



ARCHITECTURAL

- A000 COVER
- A001 GENERAL
- A100 PROPOSED SITE PLAN
- A101 PROPOSED PARKING + GARBAGE PLAN
- A102 PROPOSED LANDSCAPE PLAN
- A103 PROPOSED SITE DETAILS
- A200 PROPOSED BASEMENT FLOOR PLAN
- A201 PROPOSED GROUND FLOOR PLAN
- A202 PROPOSED MAIN FLOOR PLAN
- A203 PROPOSED RESIDENTIAL FLOOR PLAN
- A300 PROPOSED ELEVATIONS
- A400 PROPOSED BUILDING SECTIONS



Address:
SUITE #204,
337 17th AVE SW
CALGARY, AB
T2S 0A5

Phone:
403.269.7782

Website:
www.cync.ca

**2310 2ND ST SW,
CALGARY, AB**

PROJECT No. 23-020

PHASE - | 2024-03-21 | ISSUED FOR DP

Grey Nuns Conversion

PROJECT TYPE: 8 STOREY CONVERSION TO MIXED-USE MULTI-RESIDENTIAL RENTAL PROPERTY
LAND USE DISTRICT: DIRECT CONTROL 41D2009 SITE 2
ADDRESS: 2310 2 ST SW, MISSION
LEGAL DESCRIPTION: PLAN 9210957 BLOCK 1A

SITE (PARCEL) AREA = 29,875 m²

TOTAL SITE 2 BUILDING AREA = 25,498 m²

TOTAL GREY NUNS BUILDING AREA = 8,503 m²

GROUND FLOOR AREA = 1,530 m²

- 304 m² OFFICE
- 531 m² RETAIL
- 235 m² RESIDENTIAL INDOOR AMENITY SPACE

MAIN FLOOR AREA = 1,513 m²

- 943 m² OFFICE

TOTAL PROPOSED OFFICE AREA = 1,247 m²
 TOTAL PROPOSED RETAIL AREA = 531 m²
 TOTAL PROPOSED RESIDENTIAL AREA = 5,695 m²
 TOTAL PROPOSED RESIDENTIAL UNITS = 78

PER THE DIRECT CONTROL DISTRICT SECTION 15 - THE BUILDING SETBACK AREA MUST HAVE A MINIMUM DEPTH OF 3.0 METRES.

PER THE DIRECT CONTROL DISTRICT SECTION 14 - UNLESS OTHERWISE SPECIFIED, THE RULES OF MULTI-RESIDENTIAL - HIGH DENSITY HIGH RISE (M-H3f5.5h61) DISTRICT OF BYLAW 1P2007 APPLY TO SITE 2 IN THIS DIRECT CONTROL DISTRICT.

- MAX F.A.R. = 5.4
- MAX BUILDING HEIGHT = 61.0 m

AS THIS IS A CONVERSION OF AN EXISTING BUILDING, THE F.A.R. AND BUILDING HEIGHT IS NOT CHANGING

- EXISTING TOTAL SITE 2 F.A.R. = $25498 \text{ m}^2 / 29875 \text{ m}^2 = 0.85$
- EXISTING GREY NUNS F.A.R. = $8255 \text{ m}^2 / 29875 \text{ m}^2 = 0.28$
- EXISTING GREY NUNS BUILDING HEIGHT = 31.0 m

SEE A102 - PROPOSED PARKING PLAN FOR PARKING STUDY AND PARKING REQUIREMENT DETAILS

PART 3 RULES GOVERNING ALL DISTRICTS DIVISION 6

SECTION 123
(5) - IN COMMERCIAL, INDUSTRIAL, MIXED USE, AND SPECIAL PURPOSE DISTRICTS THE MINIMUM REQUIREMENT FOR LOADING STALLS IS:
(a) - 1.0 LOADING STALL PER 9300.0 SQUARE METRES OF GROSS FLOOR AREA WHERE THE CUMULATIVE GROSS FLOOR AREA OF ALL BUILDINGS ON A PARCEL IS GREATER THAN 930.0 SQUARE METRES.

THE EXISTING LOADING STALLS ON THE NORTH SIDE OF THE SITE ARE INTENDED TO BE SHARED WITH THIS BUILDING

REQUIRED LOADING STALLS FOR SITE 2 BUILDINGS: $25498 \text{ m}^2 / 9300 \text{ m}^2 = 2.7$ STALLS
EXISTING LOADING STALLS = 4 STALLS

PART 6 MULTI-RESIDENTIAL DISTRICTS DIVISION 1

SECTION 566

- (1) - GARBAGE CONTAINERS AND WASTE MATERIAL MUST BE STORED, PRIOR TO COLLECTION, EITHER:
(a) - INSIDE A BUILDING; OR
(b) - IN A GARBAGE CONTAINER ENCLOSURE APPROVED BY THE DEVELOPMENT AUTHORITY.

SECTION 567 - RECYCLING FACILITIES MUST BE PROVIDED FOR EVERY MULTI-RESIDENTIAL DEVELOPMENT

THE EXISTING GARBAGE AND RECYCLING FACILITIES ON THE NORTH SIDE OF THE SIDE ARE INTENDED TO BE SHARE WITH THIS BUILDING.

SEE A104 - PROPOSED LANDSCAPE PLAN FOR LANDSCAPING REQUIREMENT DETAILS

PART 6 MULTI-RESIDENTIAL DISTRICTS DIVISION 1

SECTION 557

- (3) - AMENITY SPACE MAY BE PROVIDED AS COMMON AMENITY SPACE, PRIVATE AMENITY SPACE, OR A COMBINATION OF BOTH:
 - (a) - THE REQUIRED MINIMUM AMENITY SPACE IS 5.0 SQUARE METRES PER UNIT.
 - (b) - WHEN THE PRIVATE AMENITY SPACE PROVIDED IS 5.0 SQUARE METRES OR LESS PER UNIT, THAT SPECIFIC AREA WILL BE INCLUDED TO SATISFY THE AMENITY SPACE REQUIREMENT.
 - (c) - WHEN THE PRIVATE AMENITY SPACE EXCEEDS 5.0 SQUARE METRES PER UNIT, ONLY 5.0 SQUARE METRES PER UNIT MUST BE INCLUDED TO SATISFY THE AMENITY SPACE REQUIREMENT.
- (4) - COMMON AMENITY SPACE:
 - (a) - MAY BE PROVIDED AS COMMON AMENITY SPACE—INDOORS AND AS COMMON AMENITY SPACE—OUTDOORS;
 - (b) - MUST BE ACCESSIBLE FROM ALL THE UNITS;
 - (c) - MUST HAVE A CONTIGUOUS AREA OF NOT LESS THAN 50.0 SQUARE METRES, WITH NO DIMENSION LESS THAN 6.0 METRES;
 - (d) - MUST NOT BE LOCATED IN A REQUIRED SETBACK AREA.
- (5) - COMMON AMENITY SPACE MAY BE PROVIDED TO SATISFY THE AMENITY SPACE REQUIREMENT AS PART OF A DEVELOPMENT WITH 100 OR MORE UNITS:
 - (12) - A MAXIMUM OF 10.0 PERCENT OF THE REQUIRED AMENITY SPACE MAY BE PROVIDED AS COMMON AMENITY SPACE—INDOORS;
- (13) - COMMON AMENITY SPACE—OUTDOORS:
 - (a) - MUST PROVIDE A BALCONY, DECK OR PATIO AND AT LEAST ONE OF THE FOLLOWING AS PERMANENT FEATURES:
 - (i) - A BARBEQUE; OR
 - (ii) - SEATING; AND
 - (b) - MUST BE USED IN THE CALCULATION OF THE REQUIRED LANDSCAPED AREA.

REQUIRED AMENITY SPACE = 79 UNITS x 5.0 m = 395 m²
 MAXIMUM ALLOWED COMMON AMENITY SPACE—INDOORS = 395 m² x 10% = 39.5 m²

TOTAL PROPOSED AMENITY SPACE = 235 m²

- COMMON AMENITY SPACE—OUTDOORS = 0 m²

PART 6 MULTI-RESIDENTIAL DISTRICTS DIVISION 10

SECTION 667

- (1) - UNLESS OTHERWISE REFERRED IN SUBSECTION (2), COMMERCIAL MULTI-RESIDENTIAL USES MUST:
- (a) - BE CONTAINED COMPLETELY WITHIN THE BUILDING WITH THE EXCEPTION OF OUTDOOR CAFE USES;
 - (b) - BE LOCATED ON THE SECOND FLOOR CLOSEST TO GRADE AND THE MAIN RESIDENTIAL BUILDING; AND
 - (c) - NOT SHARE A HALLWAY WITH RESIDENTIAL UNITS
- (2) - A HEALTH CARE SERVICE, INFORMATION AND SERVICE PROVIDER, OFFICE OR SERVICE ORGANISATION MAY BE LOCATED ON THE SECOND FLOOR OF THE MAIN RESIDENTIAL BUILDING PROVIDED:
- (a) - ARE CONTAINED COMPLETELY WITHIN THE BUILDING; AND
 - (b) - DO NOT SHARE A HALLWAY WITH DWELLING UNITS
- (3) - THE MAXIMUM PUBLIC AREA FOR COMMERCIAL MULTI-RESIDENTIAL USE IS 325.0 SQUARE METRES.
- (3.1) - THE MAXIMUM PUBLIC AREA FOR A RESTAURANT: FOOD SERVICE ONLY OR RESTAURANT: LICENSED IS 150.0 SQUARE METRES.
- (4) - PARKING AREAS FOR COMMERCIAL MULTI-RESIDENTIAL USES MUST:
- (a) - BE SEPARATED FROM RESIDENTIAL PARKING AREAS; AND
 - (b) - BE LOCATED AT MINIMUM DISTANCE FROM THE MAIN RESIDENTIAL BUILDING FROM A PARCEL DESIGNATED AS A LOW DENSITY RESIDENTIAL DISTRICT IN THE CASE OF A SURFACE PARKING AREA.

NO ADJACENT PARCELS ARE DESIGNATED AS A LOW DENSITY RESIDENTIAL DISTRICT.



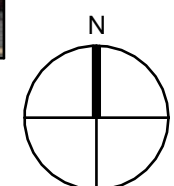
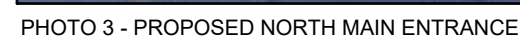
A.F.F.	ABOUT FINISHED FLOOR
ALUM. OR AL.	ALUMINUM
ANOD.	ANODIZED
APPROX	APPROXIMATELY
ARCH	ARCHITECTURAL
B.LDG	BUILDING
CB	CABIN
C.G.	CORNER GUARD
COL.	COLUMN
CONC.	CONCRETE
CONT	CONTINUOUS
C/W	COMPLETE WITH
DIA	DIAMETER
DM	DIMENSION
DWG	DRAWING
ELEC	ELECTRICAL
EQ. OR ELEV	ELEVATION
EQ	EQUAL
EX OR EXIST	EXISTING
FIN	FINISH
F.D.	FLOOR DRAIN
F.H.C.	FIRE HOSE CABINET
F.E.C.	FIRE EXTINGUISHING CABINET
F.R.	FIRE RESISTANCE RATING
H.B	HOSE BIB
HORIZ.	HORIZONTAL
H.M.	HOLLOW METAL
HMI	HOLLOW METAL INSULATED
H.P.	HIGH POINT
INCL.	INCLUDING
INSUL.	INSULATION
L.P.	LOW POINT
MAX	MAXIMUM
M.ECH	MECHANICAL
MH	MAN HOLE
MIN	MINIMUM
MIR	MIRRORED
N/A	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
NUM.	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTRE
O.D.	OUTSIDE DIAMETER
O.P.	OPPOSITE
O.W.J.	OPEN WEIR STEEL JOIST
PLAM	PLASTIC LAMINATE
P.V.D	PVC DRAIN
PT	PAINT
PSF	PAINTED STEEL FRAME
R.F.	RADIUS
REQ'D	REQUIRED
REV.	REVERSE
RM	ROOM
SECT	SECTION
SIM	SIMILAR
SPEC	SPECIFICATION
S.S.	STAINLESS STEEL
STRUCT.	STRUCTURAL
S.U.	SEALED UNIT
T.G.	TEMPERED GLASS
T.O. OR T/O	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
UNDR	UNDER
VERT.	VERTICAL
W/	WITH
W/O	WITHOUT
W.G.	WIRED GLASS

Left Column:

- W# — WALL TYPE
- P# — PARTITION TYPE
- F# — FLOOR TYPE
- R# — ROOF TYPE
- W# — WINDOW TYPE
- C# — CEILING TYPE
- △ # — CONSTRUCTION NOTE
- ◆ # — DEMOLITION NOTE
- # — ELEVATION NOTE
- M1 — MATERIAL / WALL FINISH
- DOOR SYMBOL (DXXX) — NEW DOOR / DOOR NUMBER
- C1 / 10'-0" — CEILING TYPE / CEILING HEIGHT - ABOVE FINISH FLOOR
- 0 / A — GRID BUBBLE
- N — NORTH ARROW

Right Column:

- ROOM — ROOM NAME
- 1000 — ROOM NUMBER
- T.O. FLOOR — ELEVATION (GEODETIC)
- +1000 — NEW GEODETIC ELEVATION
- +1000 — EXISTING GEODETIC ELEVATION
- 1 / A100 — EXTERIOR ELEVATION NUMBER
- 1 / A100 — INTERIOR ELEVATION NUMBER
- 1 / A100 — SHEET LOCATION NUMBER
- 1 / A100 — SECTION / DETAIL NUMBER
- 1 / A100 — SHEET LOCATION NUMBER
- DETAIL OUTLINE



Enterprise Universal Inc.

Computer

22

2	2024-03-21	ISSUED FOR DP

No.	Date	Revision
THIS COMPUTER GENERATED DRAWING IS AN INSTRUMENT OF SERVICE AND IS COPYRIGHT MATERIAL. USE ONLY FOR THIS PROJECT OR AS DIRECTED BY C'N'C ARCHITECTURE.		

THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION AND MUST BE RETURNED AT COMPLETION OF WORK OR UPON REQUEST.

Grey Nuns Conversion

2310 2ND ST SW, CALGARY, AB

Drawing Title

GENERAL

Drawn:	Check:	Principal:
YG	GM	GM
Scale:	Project No. 23-020	
2024-03-21	Phase No. -	Sheet No. A001

Enterprise Universal Inc.

Computer

Small

2	2024-03-21	ISSUED FOR DP

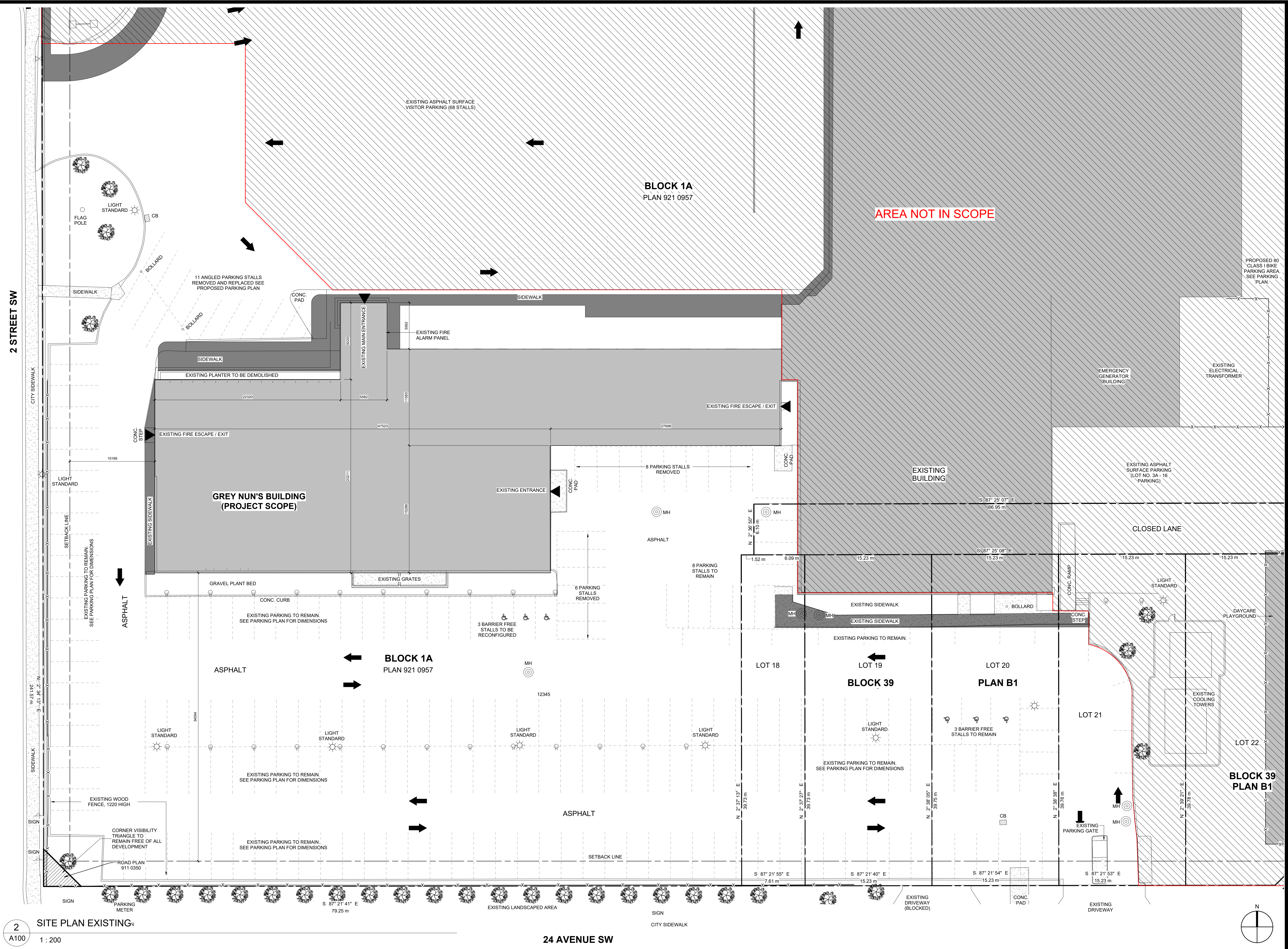
No.	Date	Revision
THIS COMPUTER GENERATED DRAWING IS AN INSTRUMENT OF SERVICE AND IS COPYRIGHT MATERIAL. USE ONLY FOR THIS PROJECT OR AS DIRECTED BY CYNQ ARCHITECTURE.		
THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION AND MUST BE RETURNED AT COMPLETION OF WORK OR UPON REQUEST.		

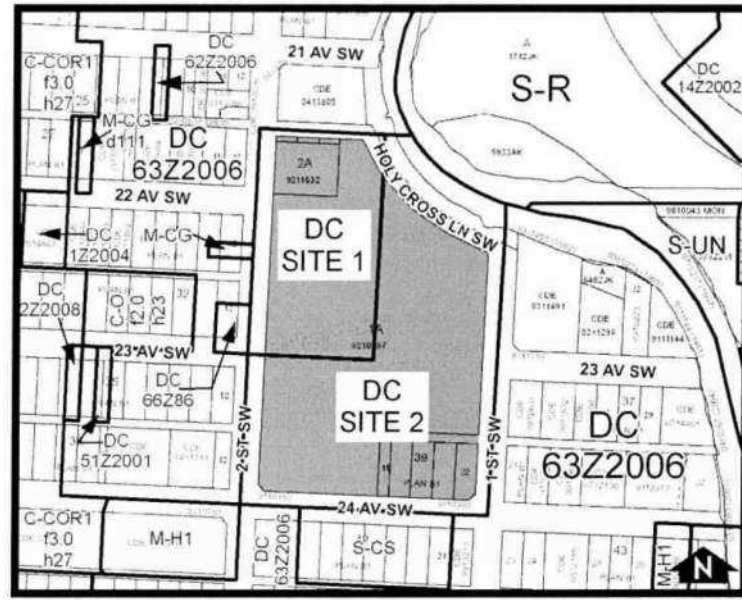
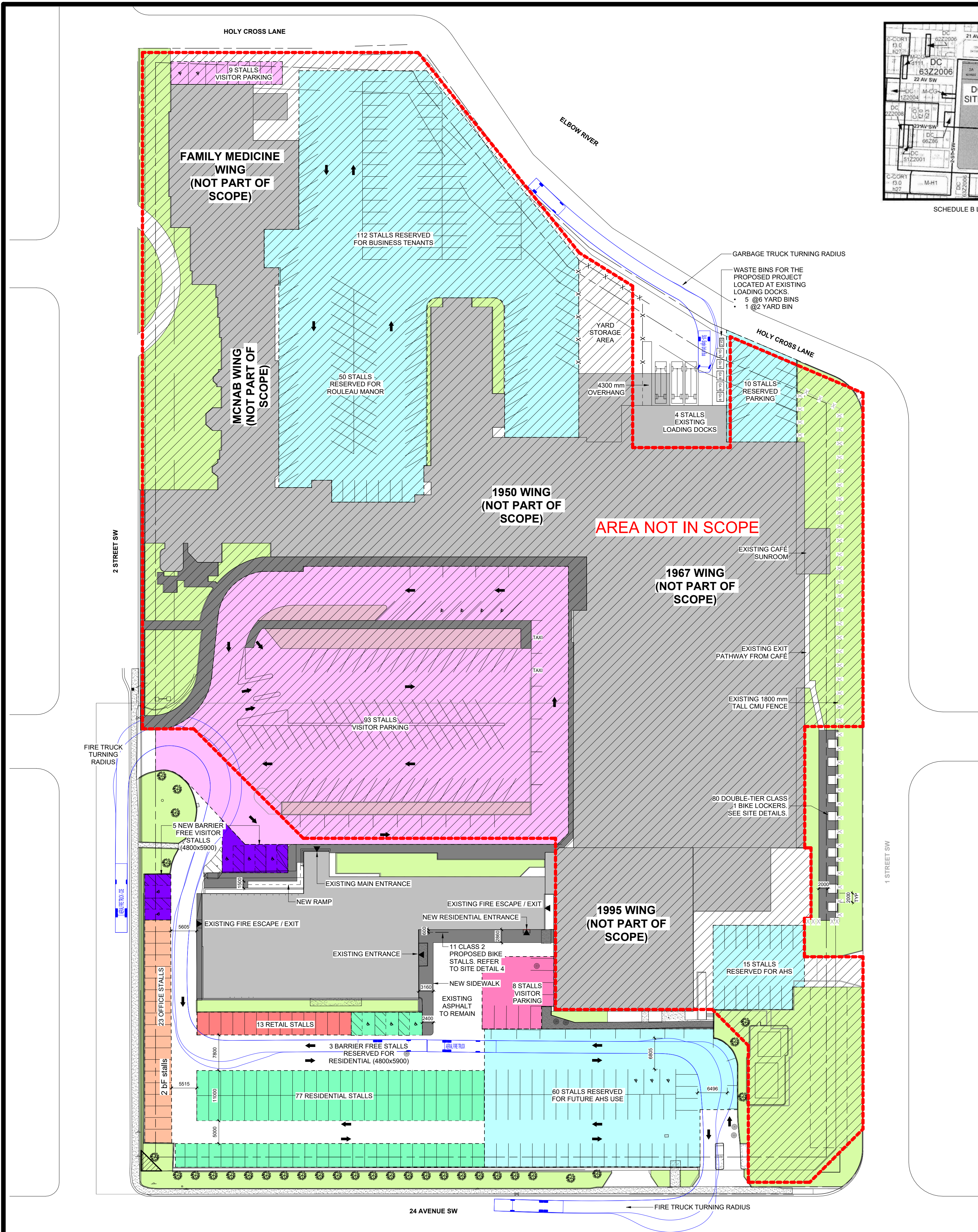
Grey Nuns Conversion

2310 2ND ST SW, CALGARY, AB

PROPOSED SITE PLAN

Drawn	Check	Principal
EJD	GM	GM
Scale	Project No.	
1 : 200	23-020	
	Phase No.	Sheet No.
2024-03-21	-	A100





SCHEDULE B LAND USE DISTRICT MAP

SITE SUMMARY

ZONED: DIRECT CONTROL 4102009
SITE 1 ZONING BASIS: C-05.4h61
SITE 2 ZONING BASIS: m-H315.4h61

SITE 1 BUILDINGS:
• FAMILY MEDICINE BUILDING
• MCNAB / HUANG WING

SITE 2 BUILDINGS:
• 1950 WING
• 1967/1995 WING
• GREY NUNS BUILDING

DISTRICT RULES FOR MOTOR VEHICLE PARKING STALLS:

THERE ARE NO SPECIFIC MOTOR VEHICLE PARKING REQUIREMENTS IN THE DIRECT CONTROL DISTRICT.

SECTION 4
(1) UNLESS OTHERWISE REFERENCED IN SUBSECTION (2), THE MINIMUM NUMBER OF MOTOR VEHICLE PARKING STALLS FOR ALL USES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF BYLAW 1P2007 (THE LANDUSE BYLAW).
(2) THE MINIMUM NUMBER OF MOTOR VEHICLE PARKING STALLS FOR PERMITTED USES IN BUILDINGS EXISTING AT THE DATE OF PASSAGE OF THIS BYLAW IS 426.

LAND USE BYLAW RULES FOR MOTOR VEHICLE PARKING STALLS:

IN 2020 CALGARY REMOVED PARKING MINIMUMS FOR BUSINESS USES. BARRIER-FREE PARKING AND BICYCLE STALLS ARE STILL REQUIRED WHERE APPLICABLE.

PART 4 USES AND USE RULES

SECTION 246 - "OFFICE"
(e) REQUIRES A MINIMUM OF 1.0 BICYCLE PARKING STALLS - CLASS 1 PER 1000 SQUARE METRES OF GROSS USEABLE FLOOR AREA; AND
(f) REQUIRES A MINIMUM OF 1.0 BICYCLE PARKING STALLS - CLASS 2 PER 1000 SQUARE METRES OF GROSS USEABLE FLOOR AREA FOR OFFICE GREATER THAN 1000 SQUARE METRES.

SECTION 286.1 - "RETAIL AND CONSUMER SERVICE"
(i) DOES NOT REQUIRE BICYCLE PARKING STALLS - CLASS 1, AND
(ii) REQUIRES A MINIMUM OF 1.0 BICYCLE PARKING STALLS - CLASS 2 PER 250 SQUARE METRES OF GROSS USABLE FLOOR AREA.

PART 6 MULTI-RESIDENTIAL DISTRICTS DIVISION 10

SECTION 558 - THE MINIMUM MOTOR VEHICLE PARKING STALL REQUIREMENT IS CALCULATED:
(a) BASED ON THE SUM FOR ALL DWELLING UNITS AND SUITES WHERE THE RATE IS 0.625 STALL PER DWELLING UNIT OR SUITE.

SECTION 559 - THE MINIMUM NUMBER OF BICYCLE PARKING STALLS IS CALCULATED BASED ON THE SUM FOR ALL UNITS AND SUITES WHERE THE RATE IS:
(a) 1.0 BICYCLE PARKING STALLS - CLASS 1 PER UNIT;
(b) 1.0 BICYCLE PARKING STALLS - CLASS 1 PER SUITE;
(c) 0.1 BICYCLE PARKING STALLS - CLASS 2 PER UNIT FOR DEVELOPMENTS OF 20 UNITS OR MORE, WITH A MINIMUM OF 2.0 STALLS.

SECTION 560 - THE REQUIRED NUMBER OF PARKING STALLS IN SECTION 558 IS REDUCED BY 25.0 PERCENT FOR A DEVELOPMENT ON A PARCEL LOCATED WITHIN:
(a) 600 METRES OF AND EXISTING OR APPROVED CAPITAL FUNDED LRT PLATFORM
(c) 200 METRES OF PRIMARY TRANSIT SERVICE

DISTANCE TO:
• ERLTON LRT STATION: 600 m
• 4th ST PRIMARY TRANSIT SERVICE: 190 m

PART 11 CENTRE-CITY DISTRICTS DIVISION 1

SECTION 1107 (1) - WHERE A BUILDING CONTAINS THREE OR MORE UNITS WITH SHARED ENTRANCE FACILITIES IN A MULTI-RESIDENTIAL DEVELOPMENT, THE MINIMUM MOTOR VEHICLE PARKING STALL REQUIREMENT:
(a) FOR EACH DWELLING UNIT OR LIVE WORK UNIT IS 0.75 STALLS FOR RESIDENT PARKING;
(b) FOR EACH DWELLING UNIT IS 0.1 VISITOR PARKING STALLS PER UNIT.

SECTION 1108 (1) - THE MINIMUM NUMBER OF BICYCLE PARKING STALLS - CLASS 1 FOR:
(b) ALL OTHER USES IS THE MINIMUM REQUIREMENT REFERENCED IN PART 4.

SECTION 1108 (2) - THE MINIMUM NUMBER OF BICYCLE PARKING STALLS - CLASS 2 FOR:
(b) ALL OTHER USES IS 5.0 PERCENT OF THE NUMBER OF MOTOR VEHICLE PARKING STALLS

SECTION 1109 BICYCLE PARKING STALLS - CLASS 1 PROVIDED FOR DWELLING UNITS AND LIVE WORK UNITS ARE FOR THE EXCLUSIVE USE OF RESIDENTS.

SITE PARKING OBLIGATIONS

NORTH PARKING LOT	162
CAREWEST ROULEAU MANOR	50
OTHER TENANTS	112
VISITOR PARKING LOT	91
VISITOR PARKING	91
SE PARKING LOT	15
AHS PARKING	15
SOUTH (PROJECT AREA) PARKING LOT	
FUTURE AHS	~50

OTHER BUILDINGS PARKING REQUIREMENTS						
USES	AREA (m ²)	OCCUPANCY	PARKING REQUIREMENTS			NOTES
			FACTOR	STALLS	PROVIDED	
1967/1995 WING						
HEALTH CARE SERVICE	12,504	127	0	0		
BIKE CLASS 2			0.004	51		PER AREA
CHILD CARE SERVICE	619		0.1	13		PICKUP/DROPOFF
BIKE CLASS 2			0.0005	1		PER AREA
1950 WING						
RESIDENTIAL CARE	5,203	77	0.33	26		PER BED
BIKE CLASS 2			0	0		PER AREA
FAMILY MEDICINE						
HEALTH CARE SERVICE	1,858		0	0		
BIKE CLASS 2			0.004	8		PER AREA
MCNAB WING						
HEALTH CARE SERVICE	631		0	0		
BIKE CLASS 2			0.004	3		PER AREA
RESIDENTIAL CARE	743		0	0		
BIKE CLASS 2			0	0		PER AREA
RETAIL AND CONSUMER SERVICE	162		0	0		
BIKE CLASS 2			0.004	1		PER AREA

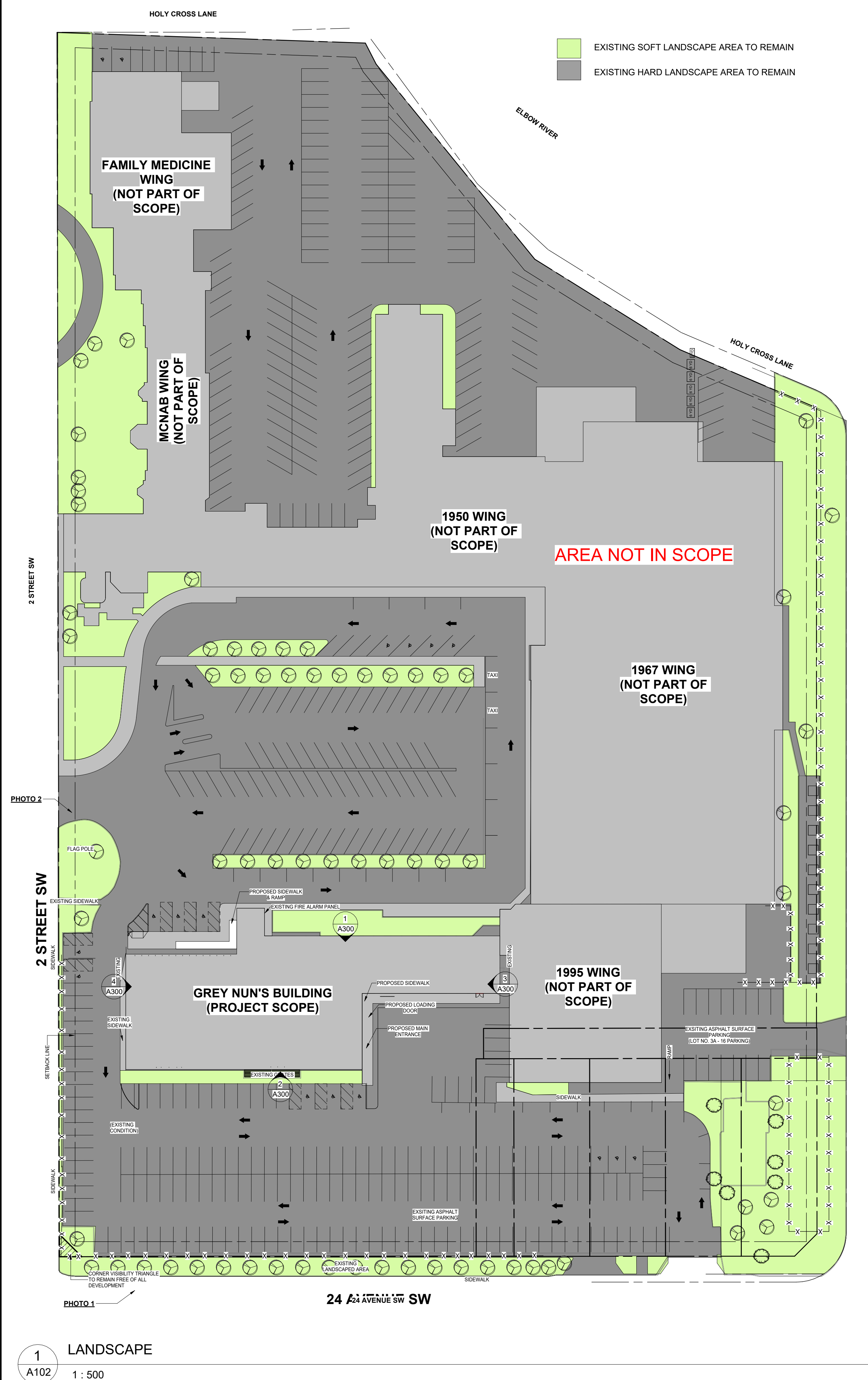
GREY NUNS PARKING REQUIREMENTS						
USES	AREA (m ²)	OCCUPANCY	PARKING REQUIREMENTS			NOTES
			FACTOR	STALLS	PROVIDED	
OFFICE	1,215		0	0	25	
BARRIER-FREE					2	
BIKE CLASS 1			0.001	2	2	PER AREA
BIKE CLASS 2			0.05	0	2	% OF PARKING STALLS
RETAIL AND CONSUMER SERVICE	497		0	0	16	
BARRIER-FREE					3	
BIKE CLASS 1			0	0	0	PER AREA
BIKE CLASS 2			0.05	0	1	% OF PARKING STALLS
RESIDENTIAL	5,460	78	0.625	49	77	
VISITOR			0.1	8	8	8 PER UNIT
BARRIER-FREE					3	
BIKE CLASS 1			1	78	78	PER UNIT
BIKE CLASS 2			0.1	8	8	PER UNIT

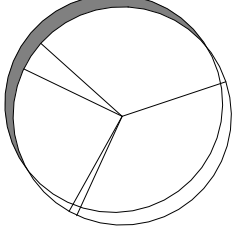
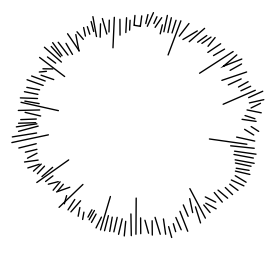
EXISTING SITE PARKING STATISTICS	
NORTH PARKING LOT	
STANDARD PARKING	162
VISITOR PARKING LOT	
STANDARD PARKING	85
BARRIER-FREE PARKING	4
TAXI STAND	2
BIKE CLASS 2	16
SE PARKING LOT	
STANDARD PARKING	15
SOUTH (PROJECT AREA) PARKING LOT	
STANDARD PARKING	200
BARRIER-FREE PARKING	6
PARALLEL / LOADING	11
TOTALS	
STANDARD PARKING	462
BARRIER-FREE PARKING	10
PARALLEL / LOADING	11
TAXI STAND	2
TOTAL PARKING	485

OTHER BUILDINGS REQUIRED PARKING	
STANDARD PARKING	26
BARRIER-FREE PARKING	3
PICKUP / DROPOFF	13
BIKE CLASS 1	0
BIKE CLASS 2	64
25% TRANSIT REDUCTION	
STANDARD PARKING	20
BARRIER-FREE PARKING	3

GREY NUNS REQUIRED PARKING	
STANDARD PARKING	57
BARRIER-FREE PARKING	7
BIKE CLASS 1	80
BIKE CLASS 2	8
25% TRANSIT REDUCTION	
STANDARD PARKING	43
BARRIER-FREE PARKING	7

GREY NUNS PROPOSED PARKING	
STANDARD PARKING	193
BARRIER-FREE PARKING	7
BIKE CLASS 1	80
BIKE CLASS 2	11



EXISTING PLANTING LEGEND	
SYMBOL	TYPE
	DECIDUOUS TREE • VARIOUS SPECIES • VARIOUS HEIGHTS
	CONIFEROUS TREE • VARIOUS SPECIES • VARIOUS HEIGHTS

LANDSCAPING ANALYSIS

USE AREA SUMMARY:

SITE (PARCEL) AREA = 29875 m²

LANDSCAPING REQUIREMENTS:

REQUIRED TOTAL LANDSCAPE AREA = 29875 m² x 40% = 11950 m²

- MINIMUM REQUIRED LANDSCAPE AREA AT GRADE = 11950 m² x 25% = 2988 m²
- MAXIMUM HARD SURFACED LANDSCAPE AREA = 11950 m² x 40% = 4780 m²
- MINIMUM SOFT SURFACED LANDSCAPE AREA = 11950 m² x 60% = 7170 m²

EXISTING TOTAL LANDSCAPE AREA = ± 5650 m²
 • LANDSCAPE AREA AT GRADE = 5650 m²

- HARD SURFACED LANDSCAPE AREA = 4655 m²
- SOFT SURFACED LANDSCAPE AREA = 906 m²

- AT GRADE AMENITY SPACE = 0 m²

NO CHANGES TO THE EXISTING LANDSCAPING ARE

PLANTING REQUIREMENTS:

PLANTING REQUIREMENTS:

- MINIMUM REQUIRED TIME
- TOTAL REQUIRED CONF

- MINIMUM REQUIRED SHRUBS = $(5650 \text{ m}^2 / 45 \text{ m}^2) \times 2 = 252 \text{ SHRUBS}$

EXISTING PLANTINGS:

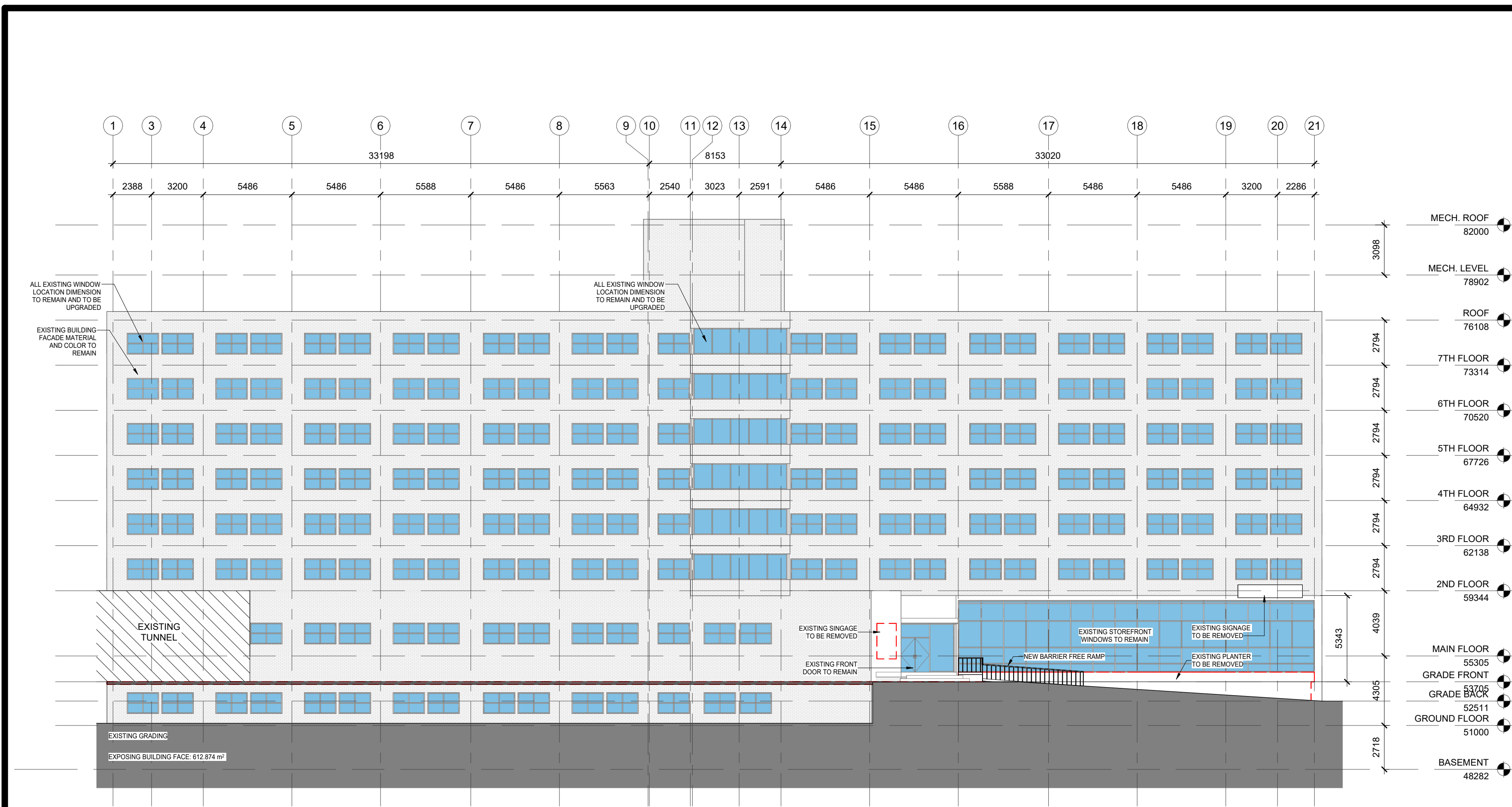
- TOTAL EXISTING TREES = APPROXIMATELY 76 TREES

- CONIFEROUS TREES = 6 TREES
- TOTAL SHRUBS = UNKNOWN

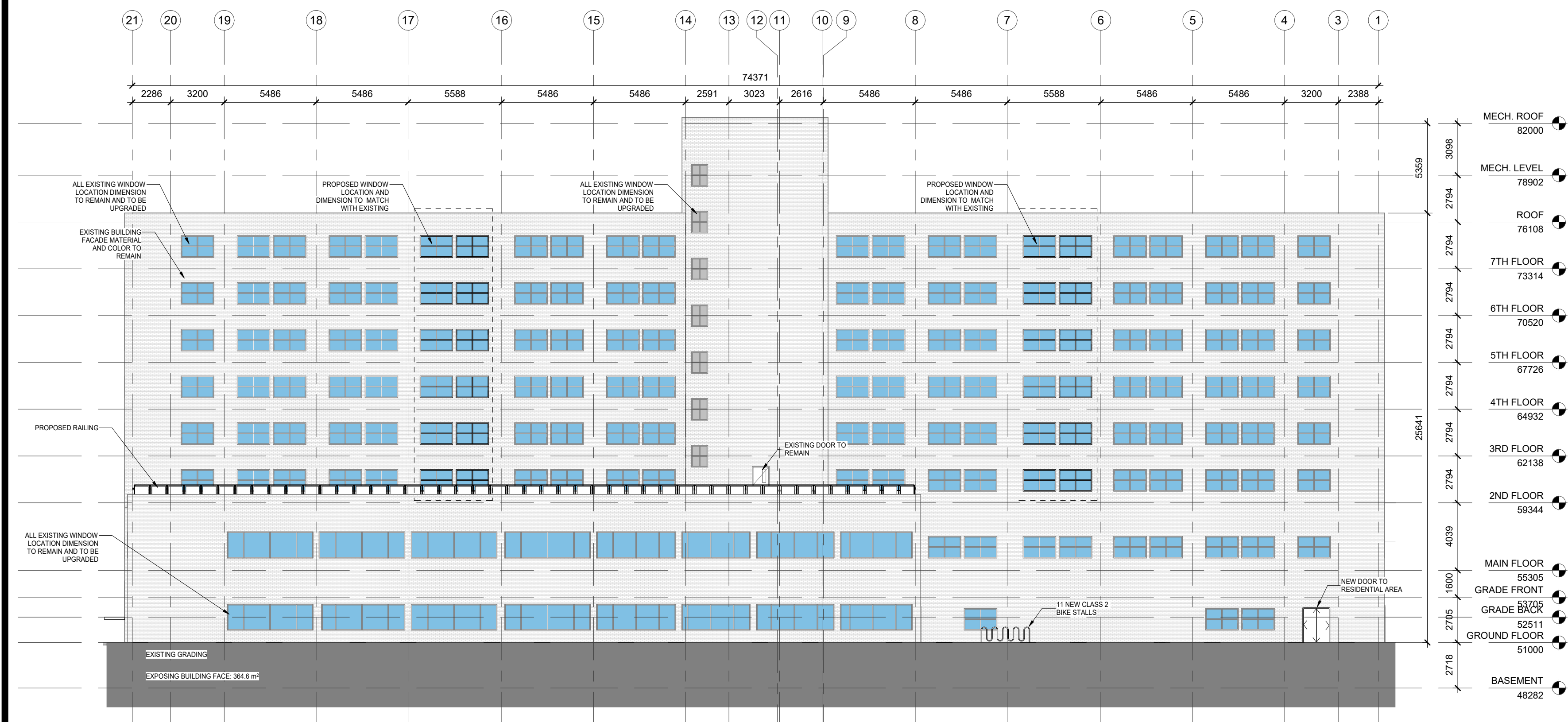
NO ADDITIONAL PLANT

100





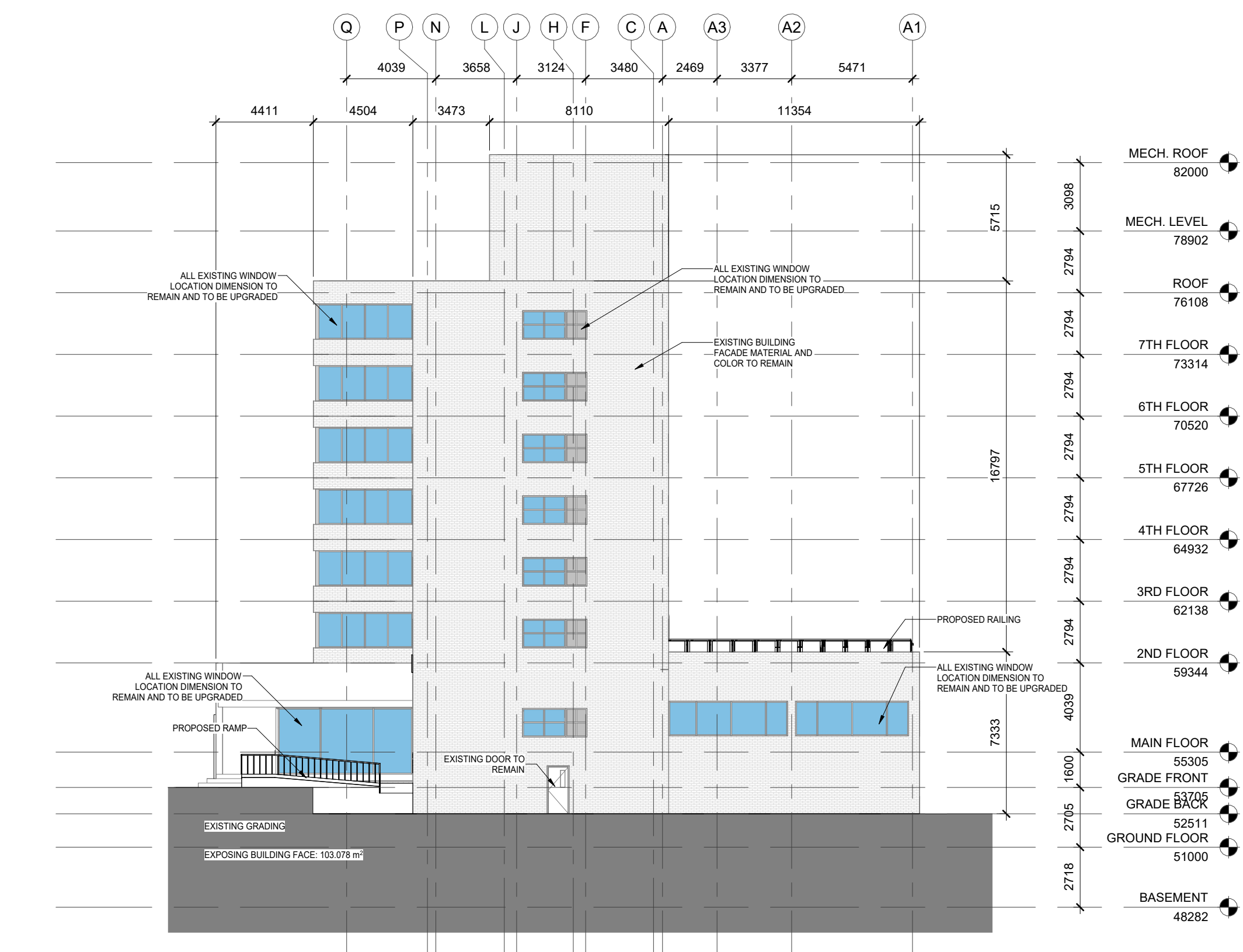
1 NORTH ELEVATION
A300 1 : 200



2 SOUTH ELEVATION
A300 1 : 200



3 EAST ELEVATION
A300 1 : 200



4 WEST ELEVATION
A300 1 : 200

Client
Enterprise Universal Inc.

Consultant

Steel

2 2024-03-21 ISSUED FOR DP

This computer generated drawing is an instrument of service and is copyright material. Use only for this project or as directed by CYNc Architecture.
This is a copyright drawing and shall not be reproduced or revised without written permission and must be returned at completion of work or upon request.

Project
Grey Nuns Conversion

2310 2ND ST SW, CALGARY, AB

Drawing Title
PROPOSED ELEVATIONS

Drawn	YG	Check	EJD	Principal	GM
Scale	1 : 200	Project No.	23-020	Sheet No.	A300
Date	2024-03-21	Phone No.	-	Sheet No.	A300