

ABBREVIATIONS		
A	ABOVE FINISHED FLOOR	A.F.F.
	ACOUSTIC TILE	ACT.
	ALUMINUM	ALUM.
B	ANODIZED	ANOD.
	ARCHITECTURAL	ARCH.
	BATT INSULATION	BATT INSUL.
C	BEAM	BM.
	BOTH WAYS	B.W.
	BOTTOM	BOT.
D	BARRIER FREE	B.F.
	BUILDING	BLDG.
	BUILT-UP ROOF	B.U.R.
E	CARPET	CPT.
	CATCH BASIN	C.B.
	CEILING	CLG.
F	CENTER LINE	C.L.
	CERAMIC TILE	C.T.
	COLUMN	COL.
G	COMBUSTIBLE	COMB.
	COMPLETE WITH	C.W.
	CONCRETE	CONC.
H	CONCRETE BLOCK	CONC.BL.
	CONSTRUCTION	CONST.
	CONTROL JOINT	C.J.
I	CONTINUOUS	CONT.
	CORRIDOR	CORR.
J	DIAMETER	DIA.
	DIMENSION	DIM.
	DISHWASHER	D.W.
K	DOUBLE GLAZED	D.G.
	DOWN	DN.
	DRAWING	DWG.
L	DRAINING FOUNTAIN	D.F.
	EACH	EA.
	ELEVATION	ELEV.
M	ELECTRICAL	ELEC.
	EQUAL	EQ.
	EXISTING	EXIST.
N	EXPANSION JOINT	EXP. JT.
	EXPOSED	EXP.
	EXTERIOR	EXT.
O	FACE OF FOUNDATION	F.O.F.
	FINISH	FIN.
	FIRE-RESISTANCE RATING	F.R.R.
P	FLOOR	FL.
	FLOOR DRAIN	F.D.
	FLOOR AREA RATIO	F.A.R.
Q	FIRE HOSE CABINET	F.H.C.
	FIRE EXTINGUISHER	F.E.
	FOOTING	FTG.
R	FOUNDATION	FOUND.
	GAUGE	GA.
	GEODETIC	GEO.
S	GLASS	GL.
	GRADE	GR.
	GREATER THAN	>
T	GROSS FLOOR AREA	G.F.A.
	GROUND FLOOR	GR.FLR.
	GYPSUM WALL BOARD	G.W.B.
U	HOLLOW METAL	H.M.
	HORIZONTAL	HORZ.
	HOSE BIBB	H.B.
V	HOLLOW CORE	H.C.
	HOLLOW STEEL SECTION	H.S.S.
	INTERIOR	INT.
W	INSIDE FACE	I.F.
	INSULATION	INSUL.
	JANITOR	JAN.
X	LAMINATED	LAM.
	LAVATORY	LAV.
	LESS THAN	<
Y	MANHOLE	M.H.
	MANUFACTURER	MANF.
	MAXIMUM	MAX.
Z	MECHANICAL	MECH.
	METAL	MTL.
	MICROWAVE	M.W.
AA	MINIMUM	MIN.
	MISCELLANEOUS	MISC.
	NATURAL	NAT.
BB	NOT APPLICABLE	N.A.
	NOT IN CONTRACT	N.I.C.
	NOT TO SCALE	N.T.S.
CC	NUMBER	NUM.
	ON CENTER	O.C.
	OPENING	OPG.
DD	OUTSIDE FACE	O.F.
	OVERHEAD DOOR	O.H.D.
	PAINT	PT.
EE	PARTITION	PTN.
	PLATE	PL.
	PLASTIC LAMINATE	PLAM.
FF	PLYWOOD	PLY.
	POLYETHYLENE	POLY.
	PRECAST CONCRETE	P.C. CONC.
GG	PREFINISHED	PREFIN.
	PRESSED STEEL	P.S.
	PRESSURE TREATED	P.T.
HH	PROPERTY LINE	R.
	QUARRY TILE	Q.T.
	RADIUS	R.
II	RAINWATER LEADER	R.W.L.
	REINFORCING	REIN.
	REQUIRED	REQ.
JJ	REFRIGERATOR	F.R.
	REVISED	REV.
	ROOM	RM.
KK	ROOF DRAIN	R.D.
	ROOF TOP UNIT	R.T.U.
	ROUGH OPENING	R.O.
LL	RUBBER OOVE BASE	R.C.B.
	SIMILAR	SIM.
	SLAB ON GRADE	S.O.G.
MM	SOAP DISPENSER	S.D.
	SOLID CORE	S.C.
	SPANDREL PANEL	S.P.
NN	SPECIFICATIONS	SPEC.
	SQUARE	SQ.
	STAINLESS STEEL	S.S.
OO	STEEL	STL.
	STORAGE	STOR.
	STOVE	ST.
PP	STRUCTURAL	STRUCT.
	TELEVISION	T.V.
	TEXTURED	TEX.
QQ	TOP OF	T.O.
	TOUNGE AND GROOVE	T&G.
	TOWEL DISPENSER	T.D.
RR	TYPICAL	TYP.
	UNDERSIDE	UIS.
	UNDERWRITERS LABORATORIES OF CANADA	U.L.C.
SS	UNPROTECTED OPENING(S)	UP.O.
	VAPOUR BARRIER	V.B.
	VENEER	VEN.
TT	VERTICAL	VERT.
	VESTIBULE	VEST.
	VINYL COMPOSITE TILE	V.C.T.
UU	WAREHOUSE	W.H.
	WATER CLOSET	W.C.
	WATERPROOF	W.P.
VV	WOOD	WD.



PROPOSED MULTI-USE AUTOMOTIVE DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT - November 1st, 2023
ISSUED FOR BUILDING PERMIT - T.B.D.
ISSUED FOR CONSTRUCTION - T.B.D.



SITE PIC. #1: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #2: DESCRIPTION
DATE: (OPTIONAL)



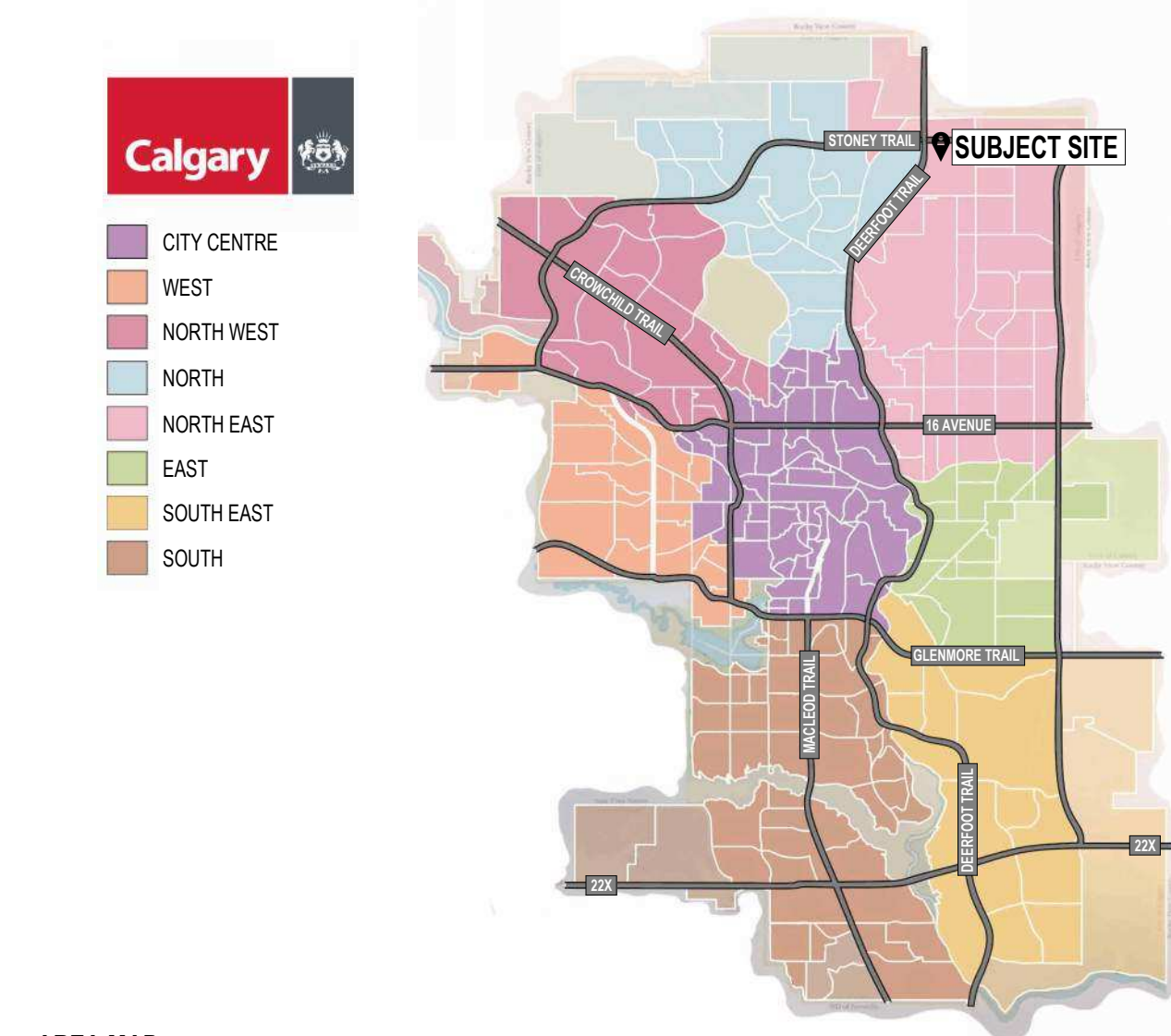
SITE PIC. #3: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #4: DESCRIPTION
DATE: (OPTIONAL)



LOCATION MAP



AREA MAP

BASIS OF CODE CHECK : NBC - 2019 ALBERTA EDITION

PROJECT TYPE : AUTOMOTIVE BUILDING

MAJOR OCCUPANCY CLASSIFICATIONS A-3.1.2.1.(1):

GROUP F2

GROUP D

NUMBER OF STOREYS:	2 STOREYS
BUILDING FOOTPRINT:	240 SQ. M.
SPRINKLERED:	NO

STREETS FACING 3.2.2.10 :
(IF SPRINKLERED IGNORE)

2 STREETS

CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE

FLOOR AREAS:	MAIN FLOOR	2ND FLOOR	TOTAL G.F.A.
	270 SQ.M	62 SQ.M	332 SQ.M.

BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.78)

SEPARATIONS BETWEEN OCCUPANCIES: NO RATING
- UP TO 2 STOREYS (2 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 750 SQ.M. IF 2 STOREYS (270 ACTUAL SQ.M.)

2. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

- a) FLOOR ASSEMBLIES: SHALL BE FIRE SEPARATIONS WITH F.R.R. NOT < 45min
IF OF COMBUSTIBLE CONSTRUCTION
- b) LOABEARING WALLS, COLS & ARCHES: i) HAVE F.R.R. NOT < 45min OR
ii) NON-COMBUSTIBLE CONST.

DRAWING REFERENCE SYMBOLS

1
A101
DETAIL NUMBER
SHEET NUMBER WHERE LOCATED

1
A101
BUILDING SECTION NUMBER
SHEET NUMBER WHERE LOCATED

1
A101
WALL SECTION NUMBER
SHEET NUMBER WHERE LOCATED

1
A0.0
TITLE
N.T.S.
DRAWING NUMBER
DRAWING TITLE
DRAWING SCALE
SHEET NUMBER WHERE LOCATED

Room name
LXXX
LXW
ROOM NAME
ROOM NUMBER (FIRST DIGIT IDENTIFIES
THE FLOOR ON WHICH ROOM IS LOCATED)
ROOM DIMENSIONS

1000.00
PROPOSED ELEVATION

1000.00
EXISTING ELEVATION

Name
Elevation
LEVEL HEAD

1
A
GRID NUMBER OR LETTER DESIGNATION

CLOUD AROUND REVISION MADE

1
A101
DETAIL NUMBER
SHEET NUMBER WHERE LOCATED
DETAIL CALL OUT BOX

PIC #1
DIRECTION OF PICTURE TAKEN
SITE PICTURE NUMBER CORRESPONDING
WITH TITLE PAGE

NEW DOOR SWING SYMBOL

EXIST. DOOR SWING SYMBOL

GENERAL NOTES:

1. DEVIATION FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/DESIGNER ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.
2. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS.
3. THESE DRAWINGS AND DETAILS ARE, BY THEIR VERY NATURE, SCHEMATIC AND DO NOT DEPICT EVERY CONDITION, DETAIL, CONNECTION, ETC. WHICH WILL OCCUR.
4. KNOWLEDGEABLE, PROPERLY LICENSED CONTRACTORS AND JOB CONTRACTORS MUST BE RELIED UPON TO ACHIEVE PROPER INSTALLATION OF MATERIALS, FLASHINGS, WEATHER SEALINGS, MATERIAL TRANSITIONS, SEPARATIONS, CONNECTIONS, ANCHORAGES, ETC.
5. FOR THE AVOIDANCE OF DOUBT, ALL DIMENSIONS ARE MEASURED TO WALL STRUCTURE AND NOT THE FINISHES UNLESS OTHERWISE NOTED.

GENERAL NOTES

METRIC :

ALL DIMENSIONS ARE IN METRES AND MILLIMETRES UNLESS OTHERWISE NOTED. IMPERIAL IN BRACKETS

VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING.

REPORT ANY DISCREPANCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENTIRE ARCHITECTURAL PACKAGE.

1	09 JUL 24	DR 1 RESPONSE
REV	DATE	DESCRIPTION

REVISIONS

1	01 NOV 23	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION

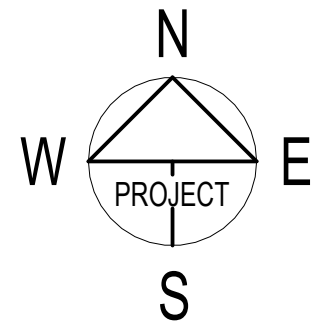
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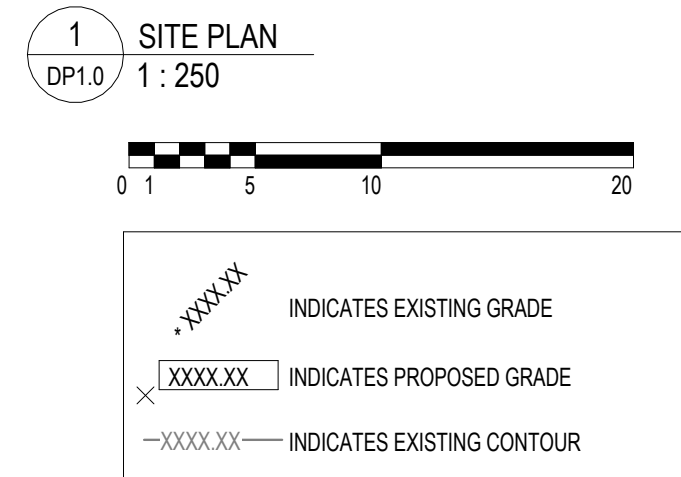
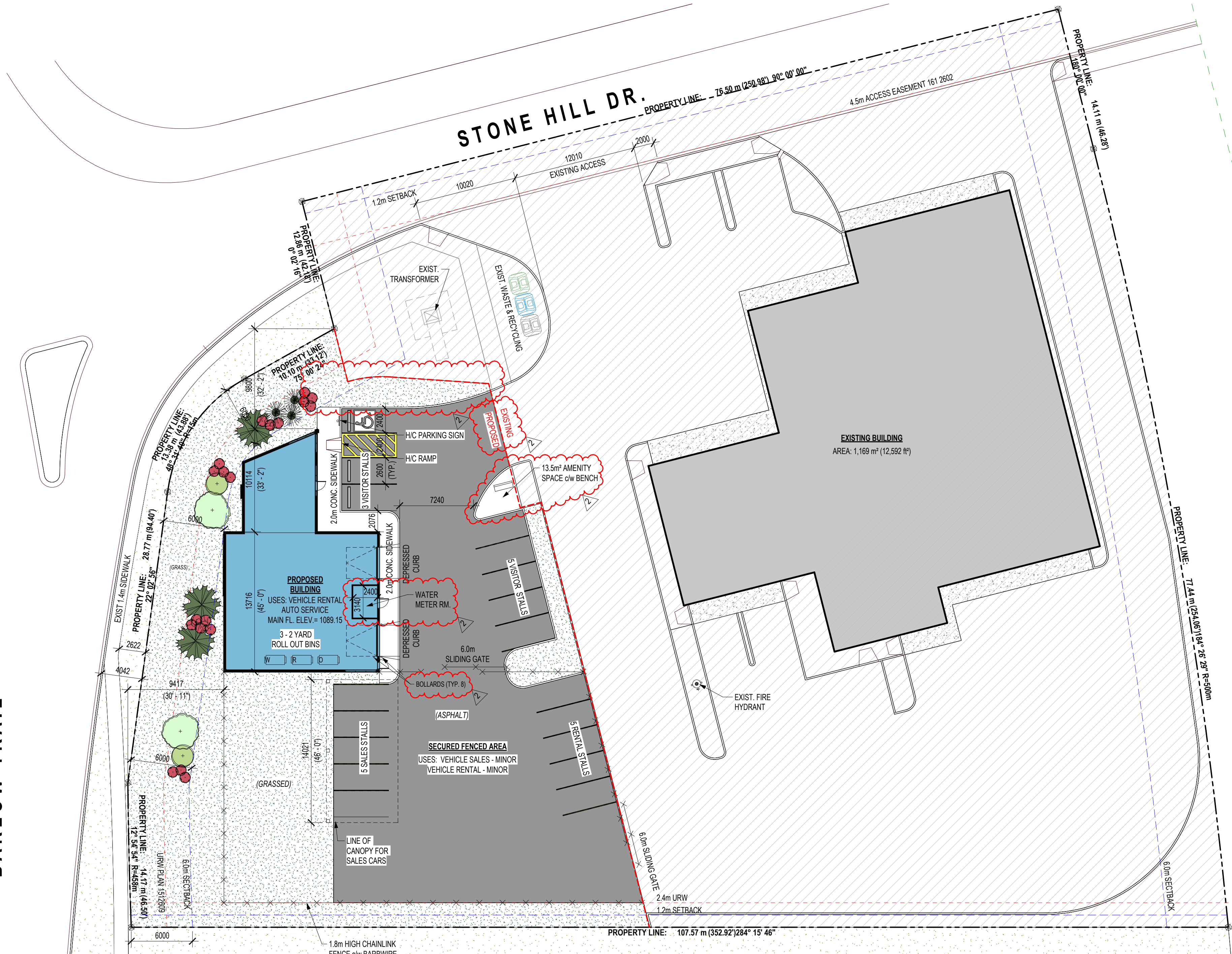
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Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3340

CLIENT:	ZOOM CAR RENTAL	
CONTACT PERSON:	Contact	
PROJECT:	STONEGATE ZOOM CAR RENTAL	
MUNICIPAL ADDRESS:	12502 BARLOW TRAIL N.E. CALGARY, AB.	LEGAL ADDRESS: LOT: 2 BLOCK: - PLAN: 2010787
DRAWING:	TITLE SHEET	
DRAWN BY: JLC	DATE: 09 JUL 23	DP0.0
SCALE: As indicated	CHECKED BY: LGM	



BARLOW TRAIL



LANDSCAPING REQUIREMENTS			
AREA REQUIRED: 432m² (SETBACK AREA)			
LANDSCAPING PROVIDED			
HARD LANDSCAPING	165 m²	165 m²	
SOFT LANDSCAPING	917 m²	917 m²	
LANDSCAPING PROVIDED	1,082 m²	1,082 m²	
TREES & SHRUBS REQUIRED			
= 1 TREE / 50 m² OF REQUIRED LANDSCAPING			
= 432 m² / 50 m² = 8.64 = 9 TREES			
= 2 SHRUBS / 50 m² OF REQUIRED LANDSCAPING			
= 432 m² / 50 m² x 2 = 17.28 = 18 SHRUBS			
(9 TREES REQUIRED - 5 DECIDUOUS, 4 CONIFEROUS)			
- MIN. 25% TO BE CONIFEROUS: ACTUAL 44%			
- MIN. 50% TREES TO BE LARGE TREES			
NOTE:			
- ALL LANDSCAPING SHOWN IS PROPOSED UNLESS OTHERWISE NOTED.			
- ALL TREES/SHRUBS ARE LOW WATER REQUIRED.			
- ALL PLANT MATERIAL MUST CONFORM TO STANDARDS OF THE CANADIAN NURSERY ASSOCIATION FOR HEAVY GROWN IN CALGARY			
- ALL TREES & SHRUBS TO HAVE LOW WATER IRRIGATION			

SURFACE TREATMENT			
ASPHALT	970 m²	10,442 ft²	
CONCRETE CURB	87 m²	931 ft²	
CONCRETE SIDEWALK	79 m²	849 ft²	
GRASS	1,442 m²	15,520 ft²	
GRASSED BOULEVARD	1,299 m²	13,988 ft²	

LANDSCAPE LEGEND			
REQD	QTY.	TYPE	SPECIES
3	3	CONIFEROUS TREE LARGE	COLORADO BLUE SPRUCE (Picea Pungens)
3	3	CONIFEROUS TREE SMALL	COLUMNAR SPRUCE (Picea Pungens 'Fastigiata')
18	19	DECIDUOUS SHRUB 600 mm HEIGHT OR SPREAD	POTENTILLA (Potentilla Reptans) BLUE FOX WILLOW (Salix Brachycarpa)
2	2	DECIDUOUS TREE LARGE	BLACK ASH (Fraxinus Nigra)
2	2	DECIDUOUS TREE SMALL	TOWER POPLAR (Populus x canadensis)

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SITE INFORMATION
LOT AREA:
TOTAL LOT AREA: 1.883 acres (0.7618 ha) 7,618 m²
ZONING:
LAND USE BYLAW - 1P2007
INDUSTRIAL - GENERAL (I-G) DISTRICT
USE:
VEHICLE RENTAL - MINOR (DISCRETIONARY)
AUTO SERVICE - MAJOR (PERMITTED)
VEHICLE SALES - MINOR (DISCRETIONARY)
BUILDING AREA:
MAIN FLOOR: 270.35 m² (2,910.00 ft²)
2ND FLOOR: 61.92 m² (666.50 ft²)
TOTAL AREA: 332.27 m² (3,576.50 ft²)
FOOTPRINT: 270.35 m² (2,910.00 ft²)
COVERED STRUCTURE AREA:
FOOTPRINT: 339.47 m² (3,654.00 ft²)
PARCEL COVERAGE:
BUILDING FOOTPRINT & COVERED STRUCTURE = 609.82 m² (6,564.00 ft²)
LOT AREA = 7,618 m²
609.82 m² / 7,618 m² = **8% PARCEL COVERAGE**
FAR: 318.77 m² (G.F.A.) / 7,618 m² (LOT AREA) = **0.042**
PARKING:
VEHICLE RENTAL — MINOR:
= 1 STALL FOR EVERY INVENTORY VEHICLE
= 5 INVENTORY VEHICLES x 1 STALLS
= 5 STALLS
AUTO SERVICE - MAJOR:
= 1 STALL PER 100m² GROSS USABLE FLOOR AREA
= 1 x 332.27m² / 100
= 3.32
= 4 STALLS
VEHICLE SALES — MINOR:
= 1 STALL FOR EVERY INVENTORY VEHICLE
= 5 INVENTORY VEHICLES x 1 STALLS
= 5 STALLS
TOTAL PARKING REQUIRED: 14 STALLS
TOTAL PARKING PROVIDED: 18 STALLS

2	T.B.D.	DR 2 RESPONSE
1	09 JUL 24	DR 1 RESPONSE
REV	DATE	DESCRIPTION
REVISIONS		
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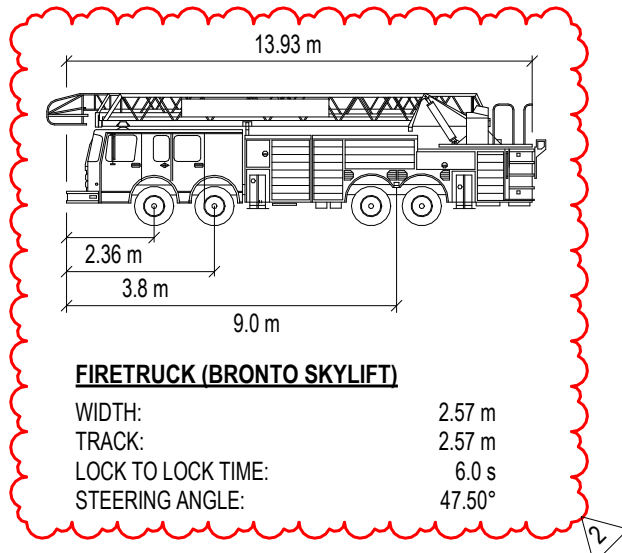
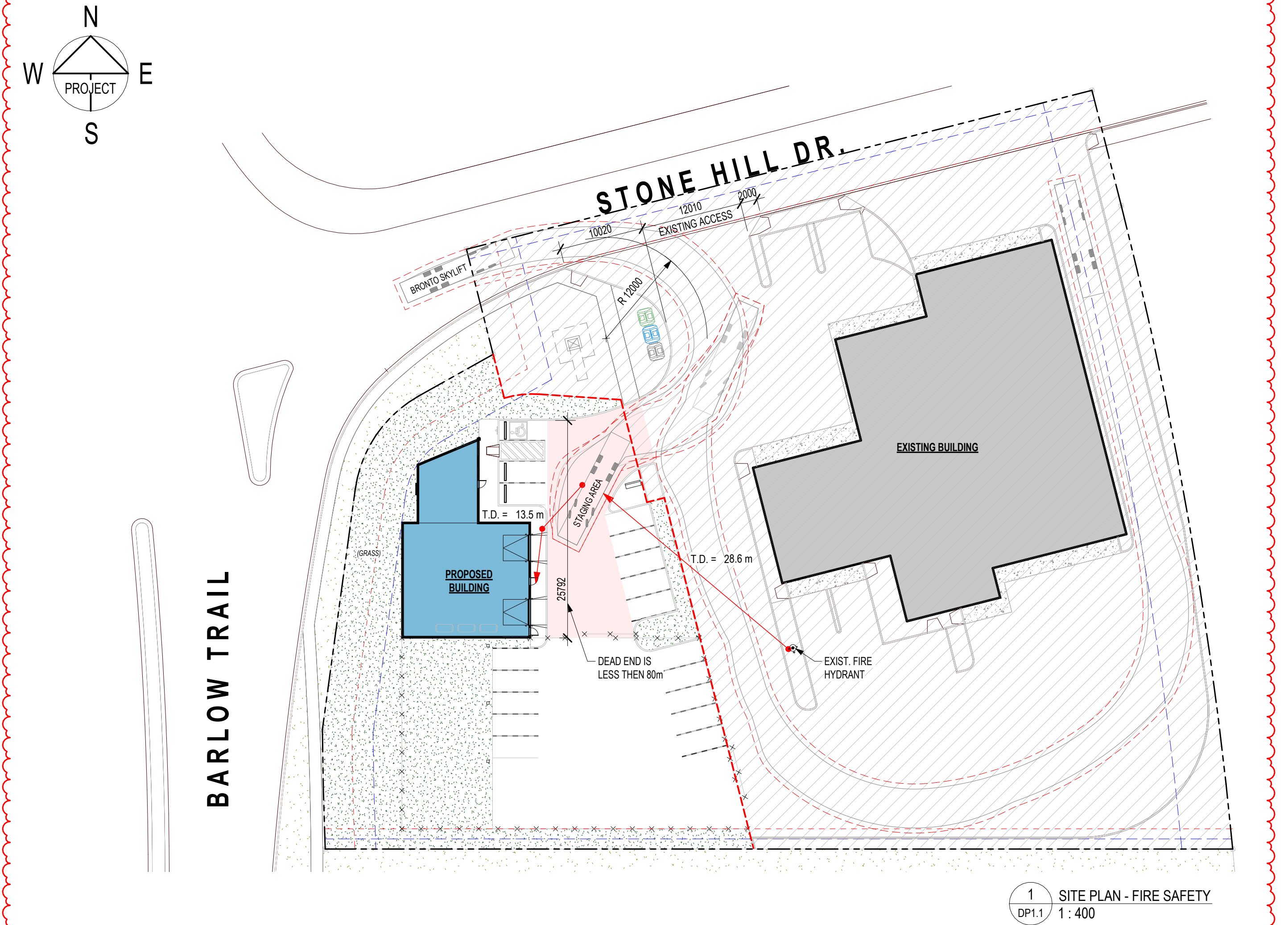
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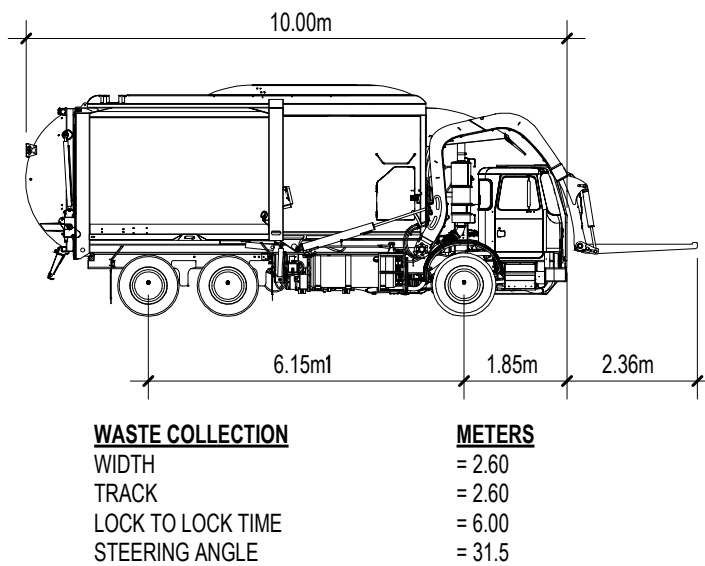
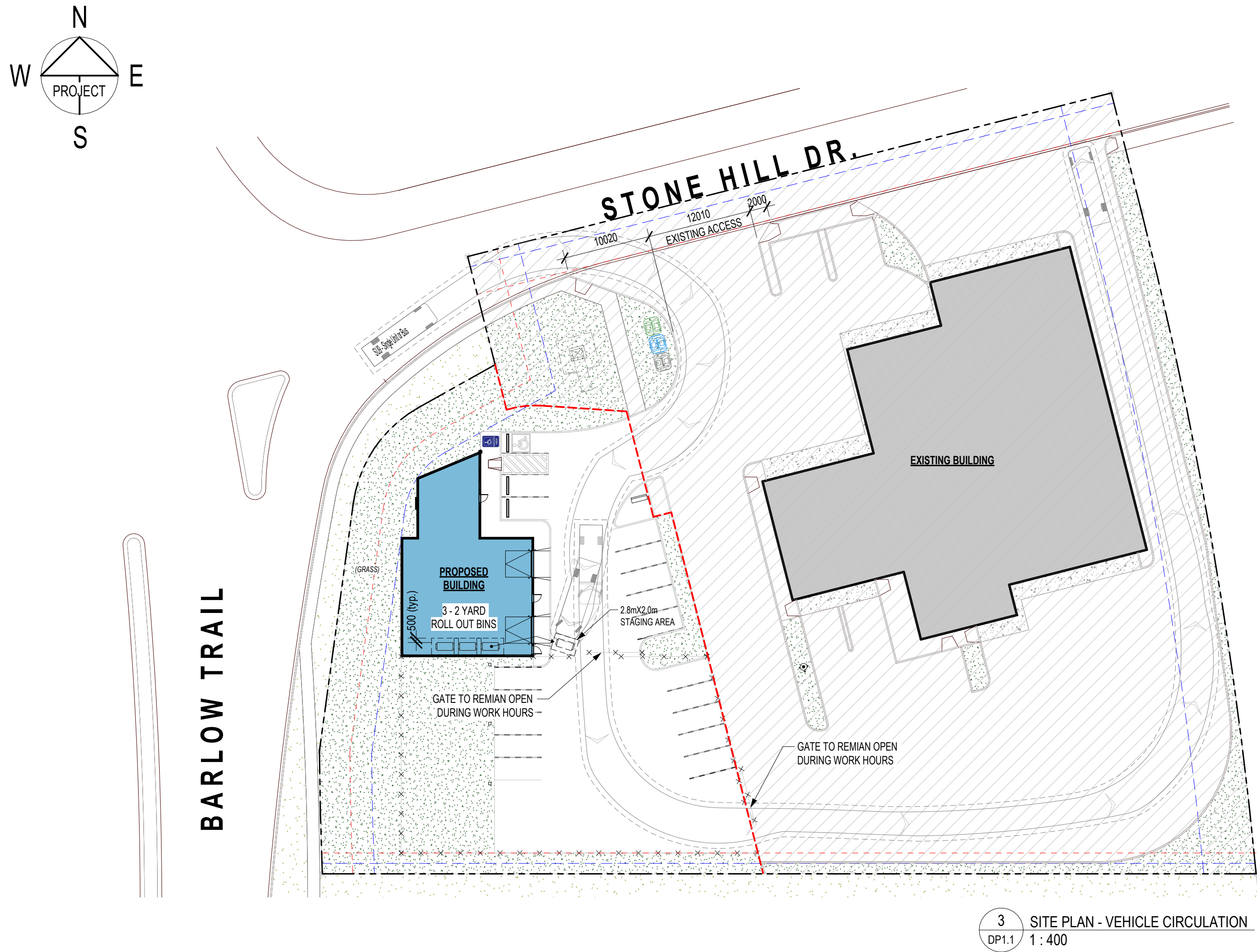
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CONTACT PERSON:	Contact
PROJECT:	
STONEGATE ZOOM CAR RENTAL	
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
12502 BARLOW TRAIL N.E. CALGARY, AB.	LOT: 2 BLOCK: - PLAN: 2010787
DRAWING:	
SITE PLAN & SITE INFORMATION	
DRAWN BY:	DATE:
JILC	09 JUL 23
SCALE:	CHECKED BY:
As indicated	LGM

DP1.0



SURFACE TREATMENT	
	H.D. ASPHALT - STRUCTURALLY CAPABLE OF A 38,556kg/85,000lbs LOAD
	L.D. ASPHALT - STRUCTURALLY CAPABLE OF A 25,000kg LOAD



PROVISIONS FOR FIREFIGHTING (3.2.5)

ACCESS ROUTES 3.2.5.4.

1) A BUILDING WHICH IS MORE THAN 3 STOREYS IN BUILDING HEIGHT OR MORE THAN 600 m² IN BUILDING AREA SHALL BE PROVIDED WITH ACCESS ROUTES FOR FIRE DEPARTMENT VEHICLES BUILDINGS MORE THAN 600 m²

LOCATION OF ACCESS ROUTES 3.2.5.5.

1) ACCESS ROUTES REQUIRED BY ARTICLE 3.2.5.4. SHALL BE LOCATED SO THAT THE PRINCIPAL ENTRANCE AND EVERY ACCESS OPENING REQUIRED BY ARTICLES 3.2.5.1. AND 3.2.5.2. ARE LOCATED NOT LESS THAN 3 M AND NOT MORE THAN 15 M FROM THE CLOSEST PORTION OF THE ACCESS ROUTE REQUIRED FOR FIRE DEPARTMENT USE, MEASURED HORIZONTALLY FROM THE FACE OF THE BUILDING.

2) a) FOR A BUILDING PROVIDED WITH A FIRE DEPARTMENT CONNECTION, A FIRE DEPARTMENT PUMPER VEHICLE CAN BE LOCATED ADJACENT TO THE HYDRANTS REFERRED TO IN ARTICLE 3.2.5.15.
b) BUILDING NOT PROVIDED WITH FIRE DEPARTMENT CONNECTION, A FIRE DEPARTMENT PUMPER VEHICLE CAN BE LOCATED SO THAT THE LENGTH OF THE ACCESS ROUTE FROM HYDRANT TO VEHICLE PLUS THE UNOBSTRUCTED PATH OF TRAVEL FIREFIGHTER FROM VEHICLE TO THE BUILDING IS NOT MORE THAN 90m, AND
c) THE UNOBSTRUCTED PATH OF TRAVEL FOR THE FIREFIGHTER FROM VEHICLE TO THE BUILDING IS NOT MORE THAN 45m.

ACCESS ROUTE DESIGN 3.2.5.6.

1) A PORTION OF A ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL:

a) HAVE A CLEAR WIDTH NOT < 6m, UNLESS IT CAN BE SHOWN THAT LESSER WIDTHS ARE SATISFACTORY,
b) HAVE A CENTERLINE RADIUS NOT < 12m,
c) HAVE AN OVERHEAD CLEARANCE NOT < 5m,
d) HAVE A CHANGE OF GRADIENT NOT > 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15m,
e) BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS,
f) HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 90m LONG, AND
g) BE CONNECTED TO A PUBLIC THOROUGHFARE.

FIRE DEPARTMENT CONNECTIONS 3.2.5.15.

1) THE FIRE DEPARTMENT CONNECTION FOR AN AUTOMATIC SPRINKLER SYSTEM SHALL BE LOCATED SO THAT THE DISTANCE FROM THE FIRE DEPARTMENT CONNECTION TO A HYDRANT IS NOT MORE THAN 45 M AND IS UNOBSTRUCTED.

2) THE FIRE DEPARTMENT CONNECTION REFERRED TO IN SENTENCES (1) AND (2) SHALL BE LOCATED NO CLOSER THAN 3 M AND NO FURTHER THAN 15 M FROM THE PRINCIPAL ENTRANCE TO THE BUILDING.

TRAFFIC SIGN SCHEDULE		
SIGN	COUNT	MOUNTING
	1	1 - 48" WHITE SHORT SQUEEZE 1 - 101NS FIXED BASE
	EXISTING	EXISITNG

GENERAL NOTES

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NOTE: ALL GRADES AT WASTE COLLECTION AREAS TO HAVE MAXIMUM 2.0% SLOPE FOR MANEUVERING OR COLLECTING.

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1	09 JUL 24	DR 1 RESPONSE
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Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3040

CLIENT: **ZOOM CAR RENTAL**

CONTACT PERSON: Contact

PROJECT: **STONEGATE ZOOM CAR RENTAL**

MUNICIPAL ADDRESS: 12502 BARLOW TRAIL N.E. CALGARY, AB. LEGAL ADDRESS: LOT: 2 BLOCK: - PLAN: 2010787

DRAWING: **TRAFFIC PLAN**

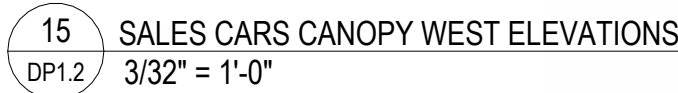
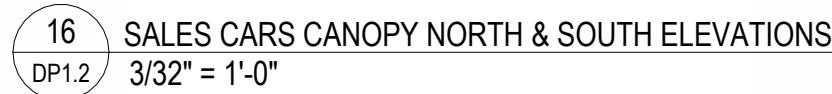
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SCALE: As indicated CHECKED BY: LGM

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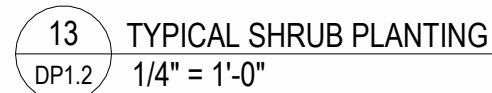
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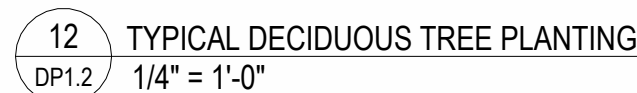
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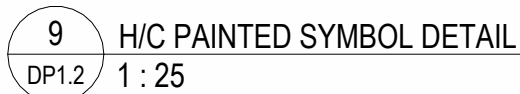
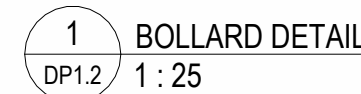
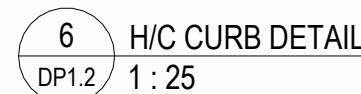
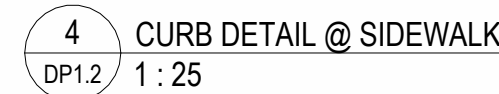
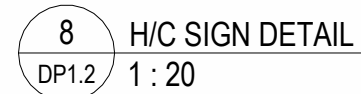
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- Diagram illustrating the cross-section of a shrub pit installation. The diagram shows a tree with a trunk flare extending to the limit of the shrub pit. The pit is filled with 75mm approved mulch. The pit is 200mm wide at the base and 200mm deep. The finished grade is 75mm above the base of the pit. The pit is labeled "SHRUB PIT" at the bottom. The diagram also shows the "PRUNE DEAD, DYING AND DISEASED BRANCHES WHILE RETAINING NATURAL PLANT SHAPE" and "ON SITE LOAM OR IMPORTED LOAM (AS SPECIFIED)".
- LOOSEN ROOTBALL FROM POT/CONTAINER
 - CHECK FOR GIRDLING ROOTS. ANY GIRDLING ROOTS SHOULD BE PRUNED TO PREVENT FUTURE GIRDLING
 - THIS DETAIL WILL BE USED FOR ALL CONTAINERIZED DECIDUOUS OR CONIFEROUS SHRUBS PLANT SHRUB AT ORIGINAL DEPTH AS GROWN IN NURSERY. ROOT FLARE SHOULD BE VISIBLE AT GRADE
 - ALL DIMENSIONS IN mm.



-
- PRUNE AWAY ANY GRIDLING ROOTS.
- PRUNE BROKEN AND FRAYED ROOTS ENDING WITH SECATEURS.
- HOLD TRUNK VERTICAL, BACKFILL AROUND ROOTS WITH TOPSOIL, CONTINUOUSLY PACKING THE SOIL UNTIL FIRM.
- TREE SHOULD BE PLANTED THE SAME ORIGINAL GROWING DEPTH AS IN NURSERY, TRUNK FLARE SHOULD BE VISIBLE AT GRADE.
- IF TREE IS IN A WIRE BASKET, CUT AND REMOVE STRAPPING AND THE HORIZONTAL/VERTICAL WIRES OF THE UPPER 4 AS A MINIMUM, PULL BACK BURLAP TO THE SAME MINIMUM.
- T-BARS SHOULD BE HAMMERED DOWN INTO SOIL FOOTING (MINIMUM 400mm INTO SUBSOIL)
- STAKING TO BE IN PLACE FOR A MAXIMUM OF ONE YEAR, WHEN REQUIRED.
- USE RUBBER STRAPS (TO PROTECT THE TREE) AT POINT OF CONTACT WITH TRUNK.
- PRUNE DEAD / DYING / DISEASED BRANCHES TO MAINTAIN NATURAL FORM OF TREE
- ALL DIMENSIONS IN mm.
- PREVAILING WIND
- STAKING PLANT: T-BAR
- PREVAILING WIND
- RUBBER STRAP TO PREVENT ANY CONTACT BETWEEN WIRE AND TRUNK
- 11 GAUGE GUT WIRE OR APPROVED ALTERNATIVE
- USE THREE 1800mm PAINTED T-Bars 75mm APPROVED MULCH, STARTING 50mm FROM TRUNK FLARE EXTENDING TO LIMIT OF TREE PIT / WELL
- TRUNK FLARE AT GRADE
- TRUNK FLARE EXTENDING TO LIMIT OF TREE PIT / WELL
- TRUNK FLARE
- TOP SOIL, REFER TO TOP SOIL SPEC
- SCARIER SIDES OF TREE PIT
- COMPACTED CLAY BELOW FOOTBALL
- SUB-SOIL
- 100
- 750
- 400



- [illegible]



REV	DATE	DESCRIPTION
REVISIONS		

NO.	DATE	DESCRIPTION
ISSUANCES		

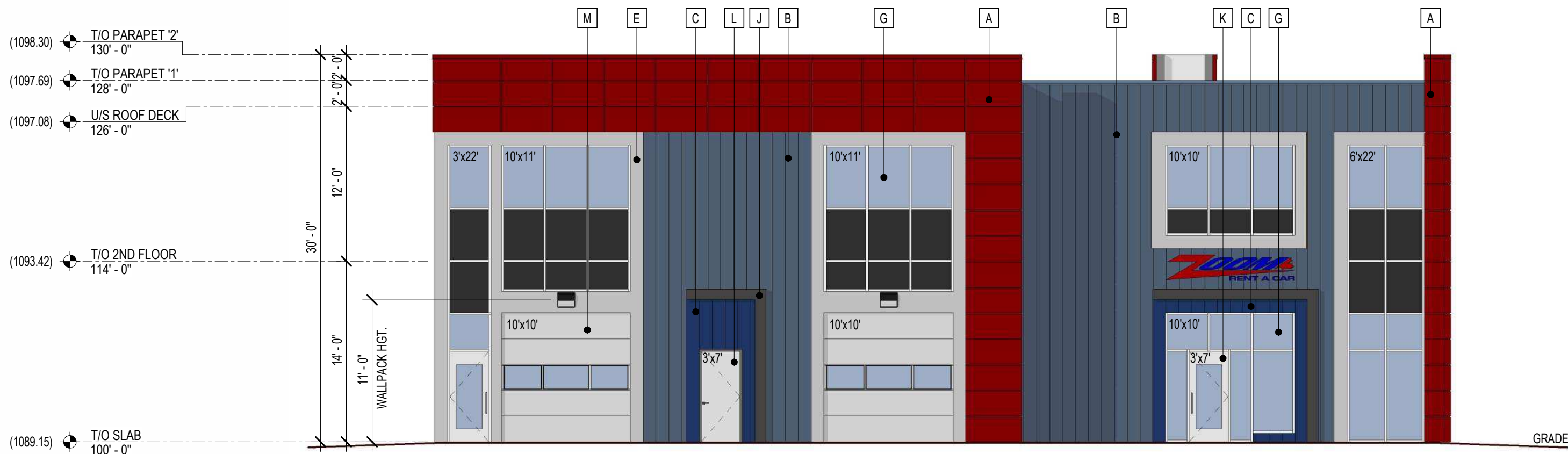
BP#:

DP#:

CLIENT:	
ZOOM CAR RENTAL	
CONTACT PERSON:	
Contact	
PROJECT:	
STONEGATE ZOOM CAR RENTAL	
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
12502 BARLOW TRAIL N.E.	LOT: 2
CALGARY, AB.	BLOCK: -
	PLAN: 2010787

DP1.2

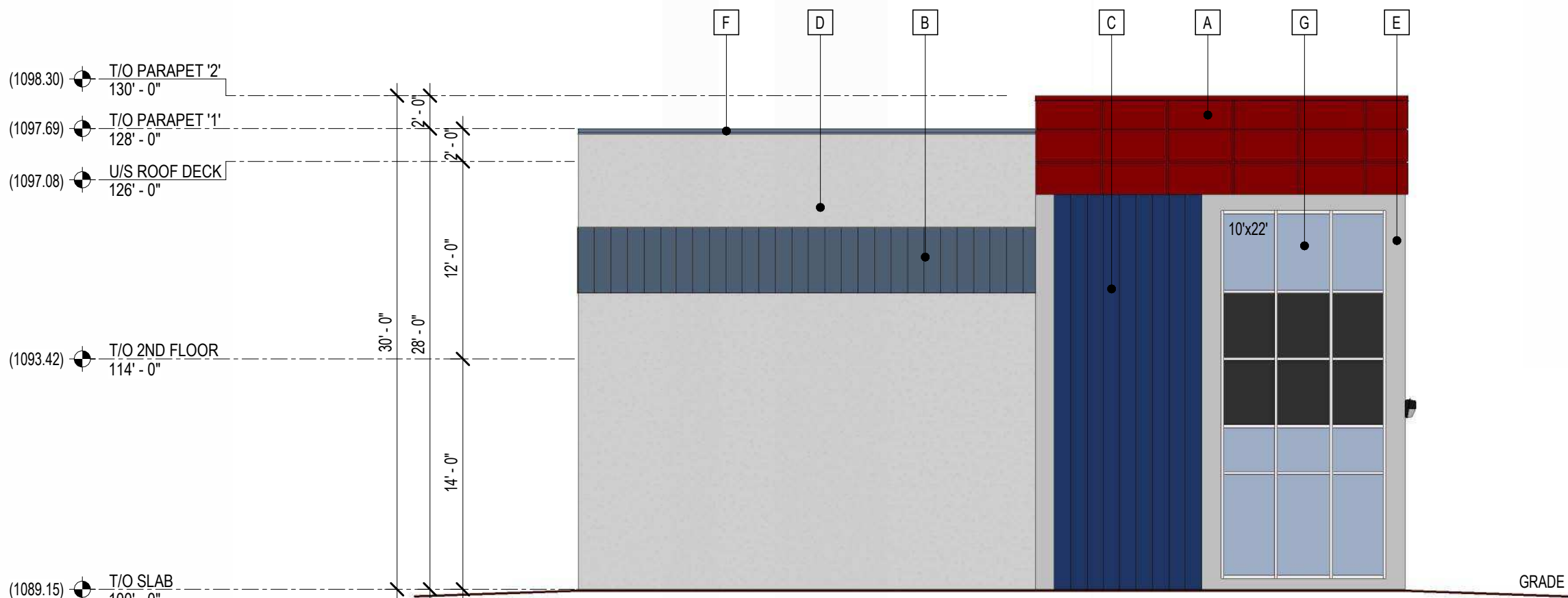
DP1.2



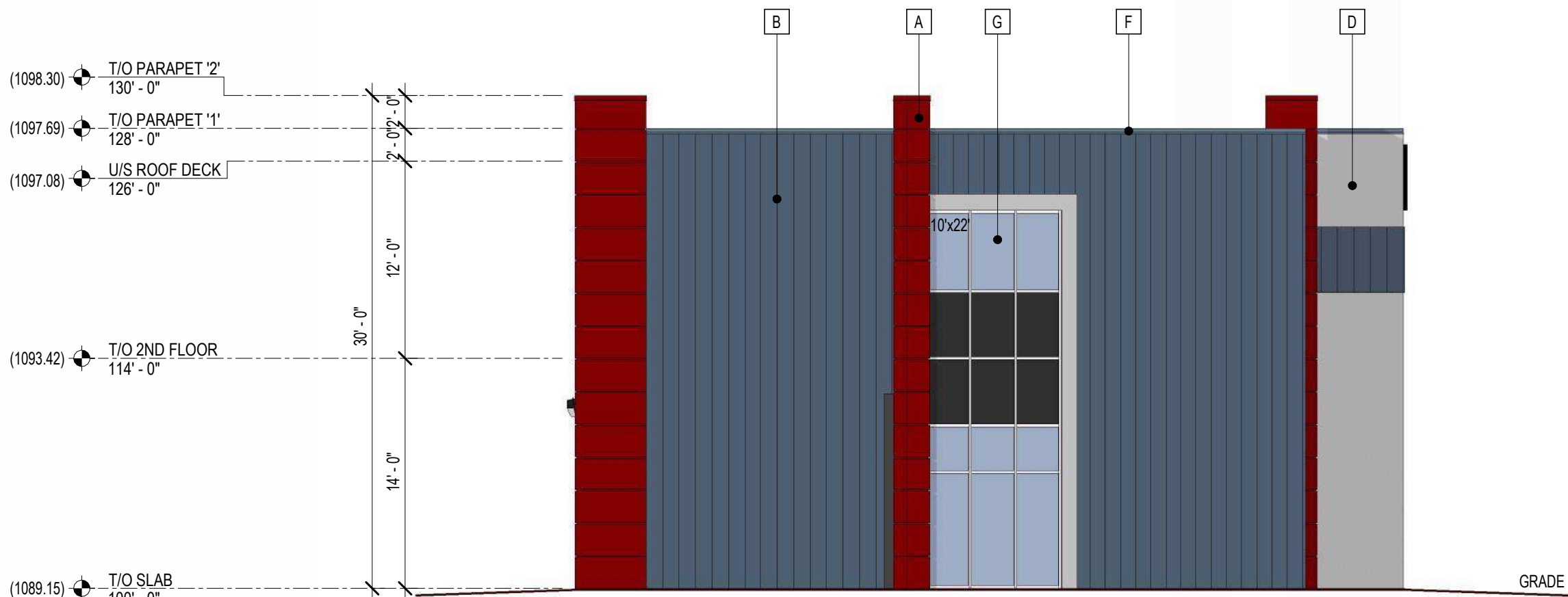
1 EAST ELEVATION
DP3.0 1/8" = 1'-0"

EXTERIOR FINISHES LEGEND

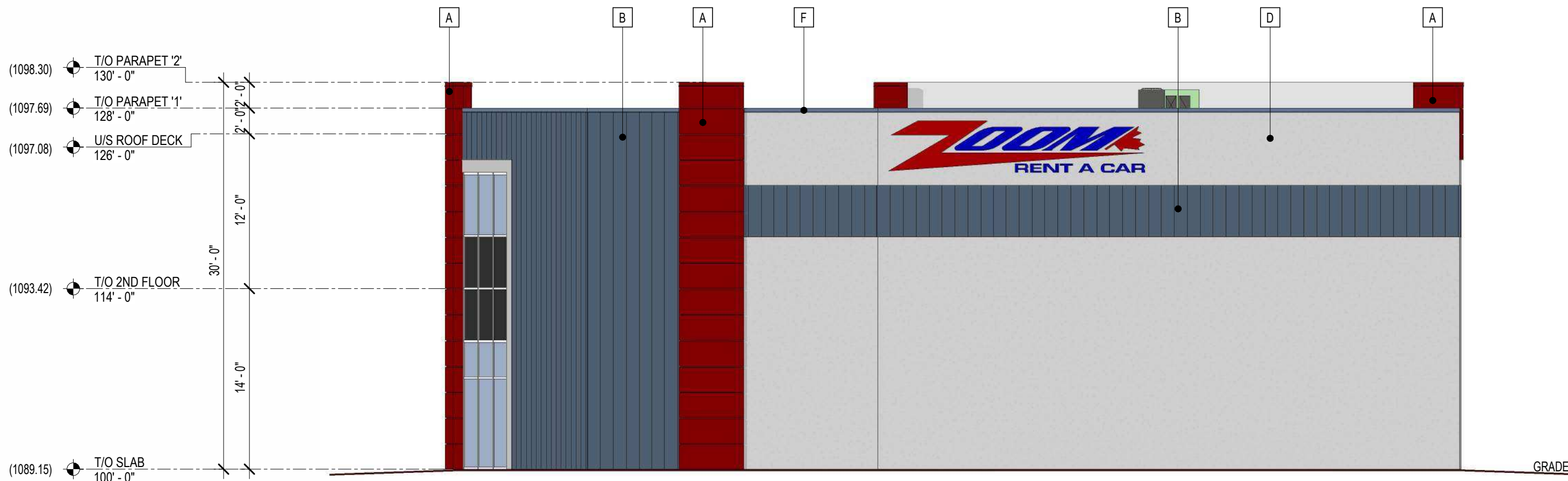
- A - COMPOSITE ALUMINUM PANEL
Colour - Silver ACM
Manu - Jay's Metals (Or Equal)
- B - VERTICAL METAL SIDING
Colour =
- C - VERTICAL METAL SIDING
Colour = Blue
- D - STUCCO EIFS w/ REVEALS
Colour = Grey
Manu = DuraBond (or equal)
- E - METAL SIDING
Colour = Silver
- F - ALUMINUM CAP FLASHING
Colour = To Match Siding
- G - SEALED GLAZING UNITS
Frames = Anodized
- J - METAL CANOPY
Colour = Anodized
- K - STOREFRONT SINGLE DOOR
Colour = Clear Anodized Aluminum w/ Glazing
- L - INUSL. MTL. MAN DOOR
Colour = Painted Grey



3 SOUTH ELEVATION
DP3.0 1/8" = 1'-0"



2 NORTH ELEVATION
DP3.0 1/8" = 1'-0"



4 WEST ELEVATION
DP3.0 1/8" = 1'-0"

GENERAL NOTES

IMPERIAL :

ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. METRIC IN BRACKETS.
VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT/DESIGNER FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ENTIRE ARCHITECTURAL PACKAGE.

REV	DATE	DESCRIPTION
1	09 JUL 24	DR 1 RESPONSE

REVISIONS

NO.	DATE	DESCRIPTION
1	01 NOV 23	ISSUED FOR DEVELOPMENT PERMIT

ISSUANCES

BP#:

DP#:

COM-TECH
www.comtechdesign.com

Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3040

CLIENT: **ZOOM CAR RENTAL**

CONTACT PERSON: Contact

PROJECT: **STONEGATE ZOOM CAR RENTAL**

MUNICIPAL ADDRESS: 12502 BARLOW TRAIL N.E. CALGARY, AB. LEGAL ADDRESS: LOT: 2 BLOCK: - PLAN: 2010787

ETERIOR ELEVATIONS

DRAWN BY: JILC	DATE: 09 JUL 23	DP3.0
SCALE: 1/8" = 1'-0"	CHECKED BY: LGM	