

ABBREVIATIONS

A	ABOVE FINISHED FLOOR	A.F.F.
	ACOUSTIC TILE	ACT.
	ALUMINUM	ALUM.
B	ANODIZED	ANOD.
	ARCHITECTURAL	ARCH.
	BATT INSULATION	BATT INSUL.
C	BEAM	BM.
	BOTH WAYS	B.W.
	BOTTOM	BOT.
D	BARRIER FREE	B.F.
	BUILDING	BLDG.
	BUILT-UP ROOF	B.U.R.
E	CARPET	CPT.
	CATCH BASIN	C.B.
	CEILING	CLG.
F	CENTER LINE	C.L.
	CERAMIC TILE	C.T.
	COLUMN	COL.
G	COMBUSTIBLE	COMB.
	COMPLETE WITH	C.W.
	CONCRETE	CONC.
H	CONCRETE BLOCK	CONC.BL.
	CONSTRUCTION	CONST.
	CONTROL JOINT	C.J.
I	CONTINUOUS	CONT.
	CORRIDOR	CORR.
	DIAMETER	DIA.
J	DIMENSION	DIM.
	DISHWASHER	D.W.
	DOUBLE GLAZED	D.G.
K	DOWN	DN.
	DRAWING	DWG.
	DRAINING FOUNTAIN	D.F.
L	EACH	EA.
	ELEVATION	ELEV.
	ELECTRICAL	ELEC.
M	EQUAL	EQ.
	EXISTING	EXIST.
	EXPANSION JOINT	EXP. JT.
N	EXPOSED	EXP.
	EXTERIOR	EXT.
	FACE OF FOUNDATION	F.O.F.
O	FINISH	FIN.
	FIRE-RESISTANCE RATING	F.R.R.
	FLOOR	FL.
P	FLOOR DRAIN	F.D.
	FLOOR AREA RATIO	F.A.R.
	FIRE HOSE CABINET	F.H.C.
Q	FIRE EXTINGUISHER	F.E.
	FOOTING	FTG.
	FOUNDATION	FOUND.
R	GAUGE	GA.
	GEODETIC	GEO.
	GLASS	GL.
S	GRADE	GR.
	GREATER THAN	>
	GROSS FLOOR AREA	G.F.A.
T	GROUND FLOOR	GR.FLR.
	GYPSUM WALL BOARD	G.W.B.
	HOLLOW METAL	H.M.
U	HORIZONTAL	HORZ.
	HOSE BIBB	H.B.
	HOLLOW CORE	H.C.
V	HOLLOW STEEL SECTION	H.S.S.
	INTERIOR	INT.
	INSIDE FACE	I.F.
W	INSULATION	INSUL.
	JANITOR	JAN.
	LAMINATED	LAM.
X	LAVATORY	LAV.
	LESS THAN	<
	MANHOLE	M.H.
Y	MANUFACTURER	MANF.
	MAXIMUM	MAX.
	MECHANICAL	MECH.
Z	METAL	MTL.
	MICROWAVE	M.W.
	MINIMUM	MIN.
AA	MISCELLANEOUS	MISC.
	NATURAL	NAT.
	NOT APPLICABLE	N.A.
BB	NOT IN CONTRACT	N.I.C.
	NOT TO SCALE	N.T.S.
	NUMBER	NUM.
CC	ON CENTER	O.C.
	OPENING	OPG.
	OUTSIDE FACE	O.F.
DD	OVERHEAD DOOR	O.H.D.
	PAINT	PT.
	PARTITION	PTN.
EE	PLATE	PL.
	PLASTIC LAMINATE	PLAM.
	PLYWOOD	PLY.
FF	POLYETHYLENE	POLY.
	PRECAST CONCRETE	P.C. CONC.
	PREFINISHED	PREFIN.
GG	PRESSED STEEL	P.S.
	PRESSURE TREATED	P.T.
	PROPERTY LINE	P.L.
HH	QUARRY TILE	Q.T.
	RADIUS	R.
	RAINWATER LEADER	R.W.L.
II	REINFORCING	REIN.
	REQUIRED	REQ.
	REFRIGERATOR	R.F.
JJ	REVISED	REV.
	ROOM	RM.
	ROOF DRAIN	R.D.
KK	ROOF TOP UNIT	R.T.U.
	ROUGH OPENING	R.O.
	RUBBER OOVE BASE	R.C.B.
LL	SIMILAR	SIM.
	SLAB ON GRADE	S.O.G.
	SOAP DISPENSER	S.D.
MM	SOLID CORE	S.C.
	SPANDREL PANEL	S.P.
	SPECIFICATIONS	SPEC.
NN	SQUARE	SQ.
	STAINLESS STEEL	S.S.
	STEEL	STL.
OO	STORAGE	STOR.
	STOVE	ST.
	STRUCTURAL	STRUCT.
PP	TELEVISION	T.V.
	TEXTURED	TEX.
	TOP OF	T.O.
QQ	TOUNGE AND GROOVE	T&G.
	TOWEL DISPENSER	T.D.
	TYPICAL	TYP.
RR	UNDERSIDE	UIS.
	UNDERWRITERS LABORATORIES OF CANADA	U.L.C.
	UNPROTECTED OPENING(S)	UP.O.
SS	VAPOUR BARRIER	V.B.
	VENEER	VEN.
	VERTICAL	VERT.
TT	VESTIBULE	VEST.
	VINYL COMPOSITE TILE	V.C.T.
	WAREHOUSE	W.H.
UU	WATER CLOSET	W.C.
	WATERPROOF	W.P.
	WOOD	WD.



PROPOSED MULTI-USE AUTOMOTIVE DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT - November 1st, 2023
ISSUED FOR BUILDING PERMIT - T.B.D.
ISSUED FOR CONSTRUCTION - T.B.D.



SITE PIC. #1: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #2: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #3: DESCRIPTION
DATE: (OPTIONAL)



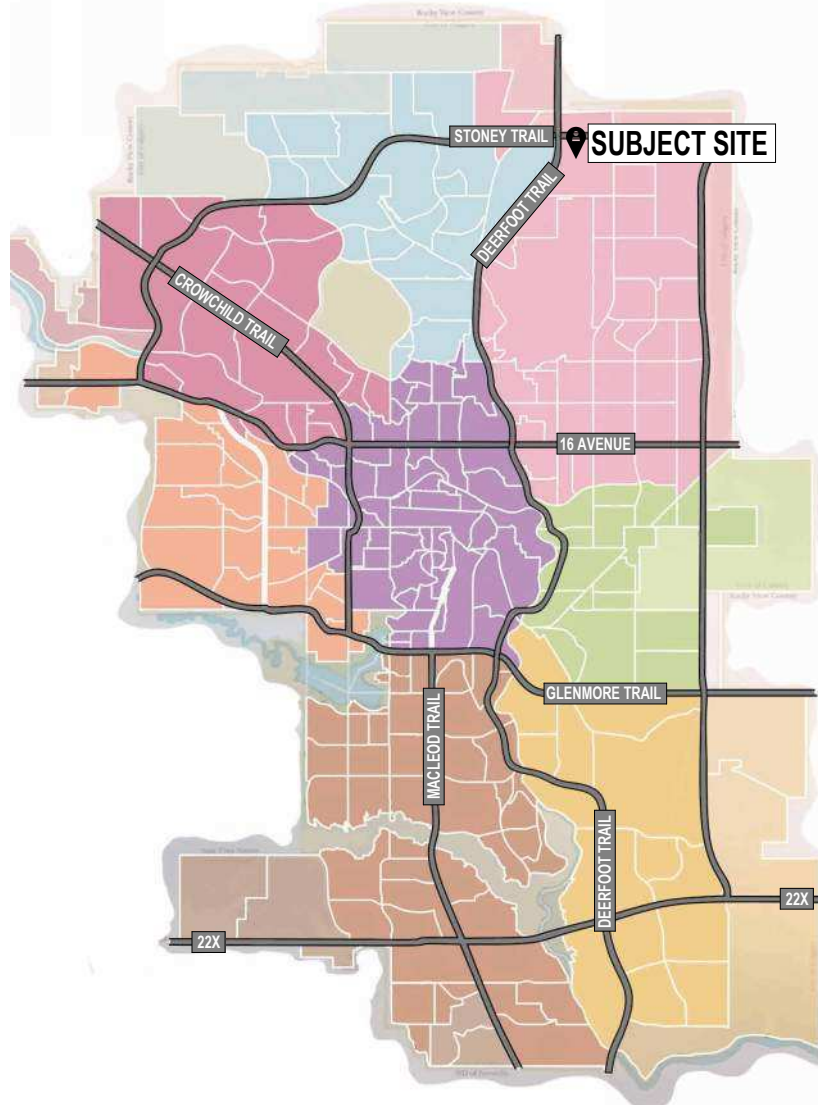
SITE PIC. #4: DESCRIPTION
DATE: (OPTIONAL)



LOCATION MAP



- CITY CENTRE
- WEST
- NORTH WEST
- NORTH
- NORTH EAST
- EAST
- SOUTH EAST
- SOUTH



AREA MAP

BASIS OF CODE CHECK : NBC - 2019 ALBERTA EDITION

PROJECT TYPE : AUTOMOTIVE BUILDING

MAJOR OCCUPANCY CLASSIFICATIONS A-3.1.2.1.(1):

GROUP F2
GROUP D

NUMBER OF STOREYS: 2 STOREYS
BUILDING FOOTPRINT: 240 SQ. M.
SPRINKLERED: NO

STREETS FACING 3.2.2.10 : 2 STREETS
(IF SPRINKLERED IGNORE)

CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE

FLOOR AREAS: MAIN FLOOR 270 SQ.M. 2ND FLOOR 62 SQ.M. TOTAL G.F.A. 332 SQ.M.

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.7.8)

SEPARATIONS BETWEEN OCCUPANCIES: NO RATING
- UP TO 2 STOREYS (2 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 750 SQ.M. IF 2 STOREYS (270 ACTUAL SQ.M.)

2. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

- a) FLOOR ASSEMBLIES: SHALL BE FIRE SEPARATIONS WITH F.R.R. NOT < 45min IF OF COMBUSTIBLE CONSTRUCTION
- b) LOADBEARING WALLS, COLS & ARCHES: i) HAVE F.R.R. NOT < 45min OR ii) NON-COMBUSTIBLE CONST.

DRAWING REFERENCE SYMBOLS

1 A101 DETAIL NUMBER
SHEET NUMBER WHERE LOCATED

1 A101 BUILDING SECTION NUMBER
SHEET NUMBER WHERE LOCATED

1 A101 WALL SECTION NUMBER
SHEET NUMBER WHERE LOCATED

1 A0.0 TITLE DRAWING NUMBER
DRAWING TITLE
DRAWING SCALE
SHEET NUMBER WHERE LOCATED

Room name ROOM NAME
L X X X ROOM NUMBER (FIRST DIGIT IDENTIFIES
L X W THE FLOOR ON WHICH ROOM IS LOCATED)
ROOM DIMENSIONS

1000.00 PROPOSED ELEVATION

1000.00 EXISTING ELEVATION

Name LEVEL HEAD
Elevation

1 A GRID NUMBER OR LETTER DESIGNATION

CLOUD AROUND REVISION MADE

1 A101 DETAIL NUMBER
SHEET NUMBER WHERE LOCATED

DETAIL CALL OUT BOX

1 A101 DETAIL NUMBER
SHEET NUMBER WHERE LOCATED

PIC #1 DIRECTION OF PICTURE TAKEN
SITE PICTURE NUMBER CORRESPONDING
WITH TITLE PAGE

NEW DOOR SWING SYMBOL

EXIST. DOOR SWING SYMBOL

GENERAL NOTES:

1. DEVIATION FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/DESIGNER ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.
2. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS.
3. THESE DRAWINGS AND DETAILS ARE, BY THEIR VERY NATURE, SCHEMATIC AND DO NOT DEPICT EVERY CONDITION, DETAIL, CONNECTION, ETC. WHICH WILL OCCUR.
4. KNOWLEDGEABLE, PROPERLY LICENSED CONTRACTORS AND JOB CONTRACTORS MUST BE RELIED UPON TO ACHIEVE PROPER INSTALLATION OF MATERIALS, FLASHINGS, WEATHER SEALINGS, MATERIAL TRANSITIONS, SEPARATIONS, CONNECTIONS, ANCHORAGES, ETC.
5. FOR THE AVOIDANCE OF DOUBT, ALL DIMENSIONS ARE MEASURED TO WALL STRUCTURE AND NOT THE FINISHES UNLESS OTHERWISE NOTED.

GENERAL NOTES

METRIC :

ALL DIMENSIONS ARE IN METRES AND MILLIMETRES UNLESS OTHERWISE NOTED. IMPERIAL IN BRACKETS
VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENTIRE ARCHITECTURAL PACKAGE.

REV	DATE	DESCRIPTION
REVISIONS		

1	01 NOV 23	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUANCES		

BP#:
DP#:

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Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3340

CLIENT: ZOOM CAR RENTAL

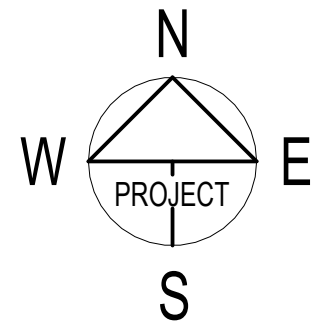
CONTACT PERSON: Contact

PROJECT: STONEGATE ZOOM CAR RENTAL

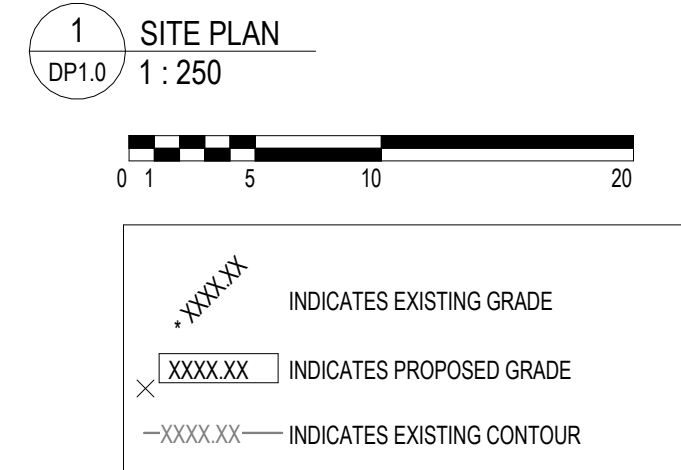
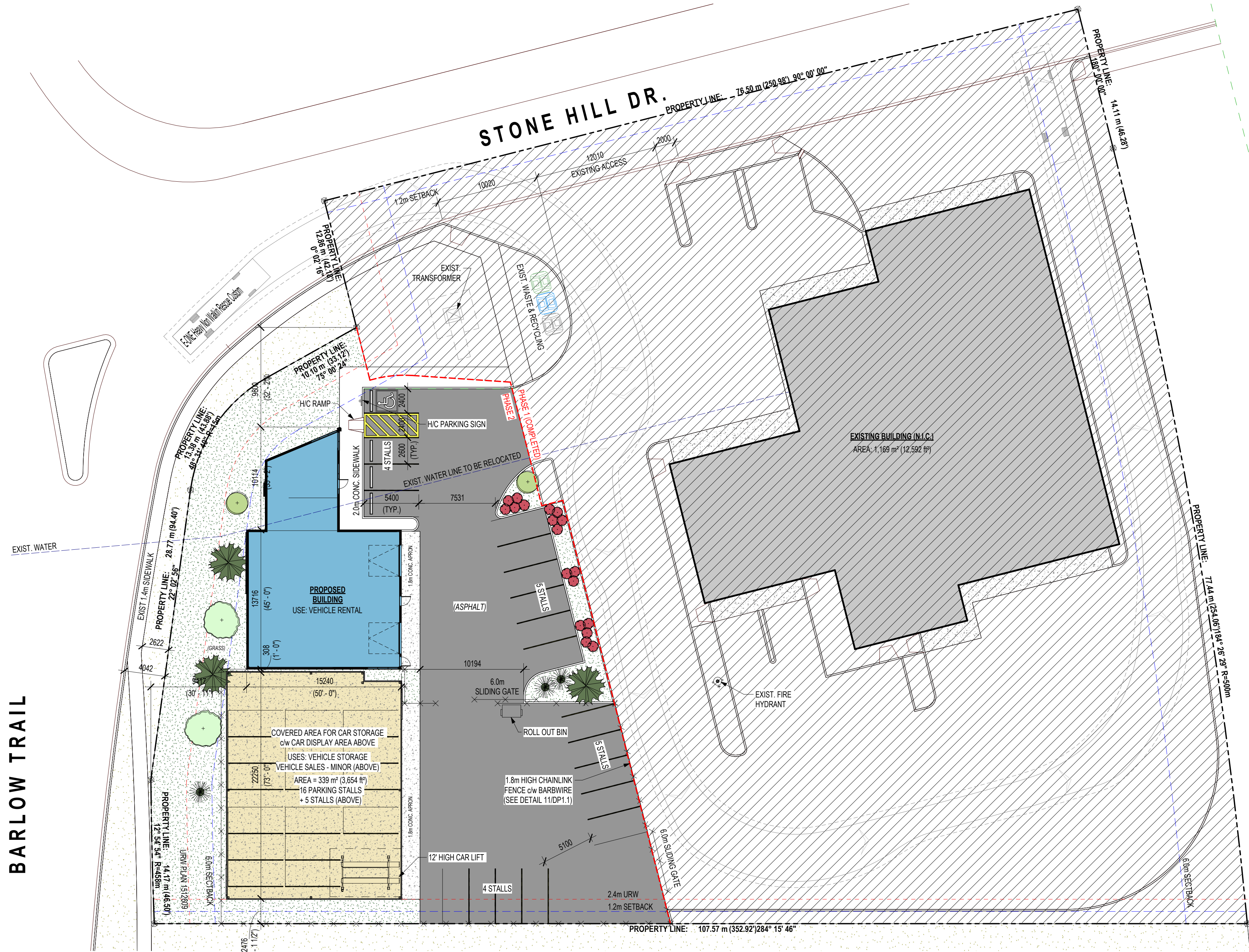
MUNICIPAL ADDRESS: 12512 BARLOW TRAIL N.E. CALGARY, AB. LEGAL ADDRESS: LOT: 2 BLOCK: - PLAN: 2010787

DRAWING: TITLE SHEET

DRAWN BY: JILC DATE: 01 NOV 23 SCALE: As indicated CHECKED BY: DP0.0



BARLOW TRAIL

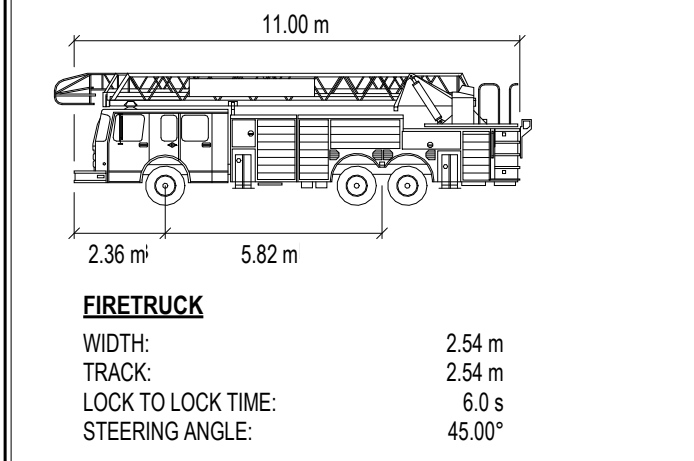


LANDSCAPING REQUIREMENTS			
AREA REQUIRED: 432m ² (SETBACK AREA)			
LANDSCAPING PROVIDED			
HARD LANDSCAPING	157 m ²	157 m ²	
SOFT LANDSCAPING	556 m ²	556 m ²	
LANDSCAPING PROVIDED	713 m ²	713 m ²	
TREES & SHRUBS REQUIRED			
= 1 TREE / 50 m ² OF REQUIRED LANDSCAPING = 432 m ² / 50 m ² = 8.64 = 9 TREES			
= 2 SHRUBS / 50 m ² OF REQUIRED LANDSCAPING = 432 m ² / 50 m ² x 2 = 17.28 = 18 SHRUBS			
(9 TREES REQUIRED - 5 DECIDUOUS, 4 CONIFEROUS) - MIN. 25% TO BE CONIFEROUS: ACTUAL 44% - MIN. 50% TREES TO BE LARGE TREES			
NOTE: - ALL LANDSCAPING SHOWN IS PROPOSED UNLESS OTHERWISE NOTED. - LANDSCAPING TO BE WATERED BY LOW WATER IRRIGATION. - ALL TREES/SHRUBS ARE LOW WATER REQUIRED.			

SURFACE TREATMENT			
ASPHALT	916 m ²	9,856 ft ²	
CONCRETE CURB	86 m ²	921 ft ²	
CONCRETE SIDEWALK	71 m ²	767 ft ²	
CONCRETE PAD	531 m ²	5,713 ft ²	
GRASS	1,079 m ²	11,619 ft ²	
GRASSED BOULEVARD	1,299 m ²	13,988 ft ²	

LANDSCAPE LEGEND			
REQD	QTY.	TYPE	SPECIES
3	3	CONIFEROUS TREE LARGE	COLORADO BLUE SPRUCE (Picea pungens)
3	3	CONIFEROUS TREE SMALL	COLUMNAR SPRUCE (Picea pungens 'Fastigiata')
18	18	DECIDUOUS SHRUB 600 mm HEIGHT OR SPREAD	POTENTILLA (Potentilla reptans) BLUE FOX WILLOW (Salix brachycarpa)
2	2	DECIDUOUS TREE LARGE	BLACK ASH (Fraxinus nigra)
2	2	DECIDUOUS TREE SMALL	TOWER POPLAR (Populus x canadensis)

GENERAL NOTES	
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SITE INFORMATION	
LOT AREA: TOTAL LOT AREA: 1.883 acres (0.7618 ha) 7,618 m ²	
ZONING: LAND USE BYLAW - 1P2007 INDUSTRIAL - GENERAL (I-G) DISTRICT	
USE: VEHICLE RENTAL - MINOR (DISCRETIONARY) VEHICLE STORAGE (PERMITTED) VEHICLE SALES - MINOR (DISCRETIONARY)	
BUILDING AREA: MAIN FLOOR: 270.35 m ² (2,910.00 ft ²) 2ND FLOOR: 61.92 m ² (666.50 ft ²) TOTAL AREA: 332.27 m ² (3,576.50 ft ²) FOOTPRINT: 270.35 m ² (2,910.00 ft ²)	
COVERED STRUCTURE AREA: FOOTPRINT: 339.47 m ² (3,654.00 ft ²)	
PARCEL COVERAGE: BUILDING FOOTPRINT & COVERED STRUCTURE = 609.82 m ² (6,564.00 ft ²) LOT AREA = 7,618 m ² 609.82 m ² / 7,618 m ² = 8% PARCEL COVERAGE	
FAR: 318.77 m ² (G.F.A.) / 7,618 m ² (LOT AREA) = 0.042	
PARKING: VEHICLE RENTAL - MINOR: = 1 STALL FOR EVERY INVENTORY VEHICLE = 5 INVENTORY VEHICLES x 1 STALLS = 5 STALLS VEHICLE STORAGE: = 1 STALL FOR EVERY VEHICLE STORED = 25 STORED VEHICLES x 1 STALLS = 25 STALLS VEHICLE SALES - MINOR: = 1 STALL FOR EVERY INVENTORY VEHICLE = 5 INVENTORY VEHICLES x 1 STALLS = 5 STALLS	
TOTAL PARKING REQUIRED:	30 STALLS
TOTAL PARKING PROVIDED:	35 STALLS



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DP#:		

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CLIENT:		ZOOM CAR RENTAL	
CONTACT PERSON:		Contact	
PROJECT:			
STONEGATE ZOOM CAR RENTAL			
MUNICIPAL ADDRESS:		LEGAL ADDRESS:	
12512 BARLOW TRAIL N.E. CALGARY, AB.		LOT: 2 BLOCK: - PLAN: 2010787	
DRAWING:			
SITE PLAN & SITE INFORMATION			
DRAWN BY:		DATE:	
JILC		01 NOV 23	
SCALE:		CHECKED BY:	
As indicated		DP1.0	

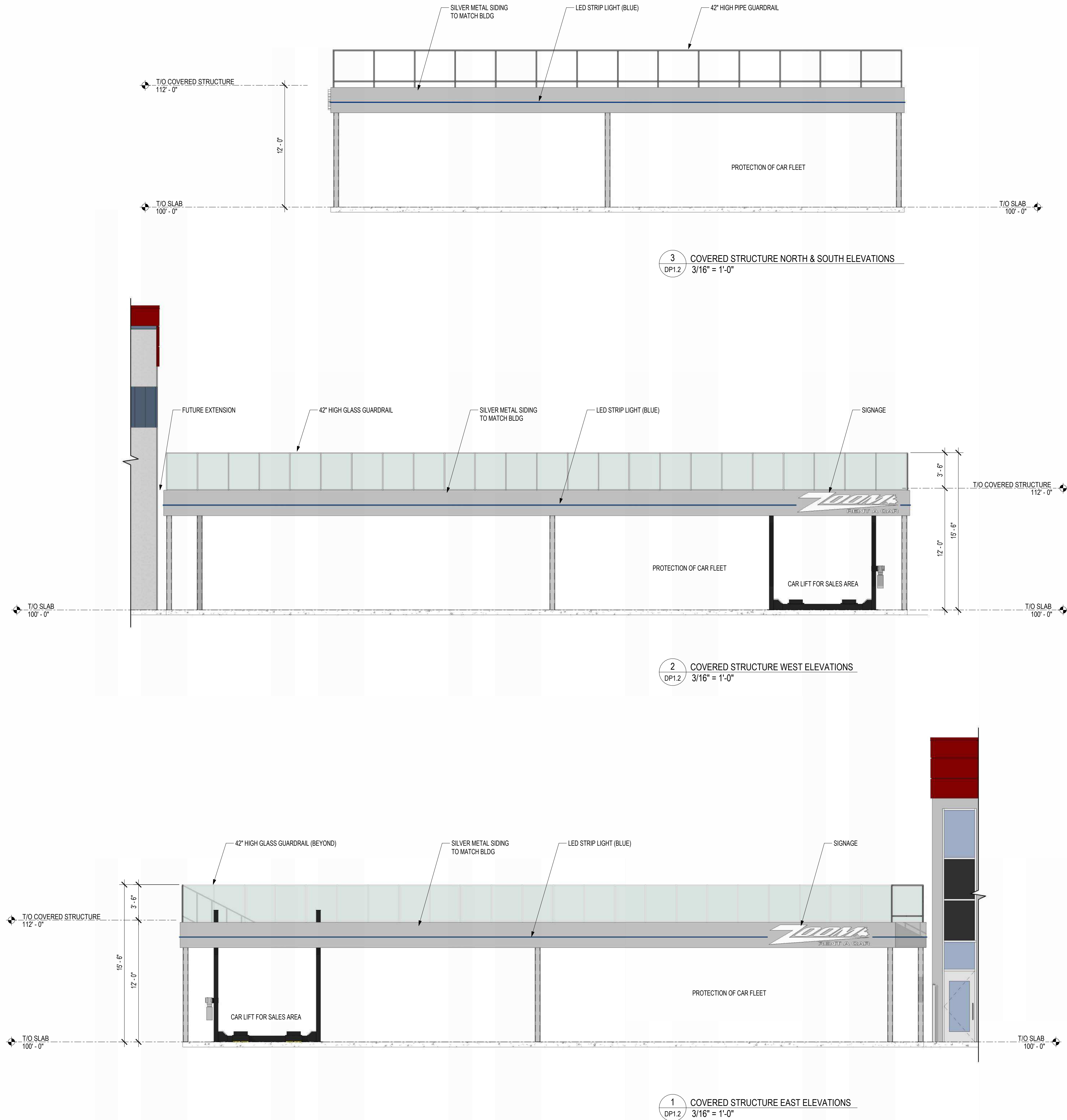
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- ALL DIMENSIONS IN mm.



- ALL DIMENSIONS IN mm





3 COVERED STRUCTURE NORTH & SOUTH ELEVATIONS
3/16" = 1'-0"

2 COVERED STRUCTURE WEST ELEVATIONS
3/16" = 1'-0"

1 COVERED STRUCTURE EAST ELEVATIONS
3/16" = 1'-0"

GENERAL NOTES

IMPERIAL :

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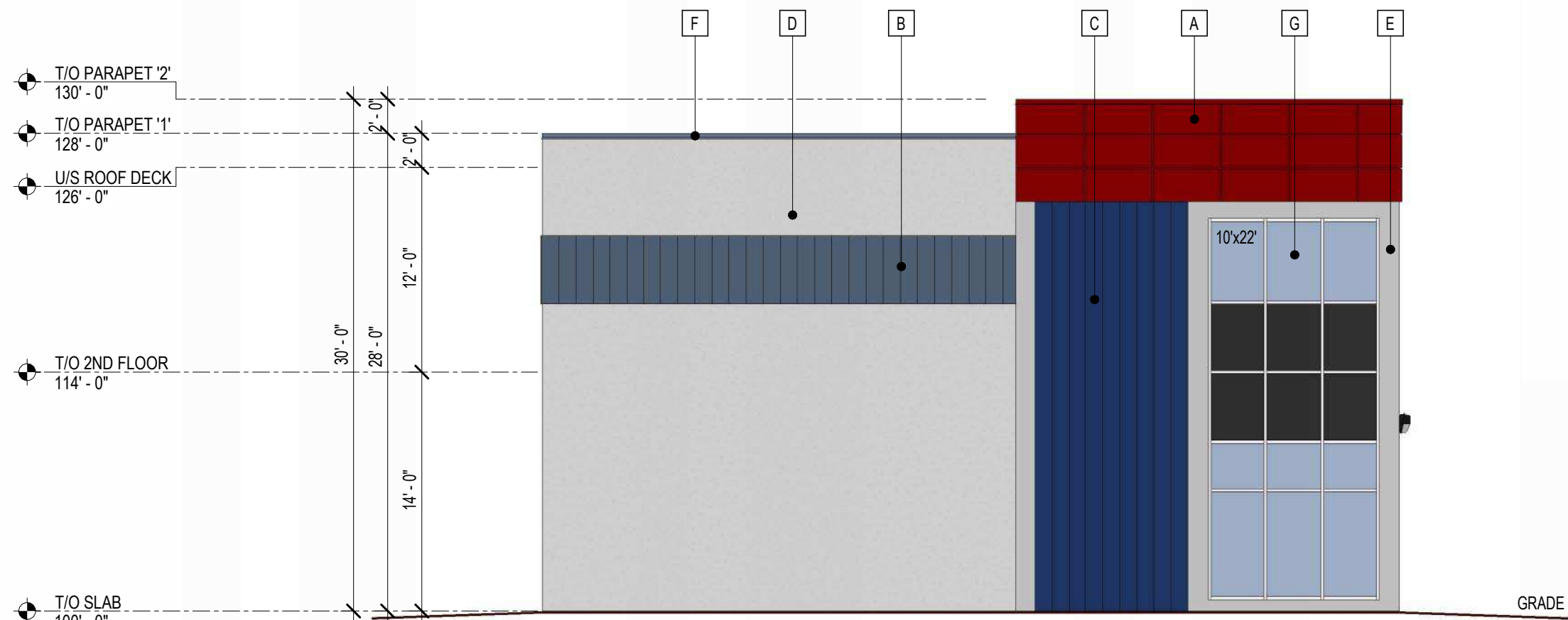
CLIENT:		ZOOM CAR RENTAL
CONTACT PERSON:		Contact
PROJECT:		STONEGATE ZOOM CAR RENTAL
MUNICIPAL ADDRESS:		LEGAL ADDRESS:
12512 BARLOW TRAIL N.E. CALGARY, AB.		LOT: 2 BLOCK: - PLAN: 2010787
DRAWING:		COVERED STRUCTURE
DRAWN BY: JILC	DATE: 01 NOV 23	DP1.2
SCALE: 3/16" = 1'-0"	CHECKED BY:	



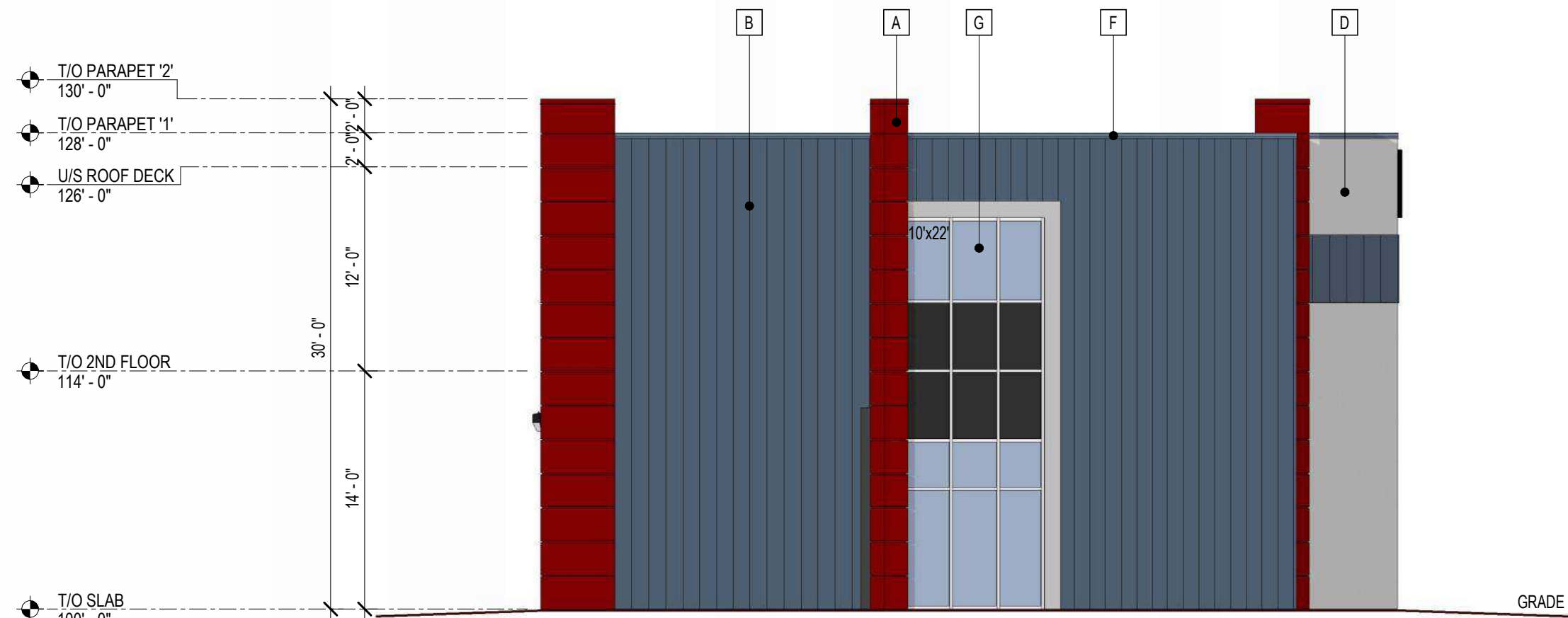
1 EAST ELEVATION
DP3.0 1/8" = 1'-0"

EXTERIOR FINISHES LEGEND

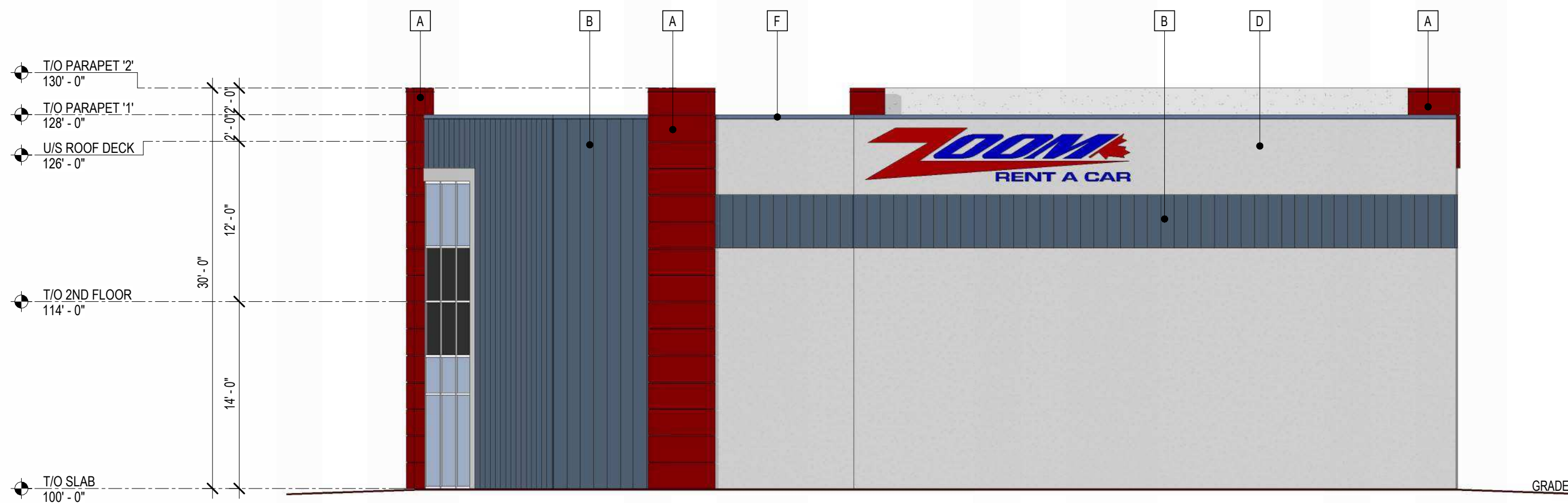
- A - COMPOSITE ALUMINUM PANEL
Colour - Silver ACM
Manu - Jay's Metals (Or Equal)
- B - VERTICAL METAL SIDING
Colour =
- C - VERTICAL METAL SIDING
Colour = Blue
- D - STUCCO EIFS w/ REVEALS
Colour = Grey
Manu = DuraBond (or equal)
- E - METAL SIDING
Colour = Silver
- F - ALUMINUM CAP FLASHING
Colour = To Match Siding
- G - SEALED GLAZING UNITS
Frames = Anodized
- J - METAL CANOPY
Colour = Anodized
- K - STOREFRONT SINGLE DOOR
Colour = Clear Anodized Aluminum w/ Glazing
- L - INUSL. MTL. MAN DOOR
Colour = Painted Grey



3 SOUTH ELEVATION
DP3.0 1/8" = 1'-0"



2 NORTH ELEVATION
DP3.0 1/8" = 1'-0"



4 WEST ELEVATION
DP3.0 1/8" = 1'-0"

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CLIENT: **ZOOM CAR RENTAL**

CONTACT PERSON: Contact

PROJECT: **STONEGATE ZOOM CAR RENTAL**

MUNICIPAL ADDRESS: 12512 BARLOW TRAIL N.E. CALGARY, AB. LEGAL ADDRESS: LOT: 2 BLOCK: - PLAN: 2010787

ETERIOR ELEVATIONS

DRAWN BY: JILC DATE: 01 NOV 23
SCALE: 1/8" = 1'-0" CHECKED BY:

DP3.0