eas.dwg, 02-Crading, 2024/04/24 10:42 am Virginia Kosova



- NOTES:**
1. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
 2. ALL ELEVATIONS REFERENCED TO 1000 GEODETIC DATUM.
 3. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
 4. HEAVY DUTY ASPHALT REQUIRED AS INDICATED.
 5. REFER TO GEOTECHNICAL REPORT FOR FORMAL PAVEMENT DESIGN.
 6. ALL ONSITE CURB TO BE PINNED CURB CONFORMING TO CoC SPECS. SEE ARCHITECTURAL DRAWING FOR DETAILS.
 7. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
 8. MINIMUM OVERHEAD CLEARANCE REQUIRED FOR DUMPING CONTAINERS IS 6.4m.
 9. MINIMUM VERTICAL CLEARANCE REQUIRED FOR SANITATION VEHICLES IS 4.3m.
 10. HEAVY DUTY ASPHALT TO BE A DEPTH AND CLASS TO CARRY A LOADED COLLECTION VEHICLE (38,556kg/85,000lbs).
 11. ELECTRICAL TRANSFORMERS, LIGHT STANDARDS AND SIGNAL POLES WILL BE LOCATED TO ENSURE EASY COLLECTION VEHICLE ACCESS.
 12. ALL DRIVEWAY APRONS SHALL BE INSTALLED AS PER CITY OF CALGARY SPECIFICATIONS.

LEGEND:

| | | |
|-----------------------|------------|---------|
| PROPOSED GRADE | 47.79 X | 1135.74 |
| PROPOSED SLOPE | ← 1.00% | 1134.85 |
| EXISTING GRADE | X EX 47.79 | |
| FINISHED MAINFLOOR | MF=35.74 | |
| OVERLAND ESCAPE ROUTE | → | |
| RETAINING WALL | RW | |
| UPSTANDING FOUNDATION | UF | |
| EXPOSED FOUNDATION | EF | |
| DRAINAGE CHANNEL | | |

REVISIONS

| REV | Y | M | D | ISSUE/REVISION DESCRIPTION | DRN | CHK |
|-----|----|----|----|----------------------------|-----|-----|
| 0 | 24 | 04 | 24 | FOR DP | VA | MG |

Al-Terra

5800 - 1A ST. SW CALGARY, AB T2H 0G1
PHONE: (403) 640-0900 FAX:(403) 640-0678

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| PERMIT | STAMP |
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CLIENT

STRATEGIC GROUP

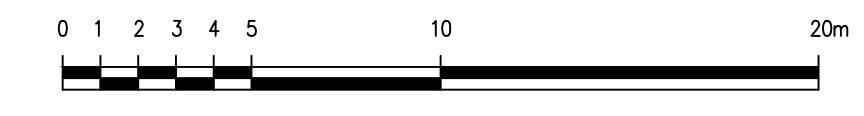
PROJECT

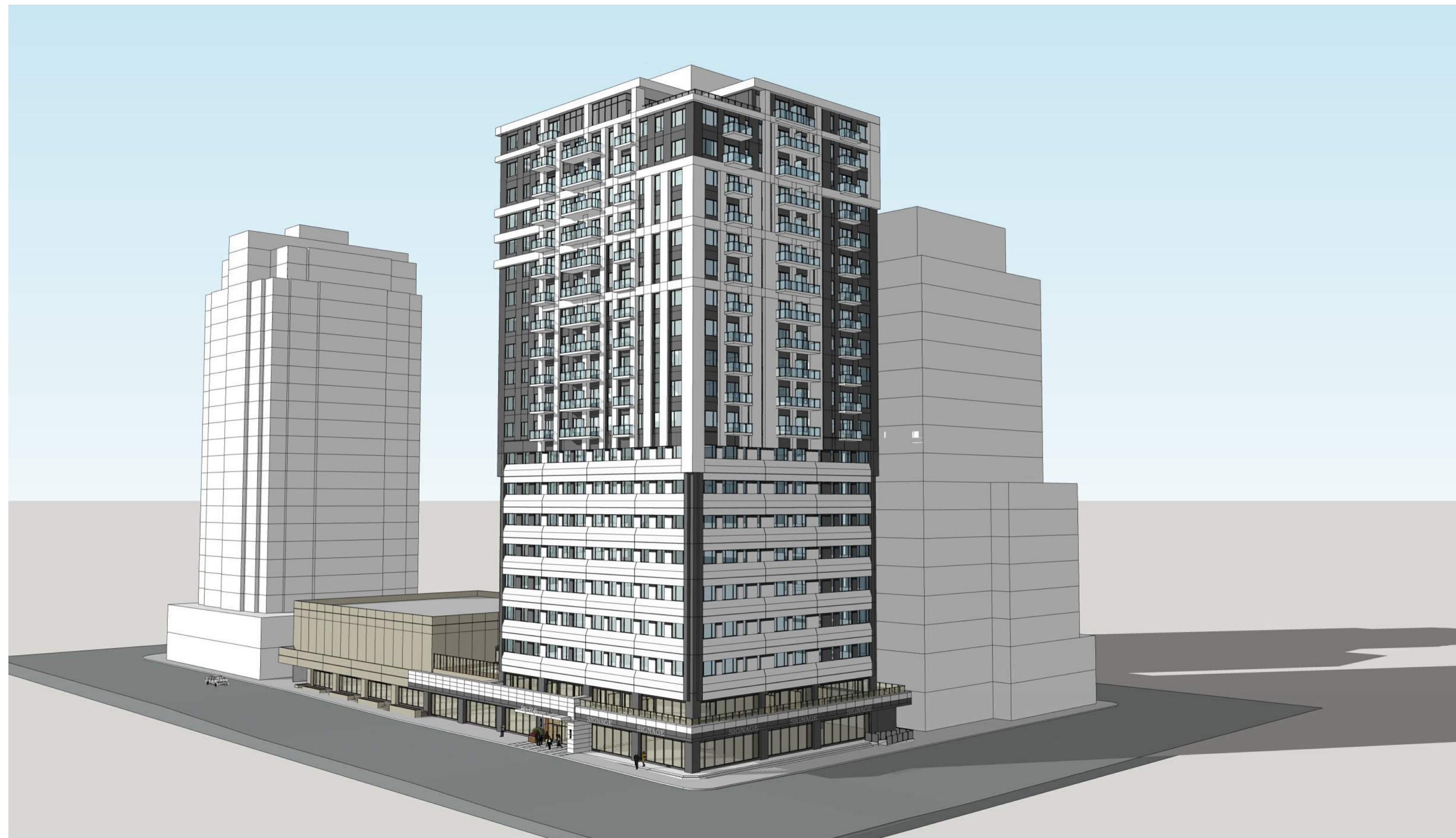
906 OFFICE
CONVERSION

| | | |
|---------|----|------------------------------|
| DESIGN | MG | SITE GRADING PLAN |
| DRAWN | VA | |
| CHECKED | MG | |

| | | | |
|--------|----------|----------------------------|-------------|
| DATE: | APR 2024 | MECHANICAL CIRCULATION No: | |
| SCALE: | 1:200 | DEVELOPMENT PERMIT No: | PROJECT No: |
| | | | 627-001E |
| | | DWG. No: | 02 |
| | | ISSREV | 0 |

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY





NOTE: ARTISTIC RENDERING ONLY, REFER TO PLANS & ELEVATIONS FOR FINAL DESIGN

ISSUED FOR DEVELOPMENT PERMIT

906 OFFICE CONVERSION

906 12 AVENUE SW
CALGARY, ALBERTA

ARCHITECTURAL

- DP0.00 COVER SHEET
- DP0.01 GENERAL INFO, BYLAW ANALYSIS
- DP1.01 SITE PLAN
- DP1.02 GARBAGE/LOADING, BIKE ROOM PLAN & DETAILS
- DP2.01 LOWER PARKADE & LEVEL 1 FLOOR PLANS
- DP2.02 LEVEL 1 EAST FLOOR PLAN
- DP2.03 UPPER PARKADE & LEVEL 2 FLOOR PLANS
- DP2.04 LEVEL 2 EAST FLOOR PLAN
- DP2.05 LEVEL 3 TO 9 FLOOR PLAN (TYP.)
- DP2.06 LEVEL 10 TO 20 FLOOR PLAN (TYP.)
- DP2.07 LEVEL 21 FLOOR PLAN
- DP2.08 ROOF PLAN
- DP2.10 ENLARGED COURTYARD PLANS
- DP3.01 PERSPECTIVE VIEWS
- DP3.02 PERSPECTIVE VIEWS
- DP3.03 BUILDING ELEVATIONS-SOUTH
- DP3.04 BUILDING ELEVATIONS-NORTH
- DP3.05 BUILDING ELEVATIONS - WEST & EAST
- DP4.01 BUILDING SECTIONS
- DPL1 DEVELOPMENT PERMIT
- DPL2 BUILDING PERMIT
- DPL3 TREE PROTECTION

CIVIL

- C-01 SITE SERVICING PLAN

LANDSCAPE

- DPL1 DEVELOPMENT PERMIT
- DPL2 BUILDING PERMIT
- DPL3 TREE PROTECTION

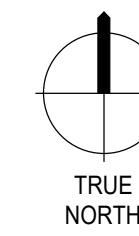
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| 2 | ISSUED FOR DEVELOPMENT PERMIT | 2024-05-02 |
| 1 | DP PRE-APP MEETING REVIEW | 2024-03-13 |

| NO. | ISSUE/ REVISION | DATE |
|-----|-----------------|------|
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| PROJECT NO. | DRAWN | CHECKED |
| 223-038 | RP / AA | BR |

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| DRAWING NO. | REVISION NO. |
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DP0.00 2



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| 2 | ISSUED FOR DEVELOPMENT PERMIT | 2024-05-02 |
| 1 | DP PRE-APP MEETING REVIEW | 2024-03-13 |
| NO. | ISSUE/REVISION | DATE |

PROJECT
906 OFFICE CONVERSION

PROJECT ADDRESS
906 12 AVENUE SW
CALGARY, ALBERTA

TITLE
ENLARGED COURTYARD PLANS

| | | |
|-------------|--------------|---------|
| PROJECT NO. | DRAWN | CHECKED |
| 223-038 | RP / AA | BR |
| DRAWING NO. | REVISION NO. | |

DP2.10



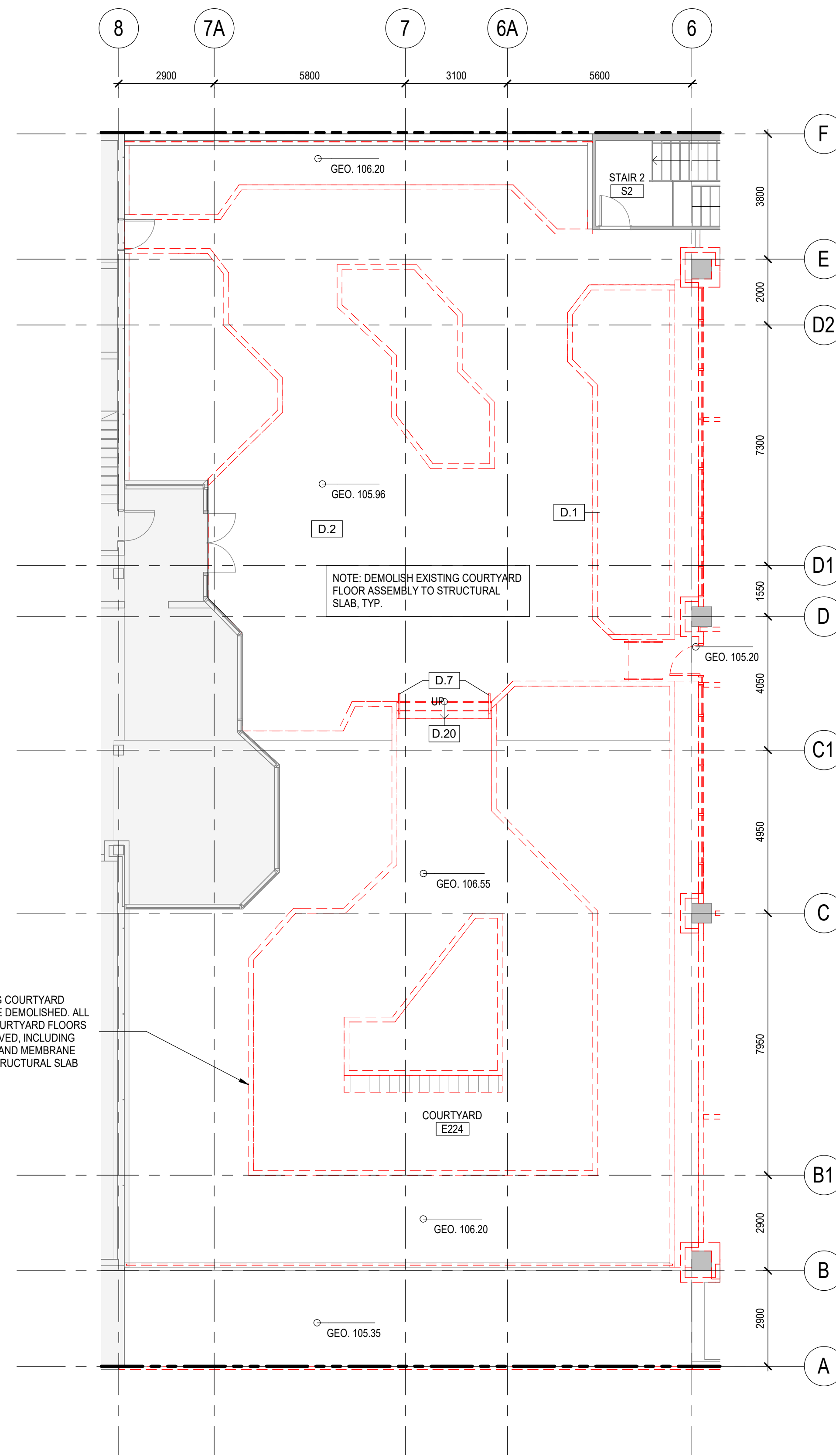
DEMOLITION PLAN LEGEND:

- EXISTING WALLS AND FIXTURES TO REMAIN / N.I.C.
- EXISTING WALLS AND FIXTURES TO BE DEMOLISHED
- EXISTING FLOORS TO BE DEMOLISHED
- AREA N.I.C.

DEMOLITION PLAN GENERAL NOTES:
1. CONTRACTOR TO SITE VERIFY ALL CONNECTIONS AFTER DEMOLITION PRIOR TO NEW CONSTRUCTION.

| Key Value | Keynote Text |
|-----------|--|
| D.1 | REMOVE ALL EXISTING STEEL STUD FURRING/PARTITION WALLS C/W HOSTED DOORS & WINDOWS |
| D.2 | HATCHED PORTION OF EXISTING FLOOR SLAB TO BE DEMOLISHED, REFER TO STRUCTURAL |
| D.3 | REMOVE EXISTING PLANTERS ON MAIN FLOOR AND MAKE GOOD EXISTING SURFACING TO RECEIVE NEW FINISH |
| D.4 | REMOVE EXISTING ALUMINUM STOREFRONT |
| D.5 | REMOVE EXISTING ALUMINUM FRAMED WINDOW SYSTEM |
| D.6 | EXISTING VESTIBULE TO BE REMOVED |
| D.7 | REMOVE EXISTING RAILINGS AT PARKADE, STAIRS AND EXTERIOR STAIRS AND REINSTALL NEW RAILINGS TO COMPLY WITH CODE |
| D.8 | EXISTING RETAIL UNIT TO BE DEMOLISHED. DEMOLISH AND REMOVE ALL FLOORING, WALL FINISHES, MILLWORK, PARTITIONS, EQUIPMENT, LIGHTING. DEMOLISH DUCTS, PLUMBING, ELECTRICAL DEVICES AS REQUIRED BY M+E |
| D.9 | DEMOLISH EXISTING EXTERIOR |
| D.10 | REMOVE EXISTING WASHROOMS C/W ALL PARTITIONS, DOORS, MILLWORK, PLUMBING FIXTURES & RELATED SERVICES |
| D.11 | FOR ANY NEW OPENING. REFER TO STRUCTURAL AND COORDINATE WITH ARCHITECT |
| D.12 | IF RAMP BETWEEN GRIDS 7 & 8 ON EXISTING CRU, THEN TO BE DEMOLISH TO CREATE A NEW ONE WITH MORE SLOPE |
| D.15 | REMOVE EXISTING MECHANICAL EQUIPMENT C/W DUCTING AND ALL PLUMBING, SERVICE CONNECTIONS & CURBS IN COORDINATION WITH MECHANICAL CONSULTANT |
| D.20 | DEMOLISH EXISTING STAIRS |
| D.21 | REMOVE EXISTING DOOR |

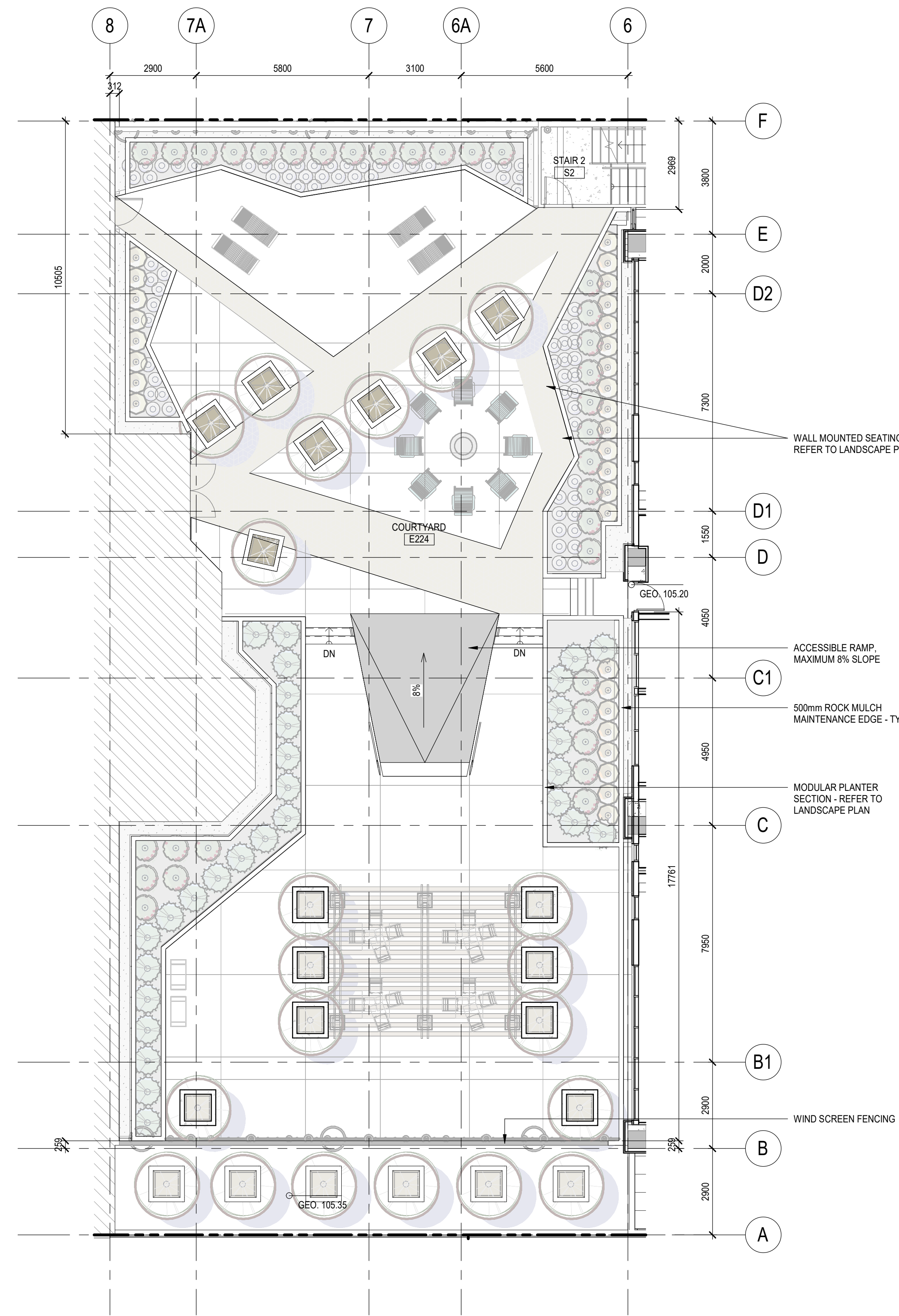
ALL EXISTING COURTYARD WALLS TO BE DEMOLISHED. ALL EXISTING COURTYARD FLOORS TO BE REMOVED, INCLUDING INSULATION AND MEMBRANE DOWN TO STRUCTURAL SLAB



2 DEMO - LEVEL 2 COURTYARD PLAN
DP2.10 SCALE: 1:100

NEW FLOOR PLAN LEGEND:

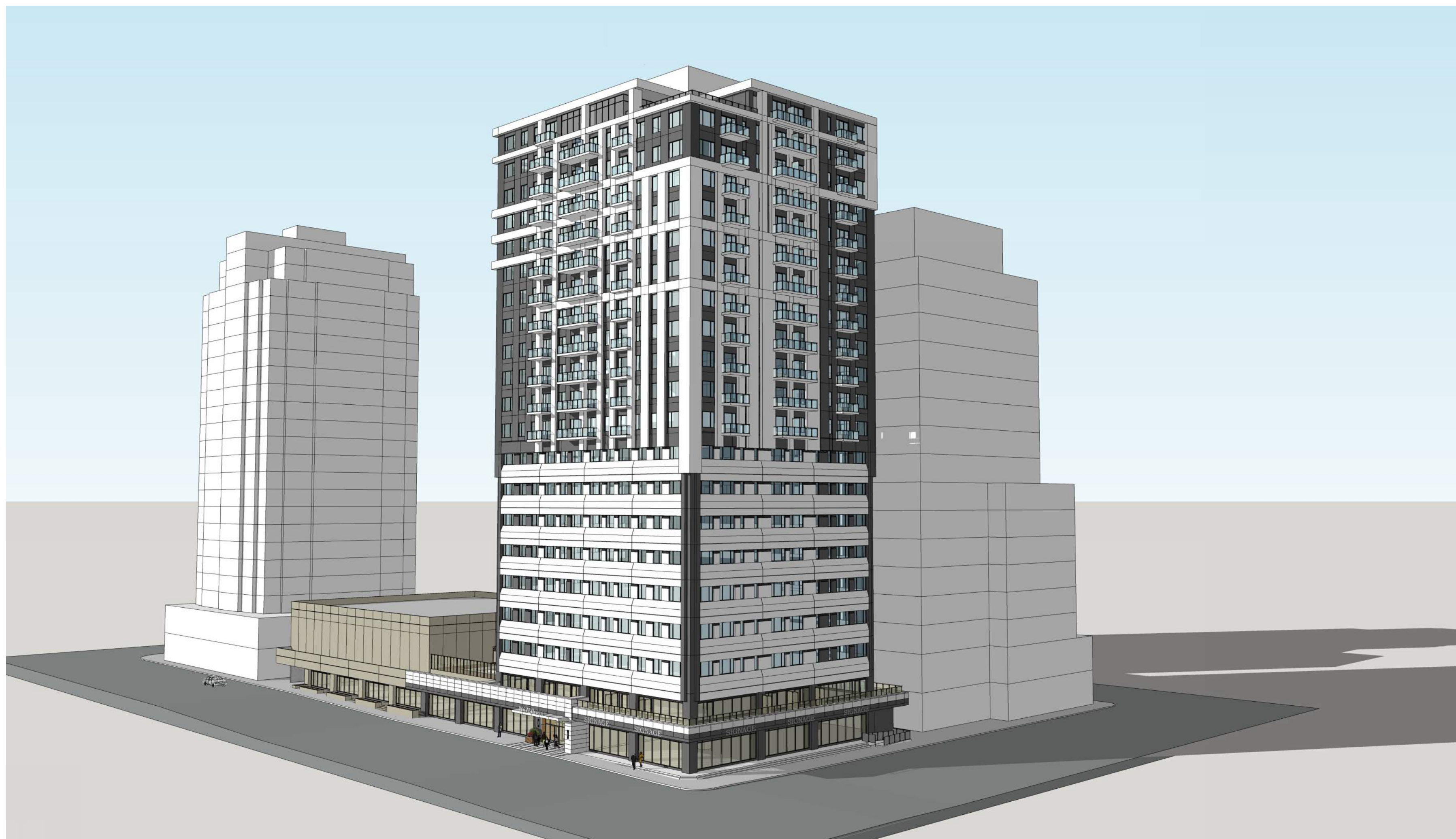
- EXISTING WALLS AND COLUMNS TO REMAIN / N.I.C.
- AREA N.I.C.
- NO PARKING



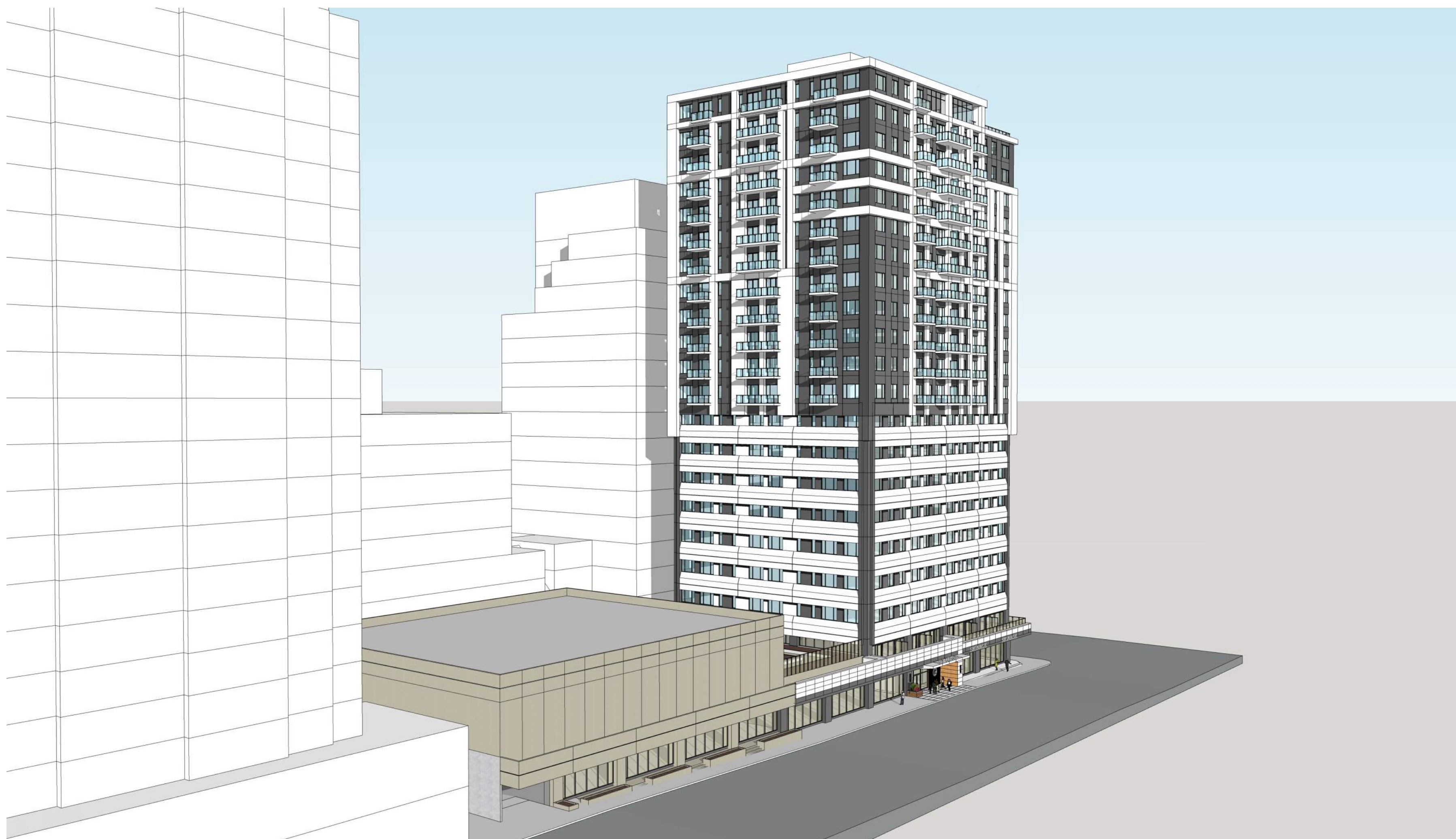
1 LEVEL 2 COURTYARD PLAN
DP2.10 SCALE: 1:100



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SOUTH EAST VIEW



SOUTH WEST VIEW

| 2 | ISSUED FOR DEVELOPMENT PERMIT | 2024-05-02 |
|-----|-------------------------------|------------|
| 1 | DP PRE-APP MEETING REVIEW | 2024-03-13 |
| NO. | ISSUE/ REVISION | DATE |

PROJECT
**906 OFFICE
CONVERSION**

PROJECT ADDRESS
906 12 AVENUE SW
CALGARY, ALBERTA

TITLE
PERSPECTIVE VIEWS

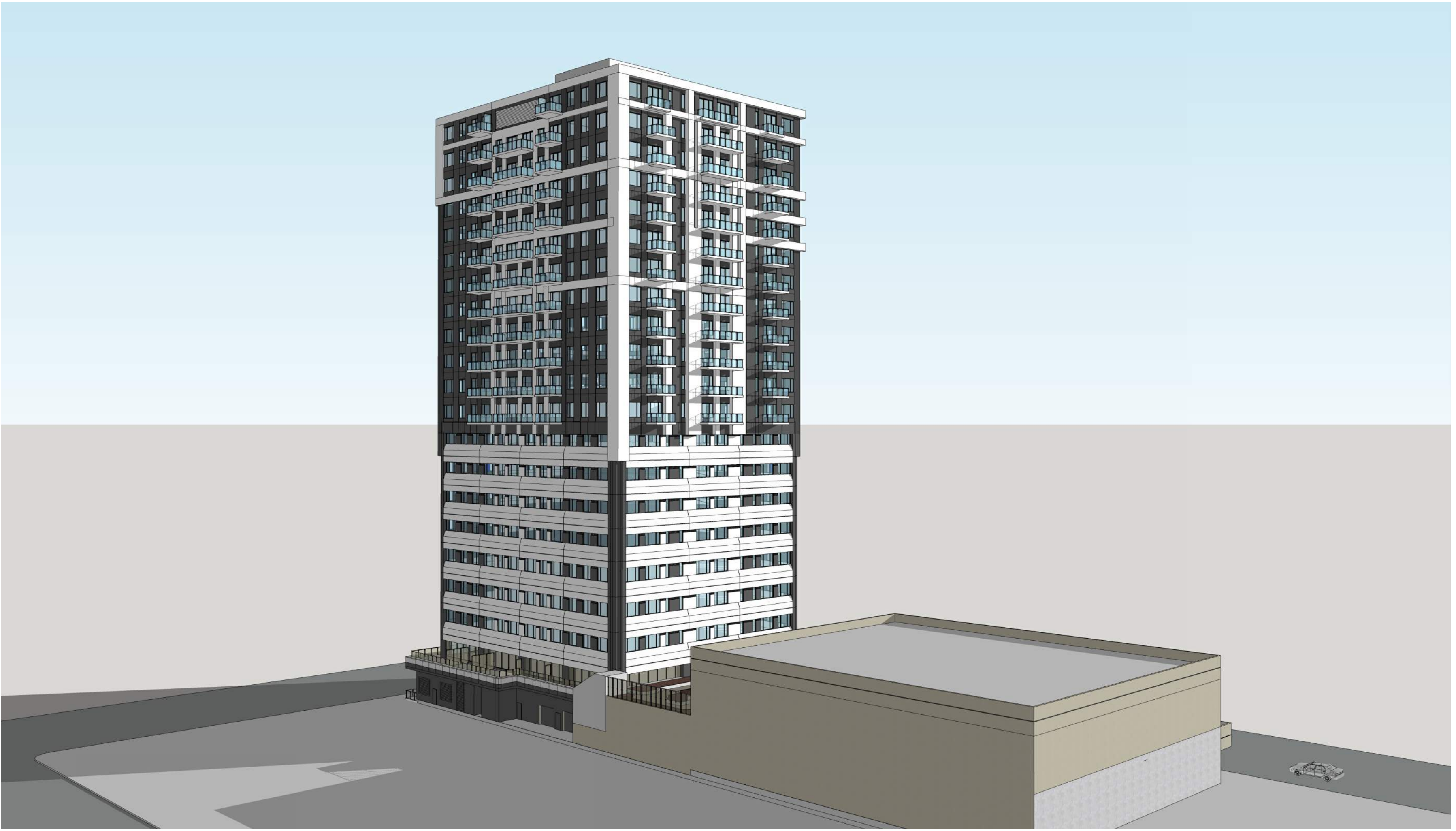
| PROJECT NO. | DRAWN | CHECKED |
|-------------|--------------|---------|
| 223-038 | RP / AA | BR |
| DRAWING NO. | REVISION NO. | |

DP3.01





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NORTH WEST VIEW



NORTH EAST VIEW

| 2 | ISSUED FOR DEVELOPMENT PERMIT | 2024-05-02 |
|-----|-------------------------------|------------|
| 1 | DP PRE-APP MEETING REVIEW | 2024-03-13 |
| NO. | ISSUE/ REVISION | DATE |

PROJECT
**906 OFFICE
CONVERSION**

PROJECT ADDRESS
906 12 AVENUE SW
CALGARY, ALBERTA

TITLE
PERSPECTIVE VIEWS

| | | |
|-------------|---------|---------|
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| 223-038 | RP / AA | BR |

DRAWING NO. **DP3.02** REVISION NO.

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2 ISSUED FOR DEVELOPMENT PERMIT 2024-05-02
1 DP PRE-APP MEETING REVIEW 2024-03-13

| NO. | ISSUE/ REVISION | DATE |
|-----|-----------------|------|
| | | |

PROJECT

906 OFFICE CONVERSION

PROJECT ADDRESS
906 12 AVENUE SW
CALGARY, ALBERTA

TITLE

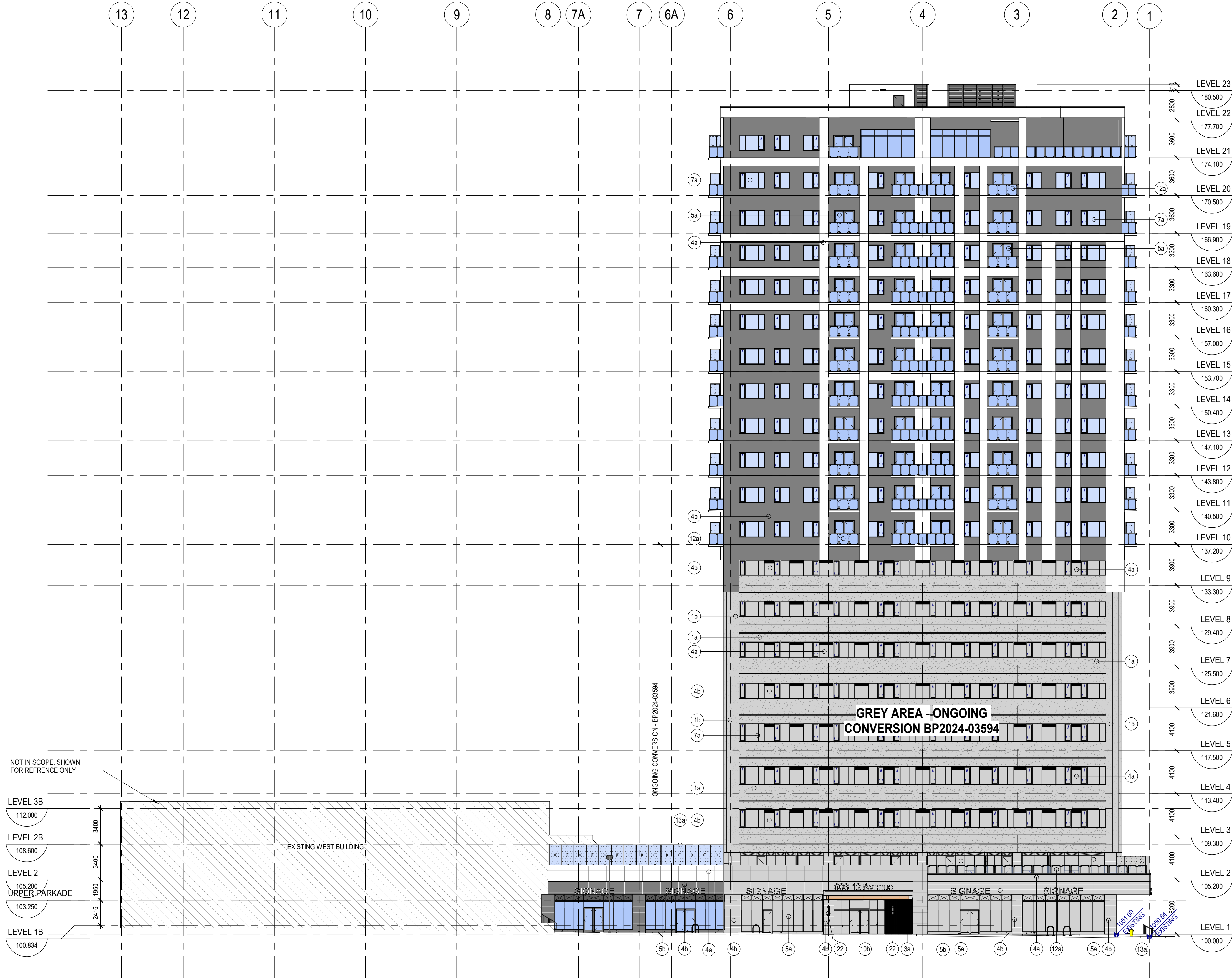
BUILDING ELEVATIONS-SOUTH

| PROJECT NO. | DRAWN | CHECKED |
|-------------|---------|---------|
| 223-038 | RP / AA | BR |

| DRAWING NO. | REVISION NO. |
|-------------|--------------|
| DP3.03 | 2 |

DP3.03

| ELEVATION LEGEND | |
|--|---|
| | AREA N.I.C. |
| ELEVATION GENERAL NOTES | |
| 1. ALL FINISHES TO BE COLOUR SAMPLE APPROVED | |
| MATERIALS LEGEND | |
| TAG | DESCRIPTION |
| 1 | PRECAST CONCRETE PAINTED (EXISTING) |
| 1a | ELASTOMERIC PAINT - SW7006 (EXTRA WHITE) |
| 1b | ELASTOMERIC CHARCOAL PAINT - SW6258 (TRICORNE BLACK) |
| 3 | FLUTED COMPOSITE SIDING |
| 3a | NEWTRECHWOOD COLOUR: TEAK, PROFILE: UH61 |
| 4 | METAL COMPOSITE CLADDING |
| 4a | ALPOLIC RW/ WHITE - LRV 86.34 |
| 4b | ALPOLIC CNC CHARCOAL - LRV 4.20 |
| 4c | ALPOLIC AGT ALUMINUM GREY LRV 31.60 |
| 4d | ALPOLIC QVB ORIENTAL CANE - LRV N/A |
| 5 | THERMALLY BROKEN ALUMINUM CURTAIN WALL SYSTEM |
| 5b | LOUVER SPANDREL METAL - DARK BRONZE |
| 5c | WINDOW WALL SPANDREL METAL - DARK BRONZE |
| 5 | THERMALLY BROKEN ALUMINUM STORE FRONT SYSTEM |
| 5a | DARK BRONZE FRAMES WITH CLEAR GLASS |
| 6 | PREFINISHED METAL GRILLES / LOUVERS |
| 6a | EXTRUDED ALUMINUM GRILLES - COLOUR TO MATCH ADJACENT METAL PANEL |
| 7 | FIBER GLASS EXTERIOR WINDOWS |
| 7a | FIBER GLASS WINDOWS - EXTERIOR COLOUR: BLACK |
| 8 | EXTERIOR DOOR |
| 8a | INSULATED HOLLOW METAL DOOR C/W STEEL FRAME, PAINTED DARK GREY TO MATCH ADJACENT WALL |
| 8b | INSULATED ROLL UP OVERHEAD DOOR |
| 8c | INSULATED ROLL UP OVERHEAD DOOR |
| 9 | PREFINISHED METAL FLASHING |
| 9a | COLOUR: WHITE |
| 10 | SIGNAGE |
| 10a | TENANT SIGNAGE; BACKLIT |
| 10b | MAIN ENTRANCE SIGNAGE |
| 11 | CONCRETE PAINTED (EXISTING) |
| 11a | ELASTOMERIC WHITE PAINT TO MATCH METAL COMPOSITE PANEL |
| 12 | PREFINISHED ALUMINUM & GLASS GUARDRAIL |
| 12a | WHITE FRAMES WITH CLEAR GLASS PANELS |
| 13 | BALCONY PRIVACY SCREEN |
| 13a | PREFINISHED GLAZED ALUMINUM WITH BLACK FRAMES WITH OPAQUE GLASS PANELS |
| 14 | LOUVER ROOF SCREEN |
| 14a | METAL PANEL - DARK GREY |
| 15 | PREFINISHED METAL GUARDRAIL |
| 15a | GREY FRAMES WITH GREY METAL PERFORATED PANELS |
| | MISCELLANEOUS |
| 22 | WALL MOUNTED LIGHT FIXTURE |



1 BUILDING ELEVATION - SOUTH
SCALE: 1:200

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| NO. | ISSUE/REVISION | DATE |
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| 2 | ISSUED FOR DEVELOPMENT PERMIT | 2024-05-02 |
| 1 | DP PRE-APP MEETING REVIEW | 2024-03-13 |

PROJECT
906 OFFICE CONVERSION

PROJECT ADDRESS
906 12 AVENUE SW
CALGARY, ALBERTA

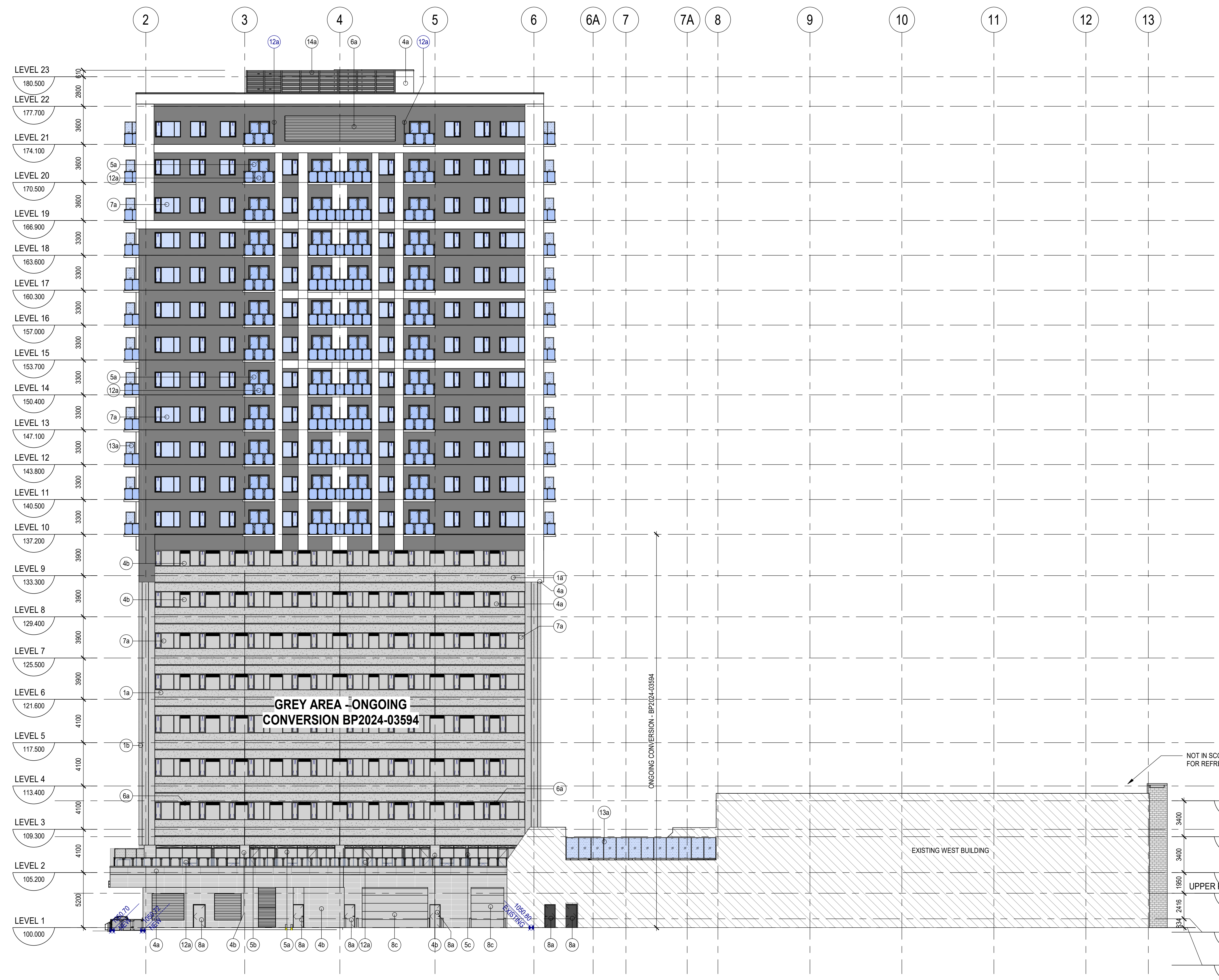
TITLE
BUILDING ELEVATIONS-NORTH

| PROJECT NO. | DRAWN | CHECKED |
|-------------|---------|---------|
| 223-038 | RP / AA | BR |

DRAWING NO. REVISION NO.

DP3.04

| ELEVATION LEGEND | |
|--|---|
| | AREA N.I.C. |
| ELEVATION GENERAL NOTES | |
| 1. ALL FINISHES TO BE COLOUR SAMPLE APPROVED | |
| MATERIALS LEGEND | |
| TAG | DESCRIPTION |
| 1 | PRECAST CONCRETE PAINTED (EXISTING) |
| 1a | ELASTOMERIC PAINT - SW7006 (EXTRA WHITE) |
| 1b | ELASTOMERIC CHARCOAL PAINT - SW6258 (TRICORNE BLACK) |
| 3 | FLUTED COMPOSITE SIDING |
| 3a | NEWTRECHWOOD COLOUR: TEAK, PROFILE: UH61 |
| 4 | METAL COMPOSITE CLADDING |
| 4a | ALPOLIC RWW WHITE - LRV 89.34 |
| 4b | ALPOLIC CNC CHARCOAL - LRV 4.20 |
| 4c | ALPOLIC AGT ALUMINUM GREY LRV 31.60 |
| 4d | ALPOLIC QVB ORIENTAL CANE - LRV N/A |
| 5 | THERMALLY BROKEN ALUMINUM CURTAIN WALL SYSTEM |
| 5b | LOUVER SPANDREL METAL - DARK BRONZE |
| 5c | WINDOW WALL SPANDREL METAL - DARK BRONZE |
| 5 | THERMALLY BROKEN ALUMINUM STORE FRONT SYSTEM |
| 5a | DARK BRONZE FRAMES WITH CLEAR GLASS |
| 6 | PREFINISHED METAL GRILLES / LOUVERS |
| 6a | EXTRUDED ALUMINUM GRILLES - COLOUR TO MATCH ADJACENT METAL PANEL |
| 7 | FIBER GLASS EXTERIOR WINDOWS |
| 7a | FIBER GLASS WINDOWS - EXTERIOR COLOUR: BLACK |
| 8 | EXTERIOR DOOR |
| 8a | INSULATED HOLLOW METAL DOOR C/W STEEL FRAME, PAINTED DARK GREY TO MATCH ADJACENT WALL |
| 8b | INSULATED ROLL UP OVERHEAD DOOR |
| 8c | INSULATED ROLL UP OVERHEAD DOOR |
| 9 | PREFINISHED METAL FLASHING |
| 9a | COLOUR: WHITE |
| 10 | SIGNAGE |
| 10a | TENANT SIGNAGE; BACKLIT |
| 10b | MAIN ENTRANCE SIGNAGE |
| 11 | CONCRETE PAINTED (EXISTING) |
| 11a | ELASTOMERIC WHITE PAINT TO MATCH METAL COMPOSITE PANEL |
| 12 | PREFINISHED ALUMINUM & GLASS GUARDRAIL |
| 12a | WHITE FRAMES WITH CLEAR GLASS PANELS |
| 13 | BALCONY PRIVACY SCREEN |
| 13a | PREFINISHED GLAZED ALUMINUM WITH BLACK FRAMES WITH OPAQUE GLASS PANELS |
| 14 | LOUVER ROOF SCREEN |
| 14a | METAL PANEL - DARK GREY |
| 15 | PREFINISHED METAL GUARDRAIL |
| 15a | GREY FRAMES WITH GREY METAL PERFORATED PANELS |
| | MISCELLANEOUS |
| 22 | WALL MOUNTED LIGHT FIXTURE |



1 BUILDING ELEVATION - NORTH
SCALE: 1 : 200

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2 ISSUED FOR DEVELOPMENT PERMIT 2024-05-02
1 DP PRE-APP MEETING REVIEW 2024-03-13

| NO. | ISSUE/REVISION | DATE |
|-----|-------------------------------|------------|
| 2 | ISSUED FOR DEVELOPMENT PERMIT | 2024-05-02 |
| 1 | DP PRE-APP MEETING REVIEW | 2024-03-13 |

PROJECT
**906 OFFICE
CONVERSION**

PROJECT ADDRESS
906 12 AVENUE SW
CALGARY, ALBERTA

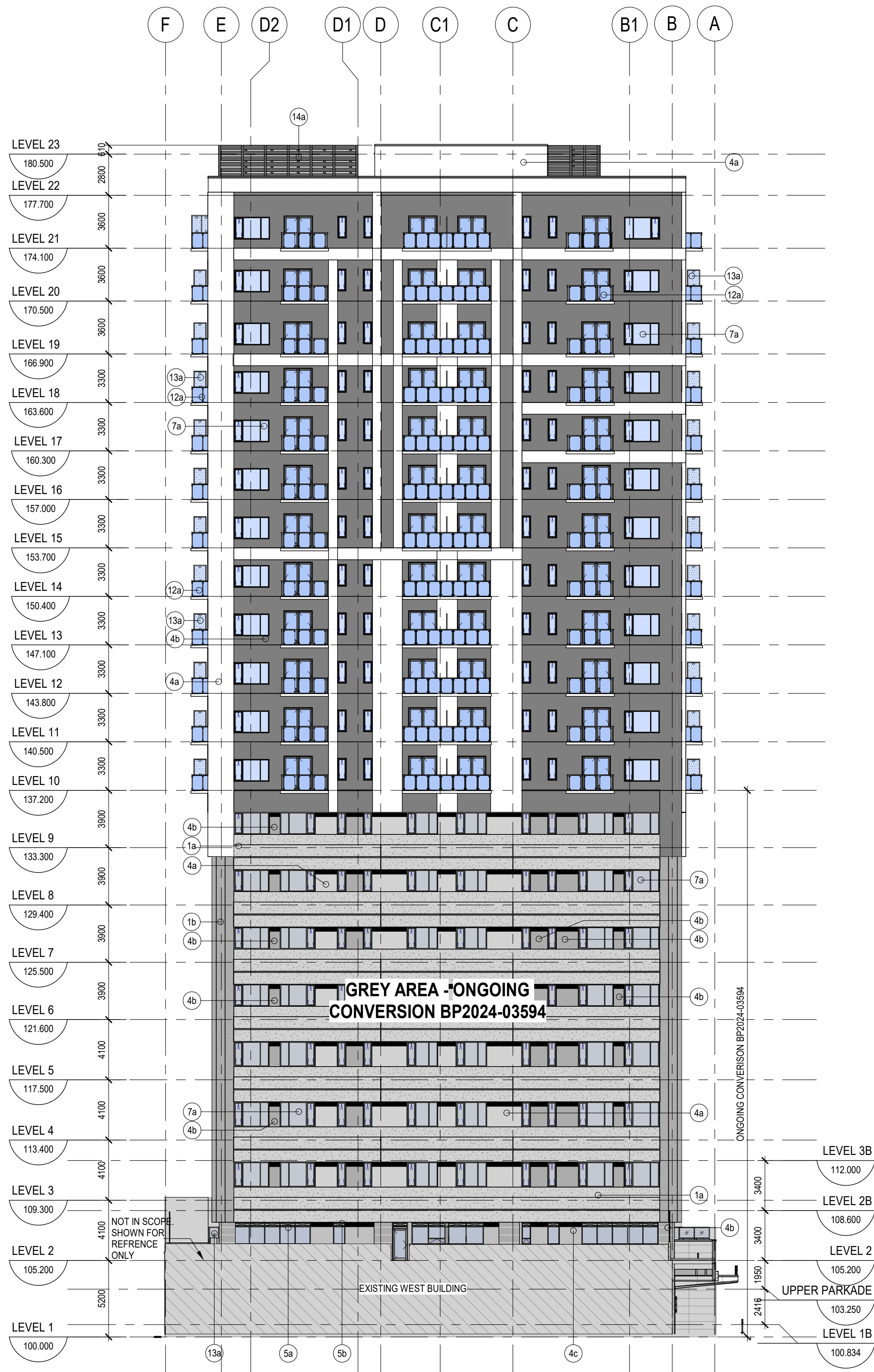
TITLE
**BUILDING
ELEVATIONS - WEST
& EAST**

| PROJECT NO. | DRAWN | CHECKED |
|-------------|---------|---------|
| 223-038 | RP / AA | BR |

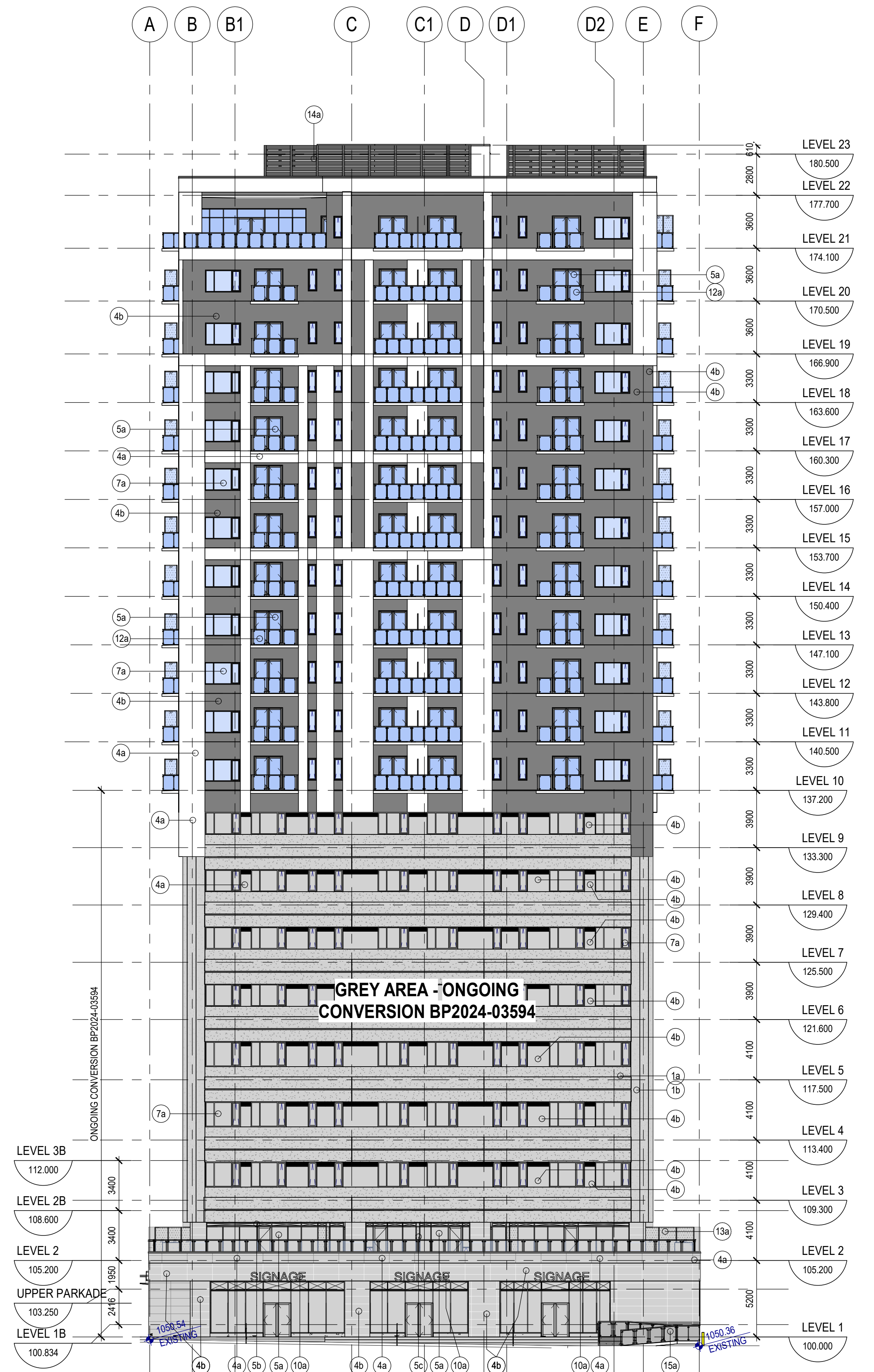
| DRAWING NO. | REVISION NO. |
|-------------|--------------|
| DP3.05 | 2 |

DP3.05

| ELEVATION LEGEND | |
|--|--|
| | AREA N.I.C. |
| ELEVATION GENERAL NOTES | |
| 1. ALL FINISHES TO BE COLOUR SAMPLE APPROVED | |
| MATERIALS LEGEND | |
| TAG | DESCRIPTION |
| 1 | PRECAST CONCRETE PAINTED (EXISTING) |
| 1a | ELASTOMERIC PAINT - SW7006 (EXTRA WHITE) |
| 1b | ELASTOMERIC CHARCOAL PAINT - SW6258 (TRICORNE BLACK) |
| 3 | FLUTED COMPOSITE SIDING |
| 3a | NEWTRECHWOOD COLOUR: TEAK, PROFILE: UH61 |
| 4 | METAL COMPOSITE CLADDING |
| 4a | ALPOLIC RVW WHITE - LRV 86.34 |
| 4b | ALPOLIC CNC CHARCOAL - LRV 4.20 |
| 4c | ALPOLIC AGT ALUMINUM GREY LRV 31.60 |
| 4d | ALPOLIC QVB ORIENTAL CANE - LRV N/A |
| 5 | THERMALLY BROKEN ALUMINUM CURTAIN WALL SYSTEM |
| 5b | LOUVER SPANDREL METAL - DARK BRONZE |
| 5c | WINDOW WALL SPANDREL METAL - DARK BRONZE |
| 5 | THERMALLY BROKEN ALUMINUM STORE FRONT SYSTEM |
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| 6 | PRE-FINISHED METAL GRILLES / LOUVERS |
| 6a | EXTRUDED ALUMINUM GRILLES - COLOUR TO MATCH ADJACENT METAL PANEL |
| 7 | FIBER GLASS EXTERIOR WINDOWS |
| 7a | FIBER GLASS WINDOWS - EXTERIOR COLOUR: BLACK |
| 8 | EXTERIOR DOOR |
| 8a | INSULATED HOLLOW METAL DOOR CW STEEL FRAME, PAINTED DARK GREY TO MATCH ADJACENT WALL |
| 8b | INSULATED ROLL UP OVERHEAD DOOR |
| 8c | INSULATED ROLL UP OVERHEAD DOOR |
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| 9a | COLOUR: WHITE |
| 10 | SIGNAGE |
| 10a | TENANT SIGNAGE, BACKLIT |
| 10b | MAIN ENTRANCE SIGNAGE |
| 11 | CONCRETE PAINTED (EXISTING) |
| 11a | ELSTOMERIC WHITE PAINT TO MATCH METAL COMPOSITE PANEL |
| 12 | PRE-FINISHED ALUMINUM & GLASS GUARDRAIL |
| 12a | WHITE FRAMES WITH CLEAR GLASS PANELS |
| 13 | BALCONY PRIVACY SCREEN |
| 13a | PRE-FINISHED GLAZED ALUMINUM WITH BLACK FRAMES WITH OPAQUE GLASS PANELS |
| 14 | LOUVER ROOF SCREEN |
| 14a | METAL PANEL - DARK GREY |
| 15 | PRE-FINISHED METAL GUARDRAIL |
| 15a | GREY FRAMES WITH GREY METAL PERFORATED PANELS |
| MISCELLANEOUS | |
| 22 | WALL MOUNTED LIGHT FIXTURE |



1 BUILDING ELEVATION - WEST
DP3.05 SCALE: 1:200



2 BUILDING ELEVATION - EAST
DP3.05 SCALE: 1:200



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| | | |
|---|-------------------------------|------------|
| 2 | ISSUED FOR DEVELOPMENT PERMIT | 2024-05-02 |
| 1 | DP PRE-APP MEETING REVIEW | 2024-03-13 |

PROJECT
906 OFFICE CONVERSION

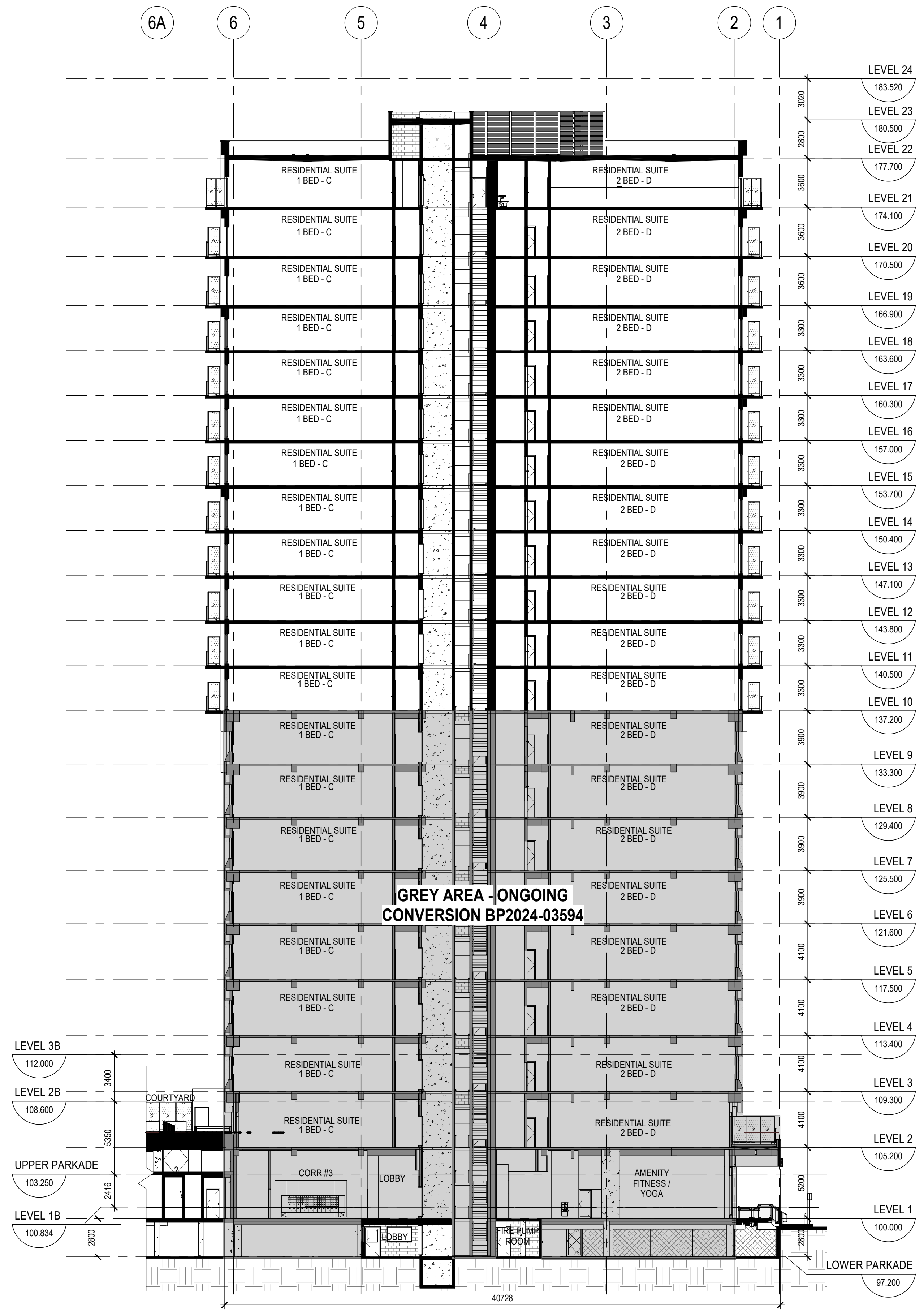
PROJECT ADDRESS
906 12 AVENUE SW
CALGARY, ALBERTA

TITLE
BUILDING SECTIONS

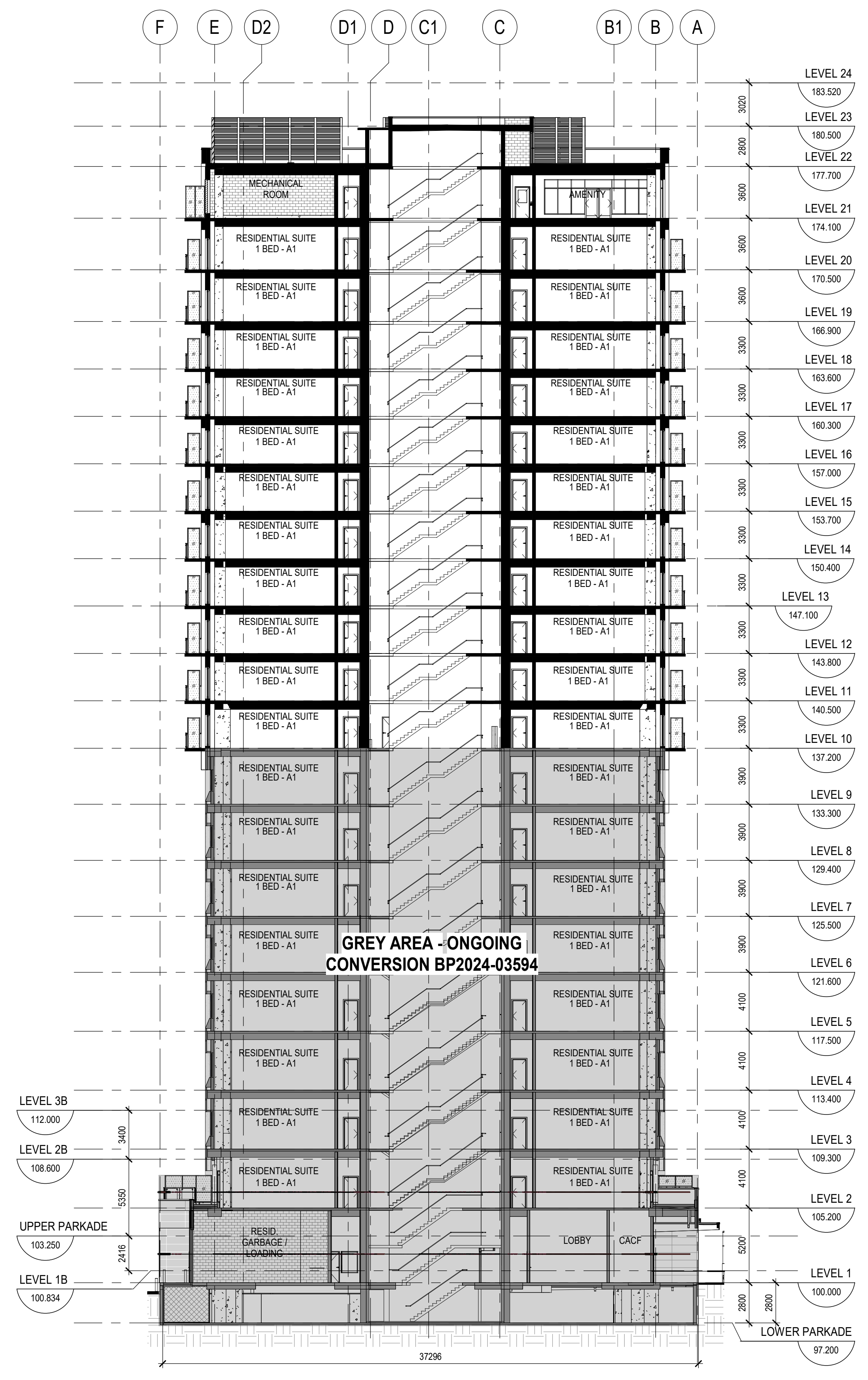
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| PROJECT NO. | DRAWN | CHECKED |
| 223-038 | RP / AA | BR |

| | |
|-------------|--------------|
| DRAWING NO. | REVISION NO. |
| DP4.01 | 2 |

DP4.01



2 DP BUILDING SECTION 2
DP4.01 SCALE: 1:200

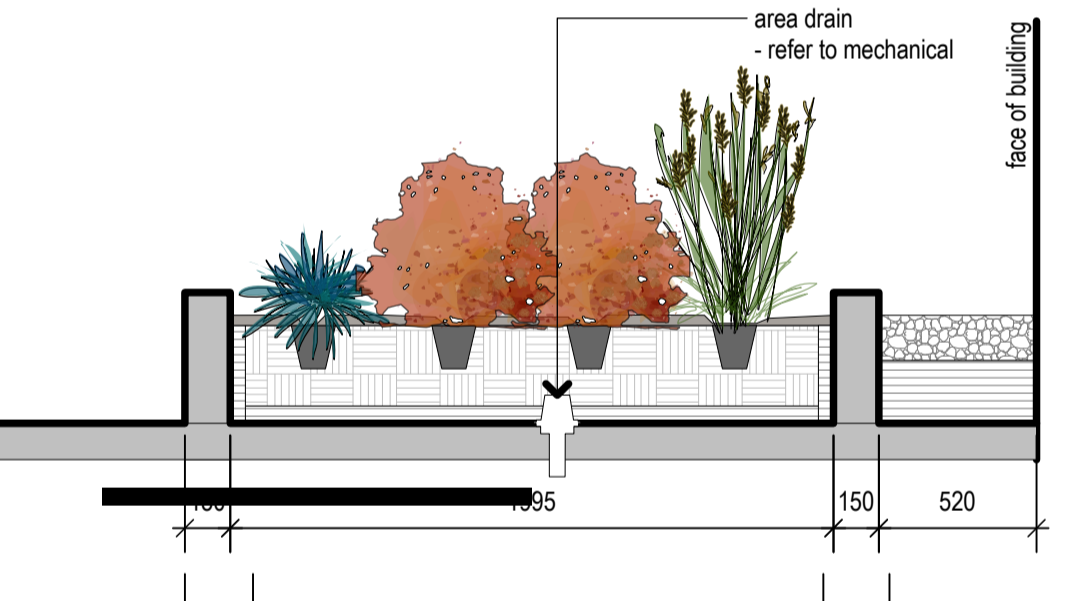


1 DP BUILDING SECTION 1
DP4.01 SCALE: 1:200

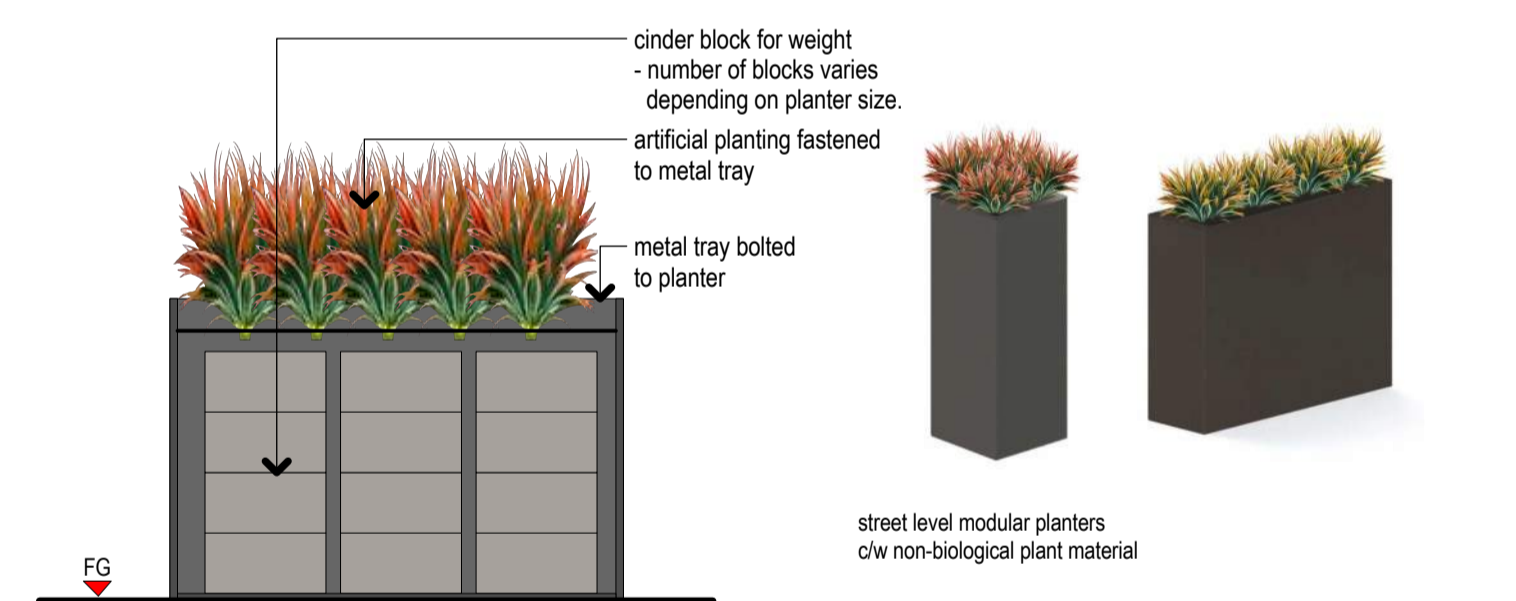
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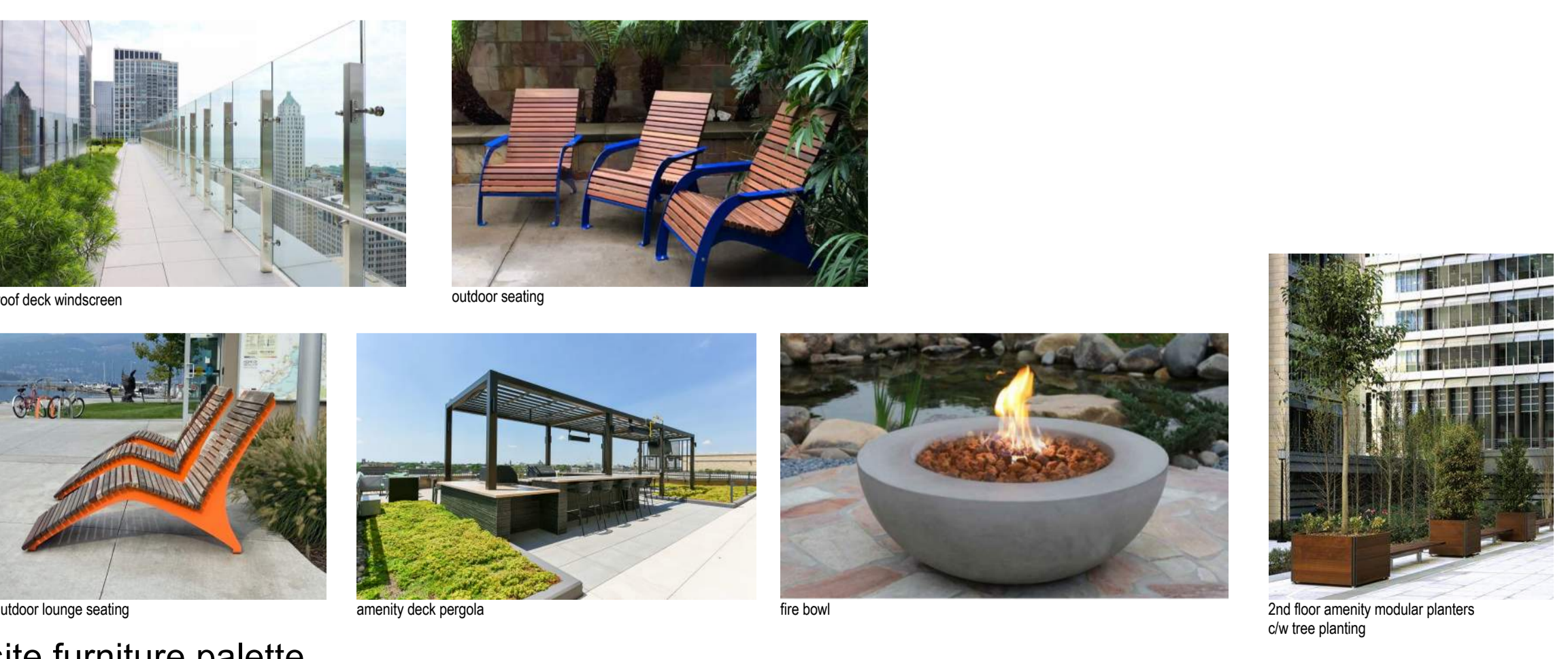
1 roof deck amenity space
Scale: 1:150



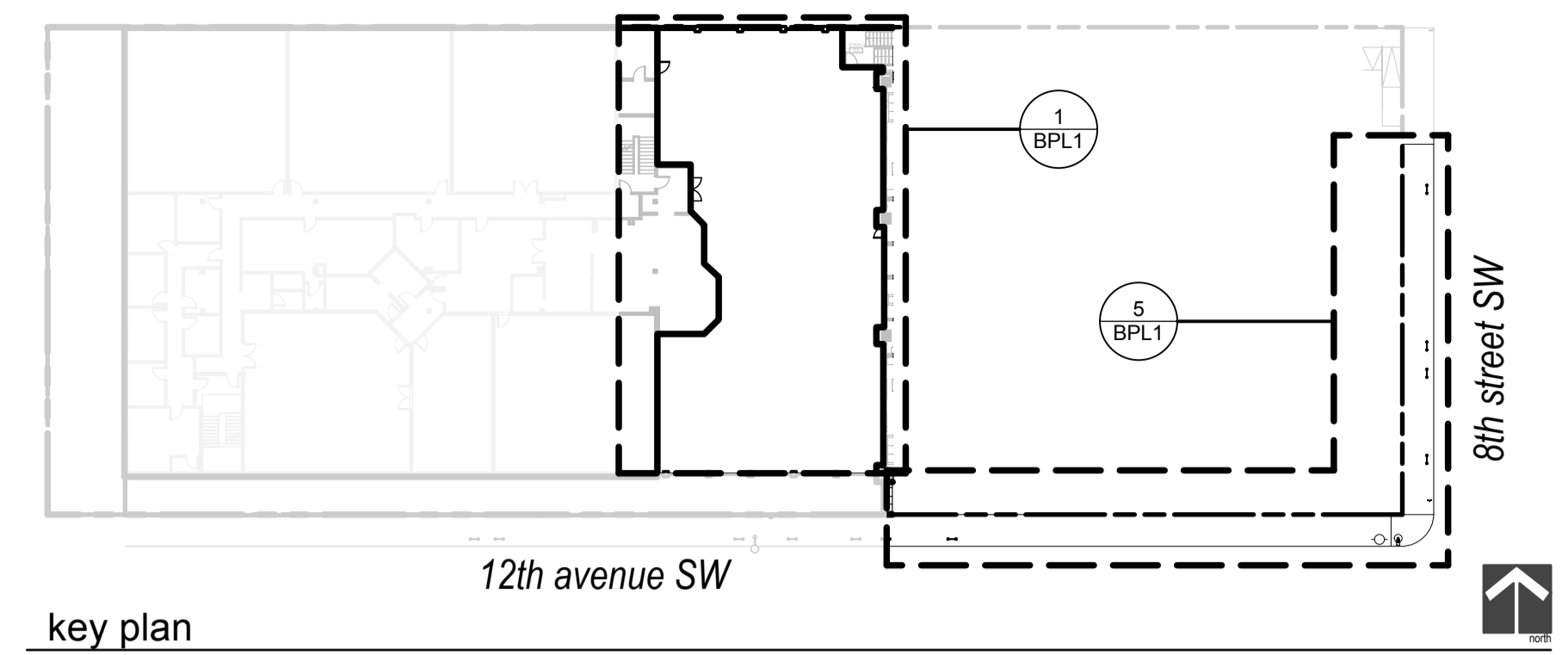
2 rooftop planter/seating wall section
Scale: 1:25



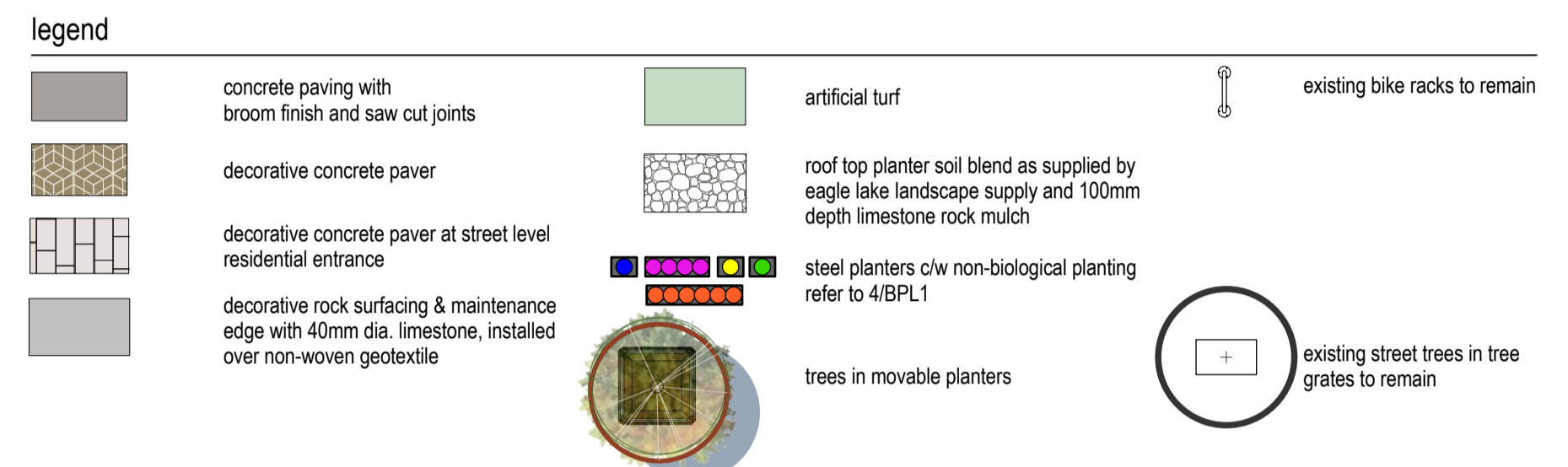
3 street level movable modular planter
Scale: 1:25



site furniture palette



key plan

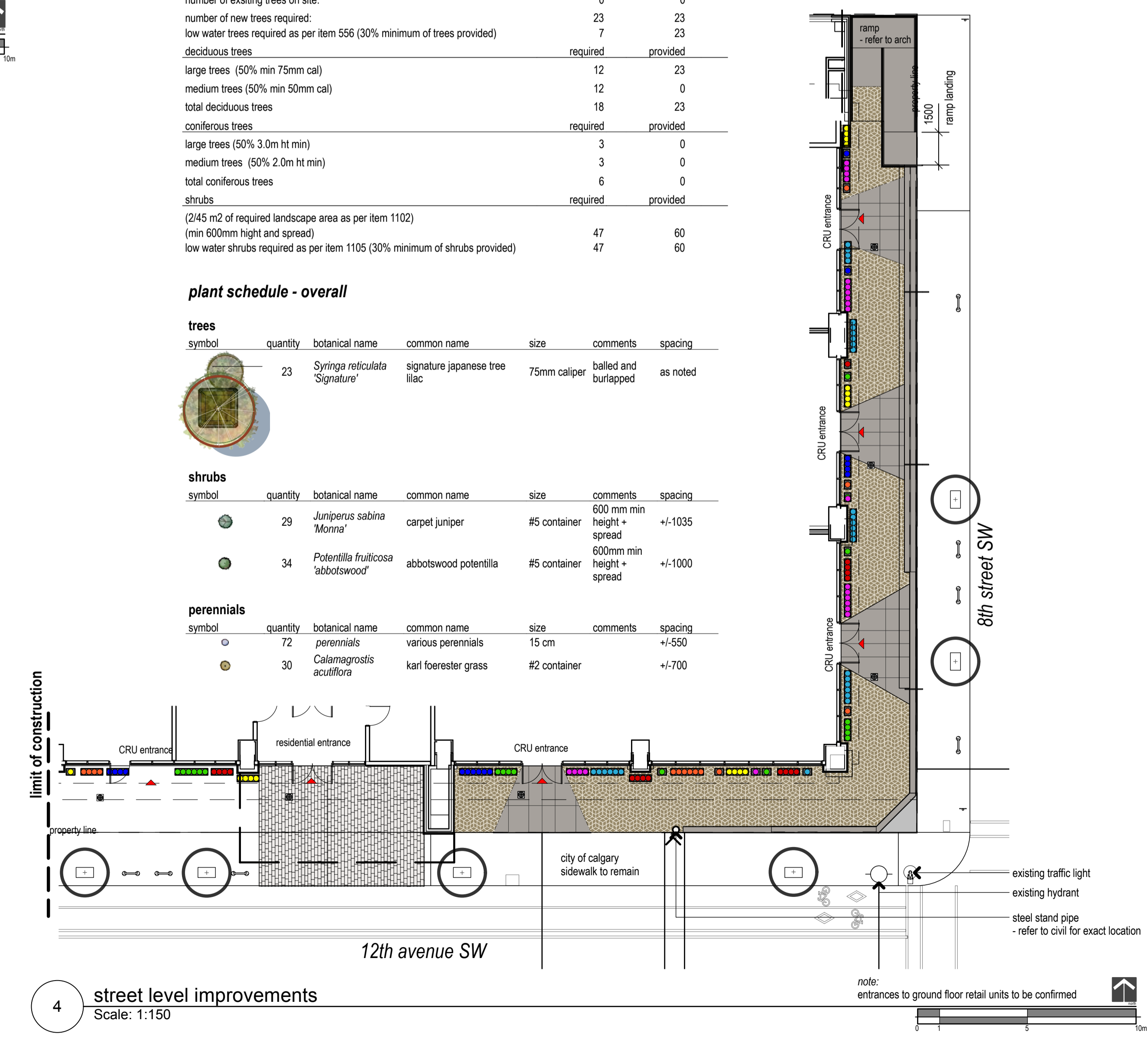


land use bylaw landscape requirements

| City Of Calgary Zoning | C-2 | required | provided |
|--|-----|--------------------|-----------------|
| landscape area | | | |
| total parcel area | | 3,899.00 m2 | |
| landscape area provided for C-2 | | | 820 |
| total number of trees | | required | provided |
| 1/35 m2 of provided landscape area | | 23 | 23 |
| number of existing trees on site: | | 0 | 0 |
| number of new trees required: | | 23 | 23 |
| low water trees required as per item 556 (30% minimum of trees provided) | | 7 | 23 |
| deciduous trees | | required | provided |
| large trees (50% min 75mm cal) | | 12 | 23 |
| medium trees (50% min 50mm cal) | | 12 | 0 |
| total deciduous trees | | 18 | 23 |
| coniferous trees | | required | provided |
| large trees (50% 3.0m ht min) | | 3 | 0 |
| medium trees (50% 2.0m ht min) | | 3 | 0 |
| total coniferous trees | | 6 | 0 |
| shrubs | | required | provided |
| (2/45 m2 of required landscape area as per item 1102) (min 600mm height and spread) | | 47 | 60 |
| low water shrubs required as per item 1105 (30% minimum of shrubs provided) | | 47 | 60 |

plant schedule - overall

| trees | symbol | quantity | botanical name | common name | size | comments | spacing |
|------------|--------|----------|---|-------------------------------|--------------|----------------------------|----------|
| | | 23 | <i>Syringa reticulata</i> 'Signature' | signature japanese tree lilac | 75mm caliper | balled and burlapped | as noted |
| shrubs | symbol | quantity | botanical name | common name | size | comments | spacing |
| | | 29 | <i>Juniperus sabinna</i> 'Manna' | carpet juniper | #5 container | 600 mm min height + spread | +/-1035 |
| | | 34 | <i>Potentilla fruticosa</i> 'abbotswood' | abbotswood potentilla | #5 container | 600mm min height + spread | +/-1000 |
| perennials | symbol | quantity | botanical name | common name | size | comments | spacing |
| | | 72 | various perennials | various perennials | 15 cm | | +/-550 |
| | | 30 | <i>Calamagrostis acutiflora</i> | karl foerester grass | #2 container | | +/-700 |



4 street level improvements
Scale: 1:150

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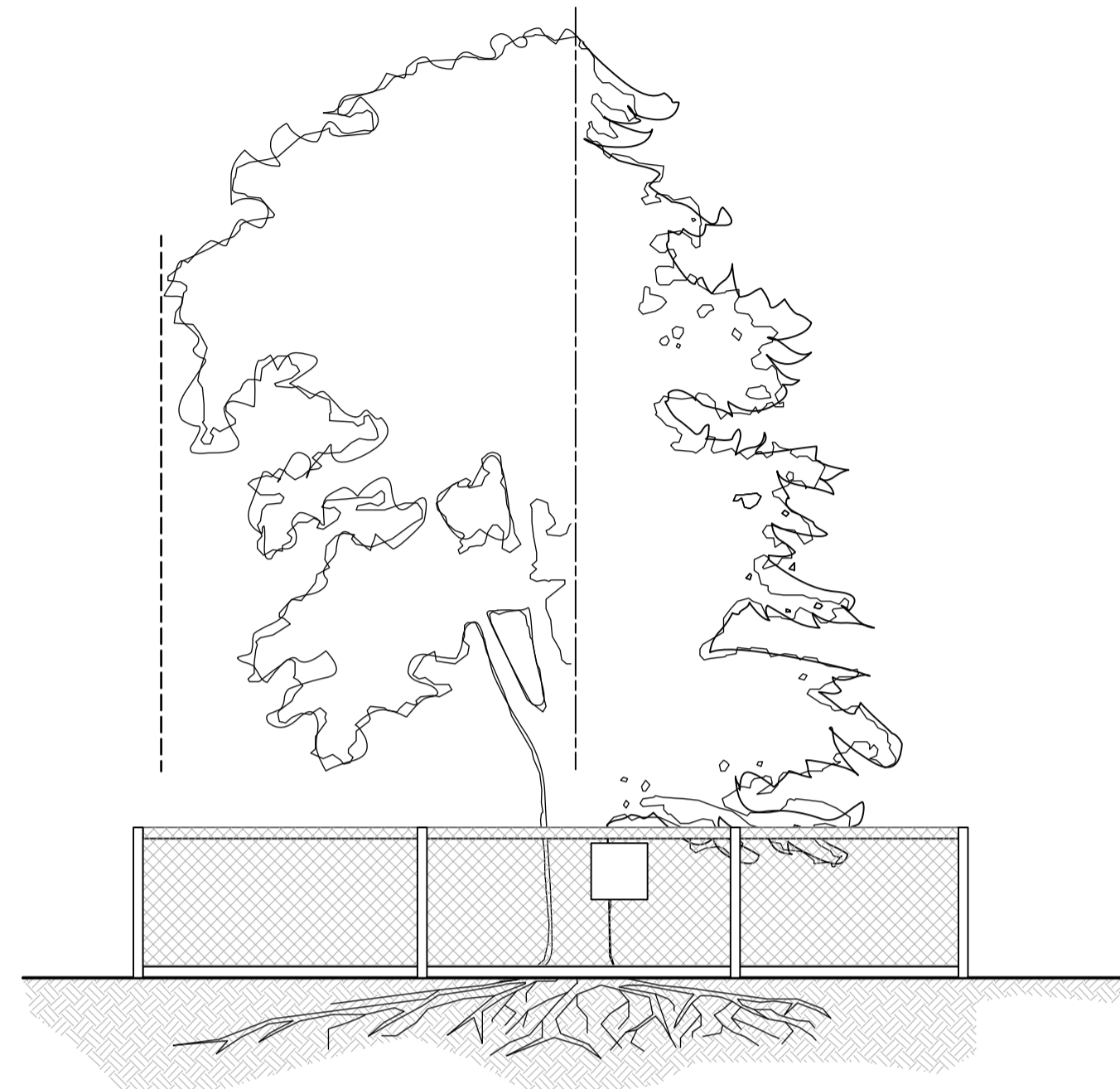
EIGHT ONE EIGHT STUDIO
PLANNING + DESIGN COLLABORATIVE
1812 14a street sw calgary, ab t2t 3w6 p 403.244.8188 e info@818studio.ca

| number | revision | date | by | approved |
|------------|----------------------------|------------|-----|--------------|
| 2 | architectural base updates | 2024-04-03 | hwl | hwl |
| 1 | updated arch base | 2024-02-13 | hwl | hwl |
| 2 | development permit | | | 2024-04-03 |
| 1 | building permit | | | 2024-02-13 |
| issued for | | | | date (y.m.d) |

project
906 12 Ave Renovations
1119 8 st. SW Calgary, AB

drawing
development permit

| drawn | checked | date | approved | project number | sheet |
|----------------|---------|------------|----------|----------------|-------|
| hwl | rbg | 2024/01/23 | rbg | 0457.3 | DPL1 |
| scale as noted | | | | | |

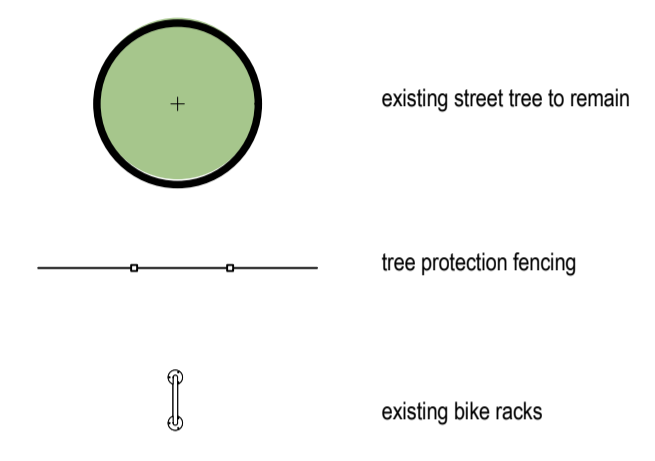


5 tree protection - typ.
Scale: 1:50

tree protection notes

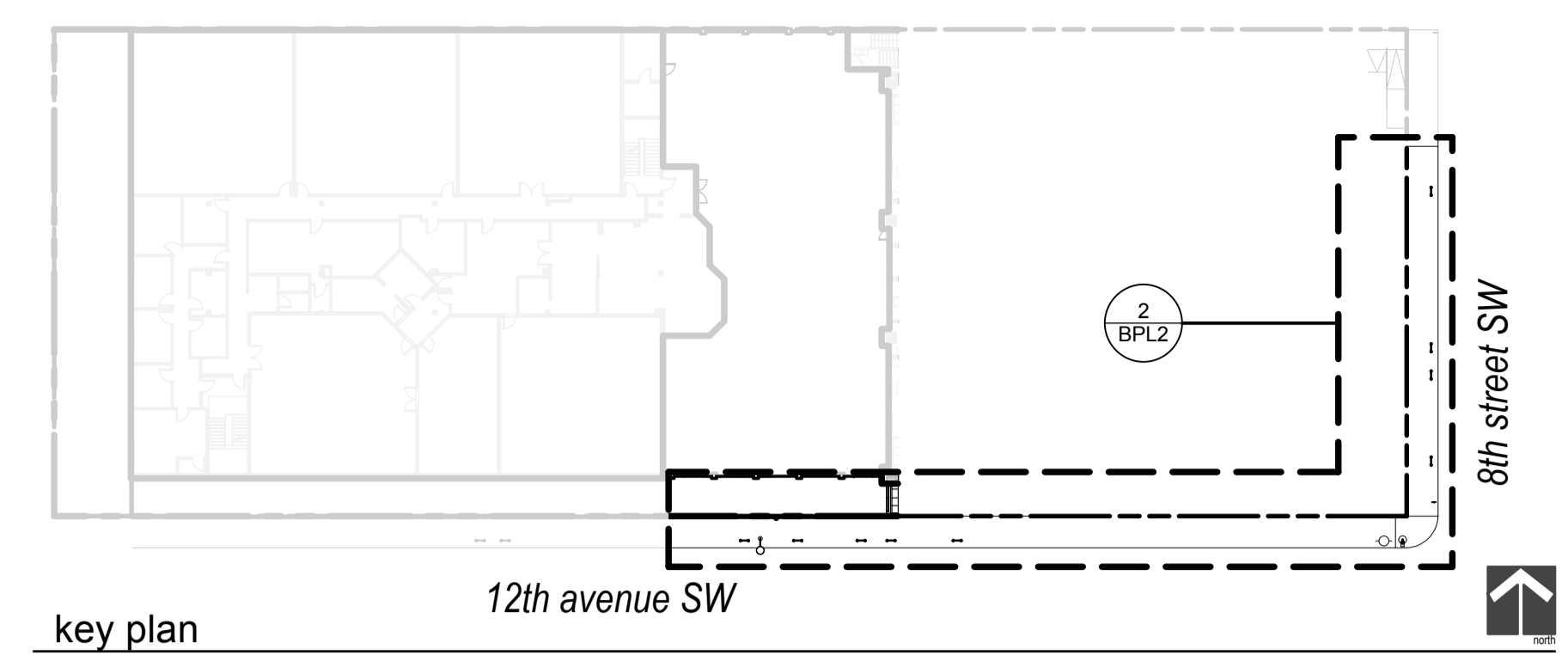
- All maintenance required for the existing trees is to be performed by a certified horticultural technician or landscape journeyman.
- All pruning work to be done by a certified arborist.
- All remaining trees to be regularly maintained for a minimum of two growing seasons after construction completion.
- Any branches broken or significantly damaged as a result of construction shall be pruned.
- Contractor to arrange for minimum weekly watering during construction period. Trees to be watered manually from a water truck, contractor to submit water log for review.
- Contractor to prune canopies of existing trees to ensure there are no conflicts with adjacent construction work.
- Contractor to root prune any trees to remain whose roots will be disturbed by construction.
- All trees to be staked or guyed as appropriate to ensure stability during construction. Staking of established public trees is not required, unless adjacent construction will affect the stability of the existing tree in any way.
- Any damage occurring to the landscape or trees on public lands as a result of the construction activities will be repaired by the Contractor at no cost to the Owner.
- Contractor shall notify Urban Forestry (311) within two (2) working days of any suspected damage to trees resulting from the construction activities.
- Contact information for Urban Forestry is 3-1-1. When speaking with 3-1-1 service representative reference public trees and development and include the Development Permit number.
- Contractor to provide protection signs at each east and west face of snow fence, minimum of 450mm x 450mm size. Sign shall read "Warning - Tree Protection Zone", and list Contractor's contact information. Coordinate signage with City of Calgary Parks.
- Contractor will be required to compensate Urban Forestry for each tree on public lands which is destroyed through construction activities, outside of trees identified as to be removed.
- Public trees located on the city boulevard adjacent to site shall be retained and protected during all phases of construction, by installing a temporary fence 4 metres from the trunk or beyond the extent of the branches ("drip line") and ensuring no construction materials are stored inside this fence.
- Snow fence surrounding tree protection zone shall be a minimum of 1.2 meters high and orange in colour. Contractor to ensure fencing remains in a taut, upright condition throughout construction period, cross brace as required to support fencing.
- Stakes to be removed two growing seasons after construction completion or when root system has sufficiently reestablished.
- Use metal construction fence or a wooden framed structure skited with orange safety fence as a tree protection barrier.
- Tree protection is limited to those existing trees within the proposed limits of construction. Existing plant materials outside this limit will be unaffected by the work.

tree protection legend



existing trees schedule

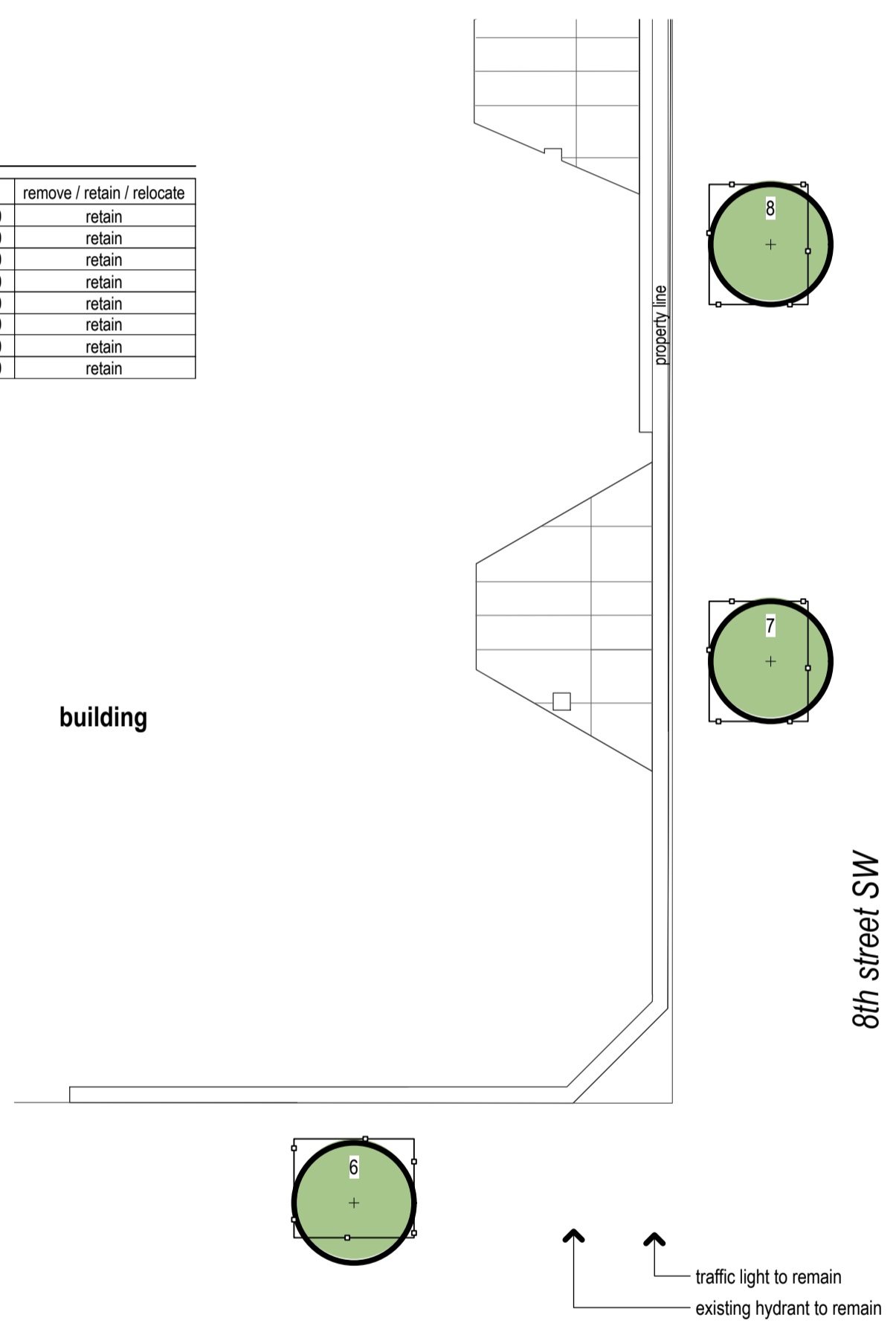
| # | tree No./serial | description | canopy size (M) | height (M) | dbh (MM) | value | remove / retain / relocate |
|---|-----------------|-------------------|-----------------|------------|----------|----------|----------------------------|
| 1 | T-51420820 | prairie spire ash | 2.0 | 2.5 | 50 | \$565.00 | retain |
| 2 | T-51308240 | prairie spire ash | 1.5 | 2.5 | 50 | \$565.00 | retain |
| 3 | T-51382449 | prairie spire ash | 1.0 | 2.5 | 50 | \$565.00 | retain |
| 4 | T-51432860 | prairie spire ash | 1.5 | 2.5 | 50 | \$565.00 | retain |
| 5 | T-51382477 | prairie spire ash | 1.5 | 2.5 | 50 | \$565.00 | retain |
| 6 | T-51308243 | prairie spire ash | 2.0 | 2.5 | 50 | \$565.00 | retain |
| 7 | T-51308245 | prairie spire ash | 1.5 | 2.5 | 50 | \$565.00 | retain |
| 8 | T-51308244 | prairie spire ash | 1.5 | 2.5 | 50 | \$565.00 | retain |



key plan

12th avenue SW

8th street SW



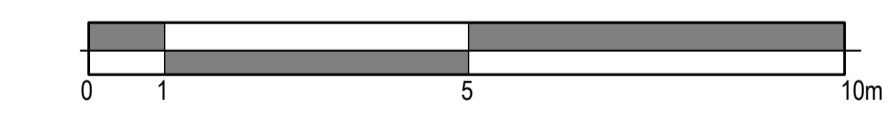
building

12th avenue SW

8th street SW

limit of tree protection

6 street level tree protection - east
Scale: 1:100



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EIGHT ONE EIGHT STUDIO

PLANNING + DESIGN COLLABORATIVE

1812 14a street sw p 403.244.8188
calgary, ab t2t 3w6 e info@818studio.ca

| number | revision | date | by | approved |
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| 1 | building permit | 2024-02-13 | hwl | hwl |
| 2 | development permit | 2024-04-03 | | |
| 1 | building permit | 2024-02-13 | | |

project
906 12 Ave Renovations
1119 8 st. SW Calgary, AB

drawing
tree protection

| | | | |
|---------|------------|----------------|--------|
| drawn | hwl | approved | rbg |
| checked | rbg | project number | 0457.3 |
| date | 2024/01/23 | sheet | DPL3 |
| scale | as noted | | |