

ABBREVIATIONS

A	ABOVE FINISHED FLOOR	A.F.F.
	ACOUSTIC TILE	ACT.
	ALUMINUM	ALUM.
B	ANODIZED	ANOD.
	ARCHITECTURAL	ARCH.
	BATT INSULATION	BATT INSUL.
C	BEAM	BM.
	BOTH WAYS	B.W.
	BOTTOM	BOT.
D	BARRIER FREE	B.F.
	BUILDING	BLDG.
	BUILT-UP ROOF	B.U.R.
E	CARPET	CPT.
	CATCH BASIN	C.B.
	CEILING	CLG.
F	CENTER LINE	C.L.
	CERAMIC TILE	C.T.
	COLUMN	COL.
G	COMBUSTIBLE	COMB.
	COMPLETE WITH	C.W.
	CONCRETE	CONC.
H	CONCRETE BLOCK	CONC.BL.
	CONSTRUCTION	CONST.
	CONTROL JOINT	C.J.
I	CONTINUOUS	CONT.
	CORRIDOR	CORR.
J	DIAMETER	DIA.
	DIMENSION	DIM.
	DISHWASHER	D.W.
K	DOUBLE GLAZED	D.G.
	DOWN	DN.
	DRAWING	DWG.
L	DRAINING FOUNTAIN	D.F.
	EACH	EA.
	ELEVATION	ELEV.
M	ELECTRICAL	ELEC.
	EQUAL	EQ.
	EXISTING	EXIST.
N	EXPANSION JOINT	EXP. JT.
	EXPOSED	EXP.
	EXTERIOR	EXT.
O	FACE OF FOUNDATION	F.O.F.
	FINISH	FIN.
	FIRE-RESISTANCE RATING	F.R.R.
P	FLOOR	FL.
	FLOOR DRAIN	F.D.
	FLOOR AREA RATIO	F.A.R.
Q	FIRE HOSE CABINET	F.H.C.
	FIRE EXTINGUISHER	F.E.
	FOOTING	FTG.
R	FOUNDATION	FOUND.
	GAUGE	GA.
	GEODETIC	GEO.
S	GLASS	GL.
	GRADE	GR.
	GREATER THAN	>
T	GROSS FLOOR AREA	G.F.A.
	GROUND FLOOR	GR.FLR.
	GYPSUM WALL BOARD	G.W.B.
U	HOLLOW METAL	H.M.
	HORIZONTAL	HORZ.
	HOSE BIBB	H.B.
V	HOLLOW CORE	H.C.
	HOLLOW STEEL SECTION	H.S.S.
	INTERIOR	INT.
W	INSIDE FACE	I.F.
	INSULATION	INSUL.
	JANITOR	JAN.
X	LAMINATED	LAM.
	LAVATORY	LAV.
	LESS THAN	<
Y	MANHOLE	M.H.
	MANUFACTURER	MANF.
	MAXIMUM	MAX.
Z	MECHANICAL	MECH.
	METAL	MTL.
	MICROWAVE	M.W.
AA	MINIMUM	MIN.
	MISCELLANEOUS	MISC.
	NATURAL	NAT.
BB	NOT APPLICABLE	N.A.
	NOT IN CONTRACT	N.I.C.
	NOT TO SCALE	N.T.S.
CC	NUMBER	NUM.
	ON CENTER	O.C.
	OPENING	OPG.
DD	OUTSIDE FACE	O.F.
	OVERHEAD DOOR	O.H.D.
	PAINT	PT.
EE	PARTITION	PTN.
	PLATE	PL.
	PLASTIC LAMINATE	PLAM.
FF	PLYWOOD	PLY.
	POLYETHYLENE	POLY.
	PRECAST CONCRETE	P.C. CONC.
GG	PREFINISHED	PREFIN.
	PRESSED STEEL	P.S.
	PRESSURE TREATED	P.T.
HH	PROPERTY LINE	P.L.
	QUARRY TILE	Q.T.
	RADIUS	R.
II	RAINWATER LEADER	R.W.L.
	REINFORCING	REIN.
	REQUIRED	REQ.
JJ	REFRIGERATOR	F.R.
	REVISED	REV.
	ROOM	RM.
KK	ROOF DRAIN	R.D.
	ROOF TOP UNIT	R.T.U.
	ROUGH OPENING	R.O.
LL	RUBBER OOVE BASE	R.C.B.
	SIMILAR	SIM.
	SLAB ON GRADE	S.O.G.
MM	SOAP DISPENSER	S.D.
	SOLID CORE	S.C.
	SPANDREL PANEL	S.P.
NN	SPECIFICATIONS	SPEC.
	SQUARE	SQ.
	STAINLESS STEEL	S.S.
OO	STEEL	STL.
	STORAGE	STOR.
	STOVE	ST.
PP	STRUCTURAL	STRUCT.
	TELEVISION	T.V.
	TEXTURED	TEX.
QQ	TOP OF	T.O.
	TOUNGE AND GROOVE	T&G.
	TOWEL DISPENSER	T.D.
RR	TYPICAL	TYP.
	UNDERSIDE	UIS.
	UNDERWRITERS LABORATORIES OF CANADA	U.L.C.
SS	UNPROTECTED OPENING(S)	UP.O.
	VAPOUR BARRIER	V.B.
	VENEER	VEN.
TT	VERTICAL	VERT.
	VESTIBULE	VEST.
	VINYL COMPOSITE TILE	V.C.T.
UU	WAREHOUSE	W.H.
	WATER CLOSET	W.C.
	WATERPROOF	W.P.
VV	WOOD	WD.



PROPOSED MULTI-USE AUTOMOTIVE DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT - November 1st, 2023
ISSUED FOR BUILDING PERMIT - T.B.D.
ISSUED FOR CONSTRUCTION - T.B.D.



SITE PIC. #1: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #2: DESCRIPTION
DATE: (OPTIONAL)



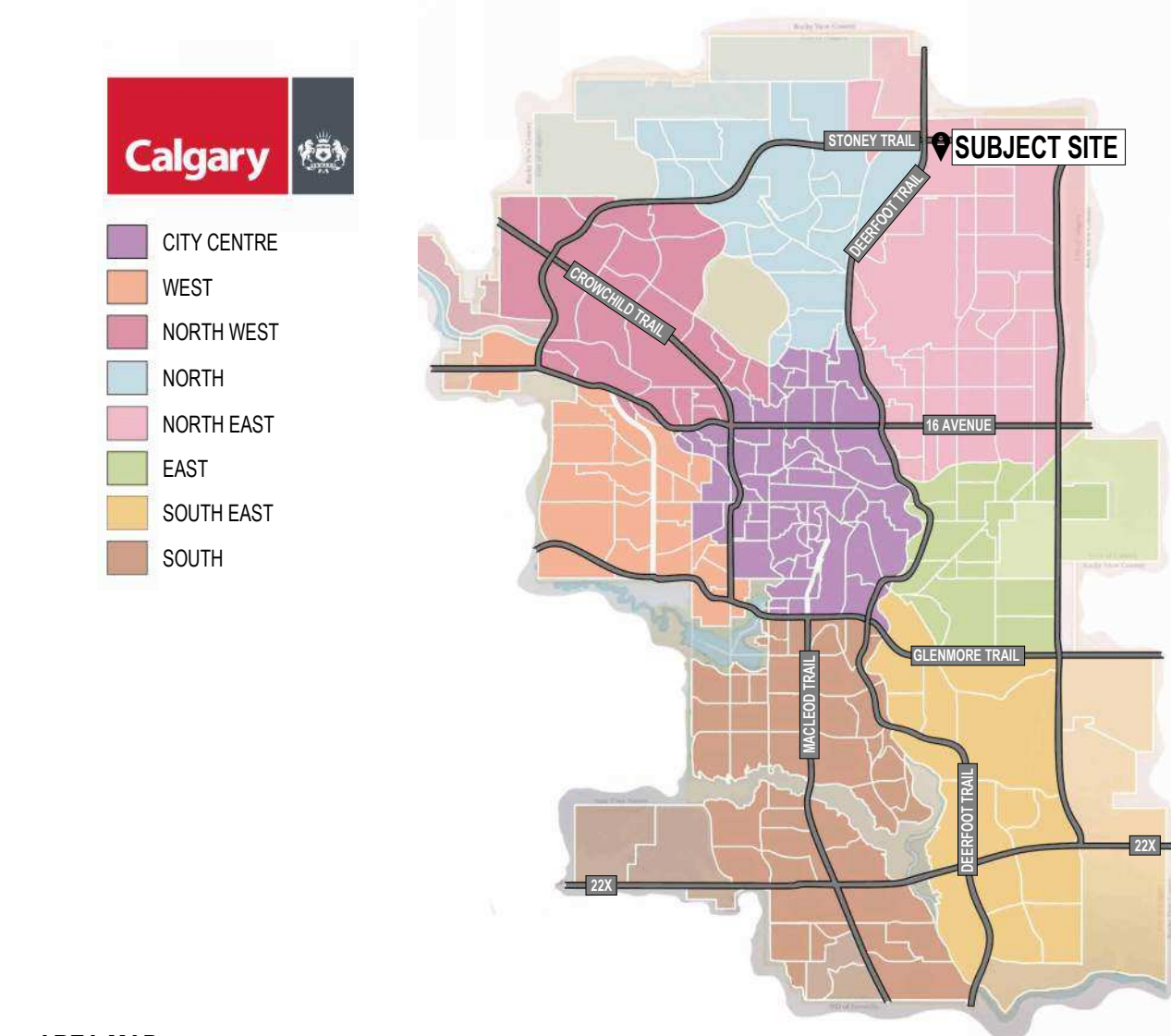
SITE PIC. #3: DESCRIPTION
DATE: (OPTIONAL)



SITE PIC. #4: DESCRIPTION
DATE: (OPTIONAL)



LOCATION MAP



AREA MAP

BASIS OF CODE CHECK : NBC - 2019 ALBERTA EDITION

PROJECT TYPE : AUTOMOTIVE BUILDING

MAJOR OCCUPANCY CLASSIFICATIONS A-3.1.2.1.(1):

GROUP F2
GROUP D

NUMBER OF STOREYS: 2 STOREYS
BUILDING FOOTPRINT: 240 SQ. M.
SPRINKLERED: NO

STREETS FACING 3.2.2.10 : 2 STREETS
(IF SPRINKLERED IGNORE)

CONSTRUCTION: COMBUSTIBLE OR NON-COMBUSTIBLE

FLOOR AREAS: MAIN FLOOR 270 SQ.M. 2ND FLOOR 62 SQ.M. TOTAL G.F.A. 332 SQ.M.

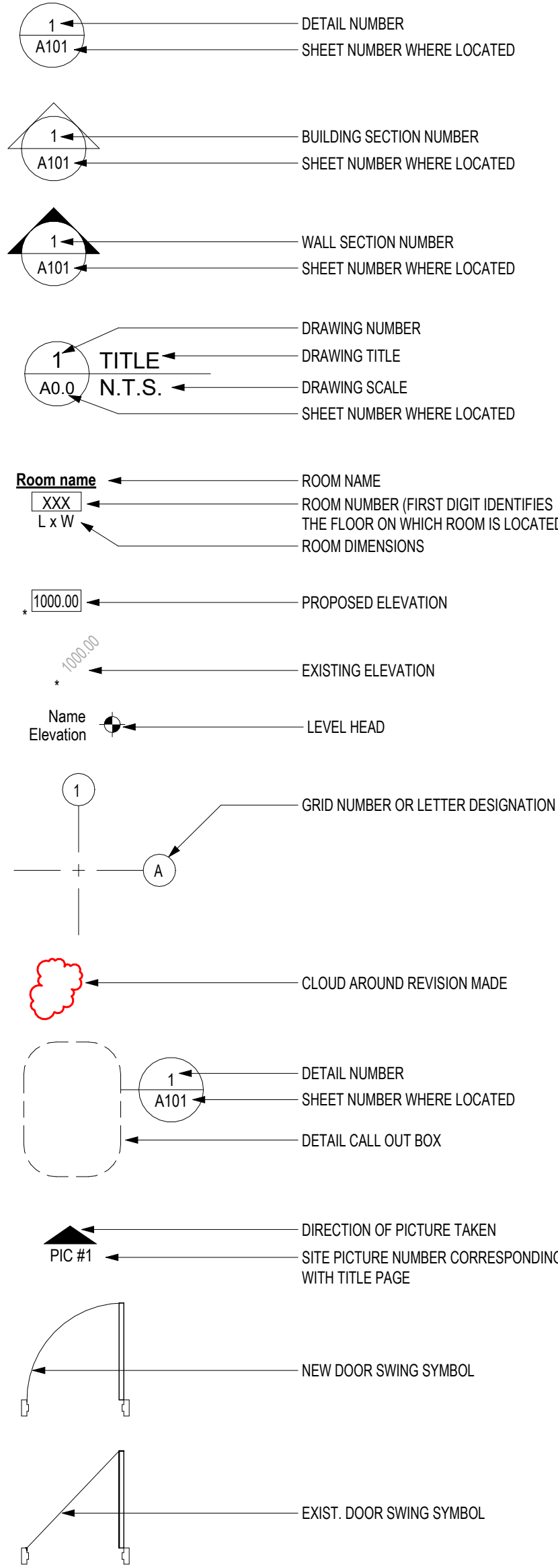
BASIC CONSTRUCTION REQUIREMENTS: (3.2.2.78)

SEPARATIONS BETWEEN OCCUPANCIES: NO RATING
- UP TO 2 STOREYS (2 ACTUAL STOREYS)
- BUILDING NOT MORE THAN 750 SQ.M. IF 2 STOREYS (270 ACTUAL SQ.M.)

2. COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION PERMITTED SINGLY OR IN COMBINATION

- a) FLOOR ASSEMBLIES: SHALL BE FIRE SEPARATIONS WITH F.R.R. NOT < 45min IF OF COMBUSTIBLE CONSTRUCTION
- b) LOADBEARING WALLS, COLS & ARCHES: i) HAVE F.R.R. NOT < 45min OR ii) NON-COMBUSTIBLE CONST.

DRAWING REFERENCE SYMBOLS



GENERAL NOTES:

1. DEVIATION FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/DESIGNER ARE SUBJECT TO CORRECTION AT THE CONTRACTORS EXPENSE.
2. THE CONTRACTOR IS TO COMPLY WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND REGULATIONS.
3. THESE DRAWINGS AND DETAILS ARE, BY THEIR VERY NATURE, SCHEMATIC AND DO NOT DEPICT EVERY CONDITION, DETAIL, CONNECTION, ETC. WHICH WILL OCCUR.
4. KNOWLEDGEABLE, PROPERLY LICENSED CONTRACTORS AND JOB CONTRACTORS MUST BE RELIED UPON TO ACHIEVE PROPER INSTALLATION OF MATERIALS, FLASHINGS, WEATHER SEALINGS, MATERIAL TRANSITIONS, SEPARATIONS, CONNECTIONS, ANCHORAGES, ETC.
5. FOR THE AVOIDANCE OF DOUBT, ALL DIMENSIONS ARE MEASURED TO WALL STRUCTURE AND NOT THE FINISHES UNLESS OTHERWISE NOTED.

GENERAL NOTES

METRIC :

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1	09 JUL 24	DTR RESPONSE
REV	DATE	DESCRIPTION
REVISIONS		

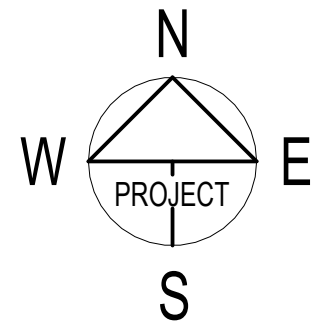
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NO.	DATE	DESCRIPTION
ISSUANCES		

BP#:
DP#:

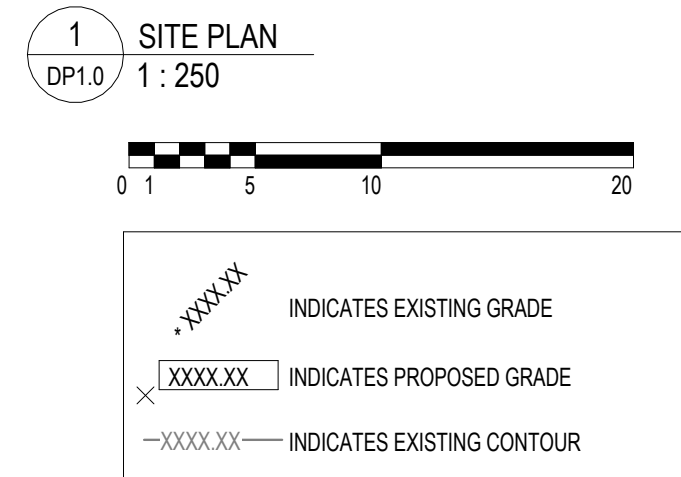
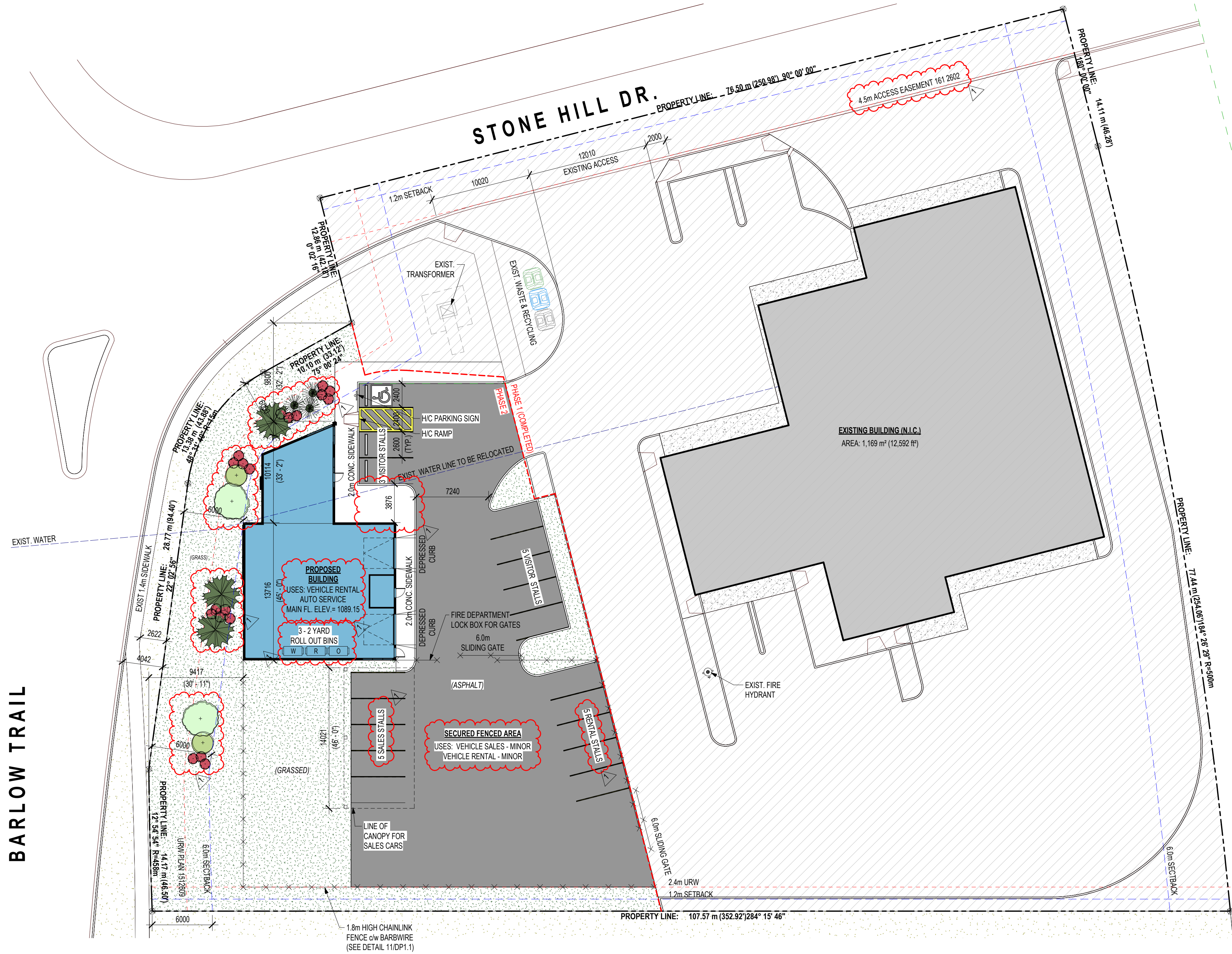
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Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3340

CLIENT:	ZOOM CAR RENTAL
CONTACT PERSON:	Contact
PROJECT:	STONEGATE ZOOM CAR RENTAL
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
12502 BARLOW TRAIL N.E. CALGARY, AB.	LOT: 2 BLOCK: - PLAN: 2010787
DRAWING:	TITLE SHEET
DRAWN BY:	DATE:
JLC	09 JUL 23
SCALE:	CHECKED BY:
As indicated	LGM
DP0.0	



BARLOW TRAIL



LANDSCAPING REQUIREMENTS			
AREA REQUIRED: 432m² (SETBACK AREA)			
LANDSCAPING PROVIDED			
HARD LANDSCAPING	200 m²	200 m²	
SOFT LANDSCAPING	886 m²	886 m²	
LANDSCAPING PROVIDED	1,086 m²	1,086 m²	
TREES & SHRUBS REQUIRED			
= 1 TREE / 50 m² OF REQUIRED LANDSCAPING			
= 432 m² / 50 m² = 8.64 = 9 TREES			
= 2 SHRUBS / 50 m² OF REQUIRED LANDSCAPING			
= 432 m² / 50 m² x 2 = 17.28 = 18 SHRUBS			
(9 TREES REQUIRED - 5 DECIDUOUS, 4 CONIFEROUS)			
- MIN. 25% TO BE CONIFEROUS: ACTUAL 44%			
- MIN. 50% TREES TO BE LARGE TREES			
NOTE:			
- ALL LANDSCAPING SHOWN IS PROPOSED UNLESS OTHERWISE NOTED.			
- ALL TREES/SHRUBS ARE LOW WATER REQUIRED.			
- ALL PLANT MATERIAL MUST CONFORM TO STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION FOR HEALTHY GROWTH IN CALGARY			

SURFACE TREATMENT			
ASPHALT	981 m²	10,564 ft²	
CONCRETE CURB	87 m²	934 ft²	
CONCRETE SIDEWALK	114 m²	1,222 ft²	
GRASS	1,396 m²	15,021 ft²	
GRASSED BOULEVARD	1,299 m²	13,988 ft²	

LANDSCAPE LEGEND			
REQD	QTY.	TYPE	SPECIES
3	3	CONIFEROUS TREE LARGE	COLORADO BLUE SPRUCE (Picea Pungens)
3	3	CONIFEROUS TREE SMALL	COLUMNAR SPRUCE (Picea Pungens 'Fastigiata')
18	19	DECIDUOUS SHRUB 600 mm HEIGHT OR SPREAD	POTENTILLA (Potentilla Reptans) BLUE FOX WILLOW (Salix Brachycarpa)
2	2	DECIDUOUS TREE LARGE	BLACK ASH (Fraxinus Nigra)
2	2	DECIDUOUS TREE SMALL	TOWER POPLAR (Populus x canadensis)

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SITE INFORMATION

LOT AREA:
TOTAL LOT AREA: 1.883 acres (0.7618 ha) 7,618 m²

ZONING:
LAND USE BYLAW - 1P2007
INDUSTRIAL - GENERAL (I-G) DISTRICT

USE:
VEHICLE RENTAL - MINOR (DISCRETIONARY)
AUTO SERVICE - MAJOR (PERMITTED)
VEHICLE SALES - MINOR (DISCRETIONARY)

BUILDING AREA:
MAIN FLOOR: 270.35 m² (2,910.00 ft²)
2ND FLOOR: 61.92 m² (666.50 ft²)
TOTAL AREA: 332.27 m² (3,576.50 ft²)
FOOTPRINT: 270.35 m² (2,910.00 ft²)

COVERED STRUCTURE AREA:
FOOTPRINT: 339.47 m² (3,654.00 ft²)

PARCEL COVERAGE:
BUILDING FOOTPRINT & COVERED STRUCTURE = 609.82 m² (6,564.00 ft²)
LOT AREA = 7,618 m²
609.82 m² / 7,618 m² = 8% PARCEL COVERAGE

FAR: 318.77 m² (G.F.A.) / 7,618 m² (LOT AREA) = 0.042

PARKING:
VEHICLE RENTAL - MINOR:
= 1 STALL FOR EVERY INVENTORY VEHICLE
= 5 INVENTORY VEHICLES x 1 STALLS
= 5 STALLS
AUTO SERVICE - MAJOR:
= 1 STALL PER 100m² GROSS USABLE FLOOR AREA
= 1 x 332.27m² / 100
= 3.32
= 4 STALLS
VEHICLE SALES - MINOR:
= 1 STALL FOR EVERY INVENTORY VEHICLE
= 5 INVENTORY VEHICLES x 1 STALLS
= 5 STALLS
TOTAL PARKING REQUIRED: 14 STALLS
TOTAL PARKING PROVIDED: 18 STALLS

FIRETRUCK
WIDTH: 2.54 m
TRACK: 2.54 m
LOCK TO LOCK TIME: 6.0 s
STEERING ANGLE: 45.00°

1	09 JUL 24	DTR RESPONSE
REV	DATE	DESCRIPTION
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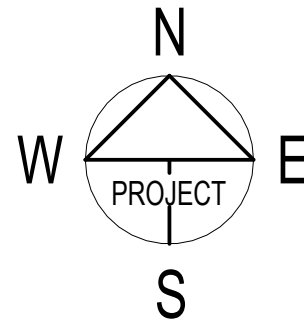
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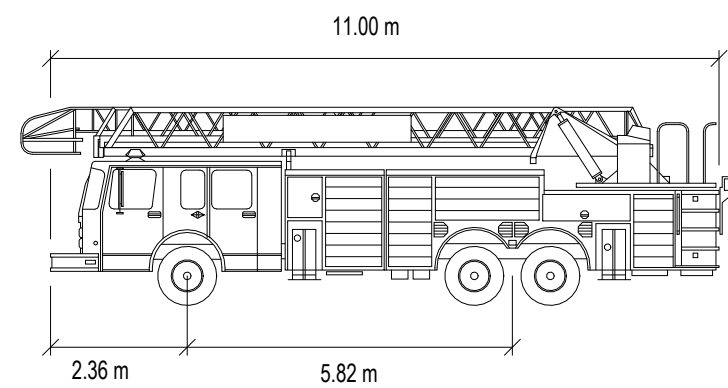
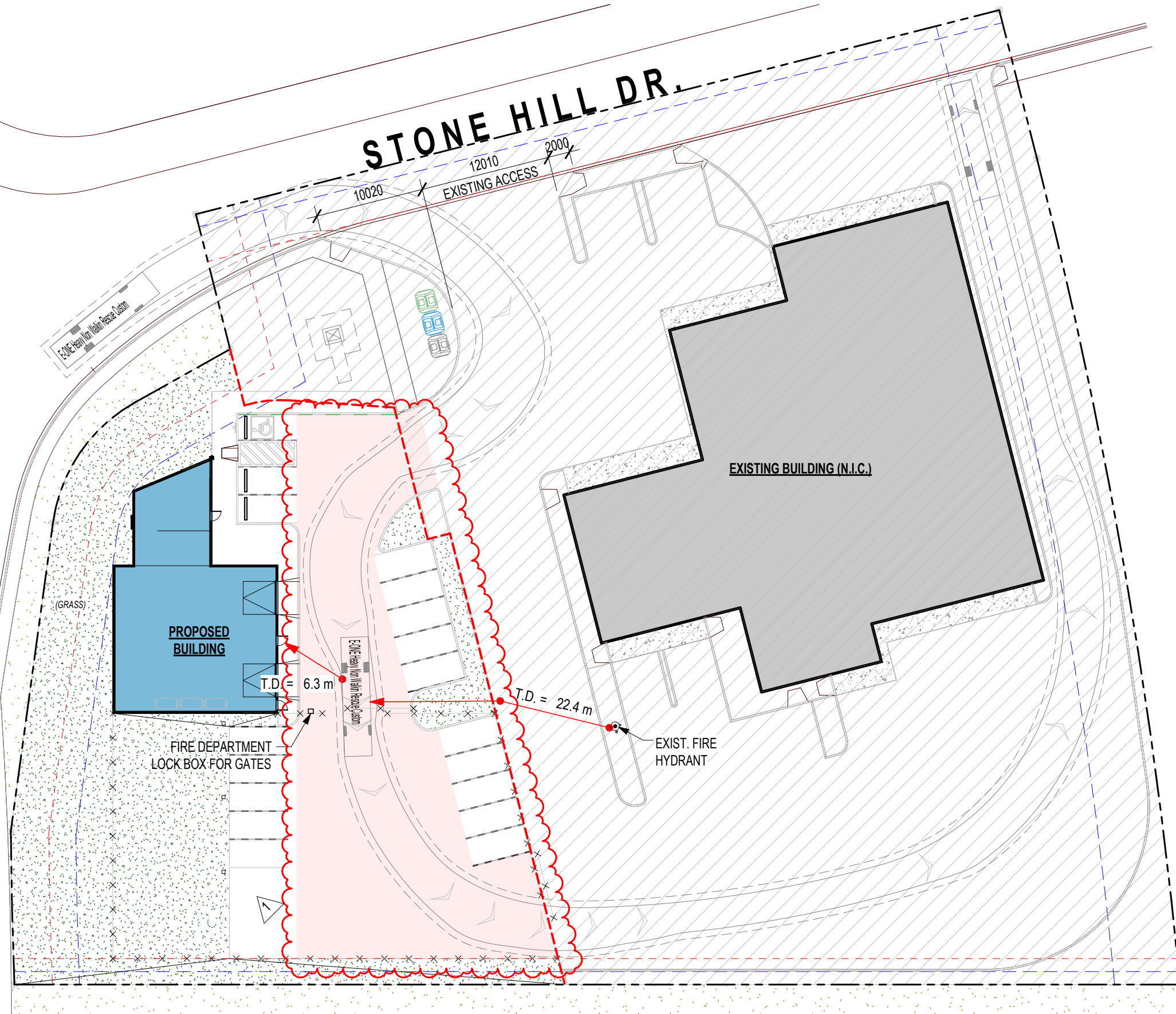
Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3040

CLIENT:	ZOOM CAR RENTAL
CONTACT PERSON:	Contact
PROJECT:	
STONEGATE ZOOM CAR RENTAL	
MUNICIPAL ADDRESS:	LEGAL ADDRESS:
12502 BARLOW TRAIL N.E. CALGARY, AB.	LOT: 2 BLOCK: - PLAN: 2010787
DRAWING:	
SITE PLAN & SITE INFORMATION	
DRAWN BY:	DATE:
JILC	09 JUL 23
SCALE:	CHECKED BY:
As indicated	LGM

DP1.0

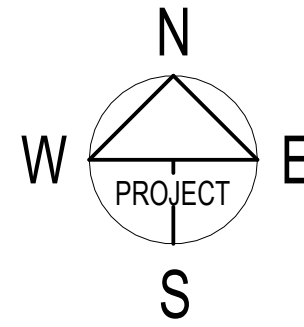


BARLOW TRAIL

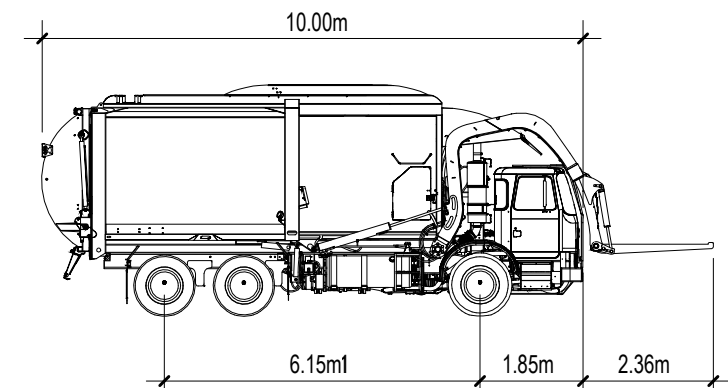
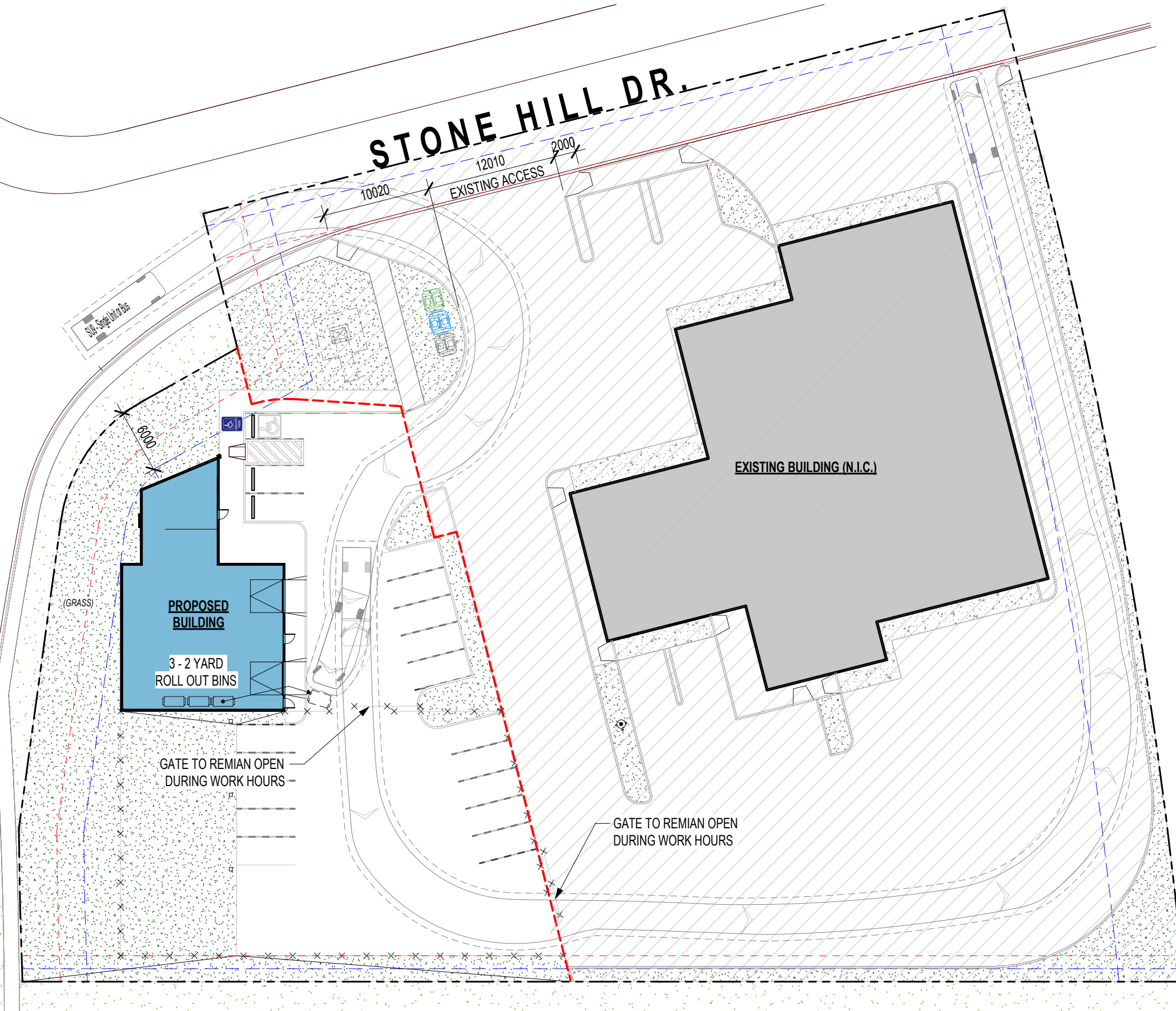


FIRETRUCK
WIDTH: 2.54 m
TRACK: 2.54 m
LOCK TO LOCK TIME: 6.0 s
STEERING ANGLE: 45.00°

SURFACE TREATMENT
H.D. ASPHALT
- STRUCTURALLY CAPABLE OF A 38,556kg/85,000lbs LOAD
L.D. ASPHALT
- STRUCTURALLY CAPABLE OF A 25,000kg LOAD



BARLOW TRAIL



WASTE COLLECTION
WIDTH: 2.60
TRACK: 2.60
LOCK TO LOCK TIME: 6.00
STEERING ANGLE: 31.5

METERS
WIDTH: 2.60
TRACK: 2.60
LOCK TO LOCK TIME: 6.00
STEERING ANGLE: 31.5

PROVISIONS FOR FIREFIGHTING (3.2.5)

ACCESS ROUTES 3.2.5.4.

1) A BUILDING WHICH IS MORE THAN 3 STOREYS IN BUILDING HEIGHT OR MORE THAN 600 m² IN BUILDING AREA SHALL BE PROVIDED WITH ACCESS ROUTES FOR FIRE DEPARTMENT VEHICLES BUILDINGS MORE THAN 600 m²

LOCATION OF ACCESS ROUTES 3.2.5.5.

- ACCESS ROUTES REQUIRED BY ARTICLE 3.2.5.4. SHALL BE LOCATED SO THAT THE PRINCIPAL ENTRANCE AND EVERY ACCESS OPENING REQUIRED BY ARTICLES 3.2.5.1. AND 3.2.5.2. ARE LOCATED NOT LESS THAN 3 M AND NOT MORE THAN 15 M FROM THE CLOSEST PORTION OF THE ACCESS ROUTE REQUIRED FOR FIRE DEPARTMENT USE, MEASURED HORIZONTALLY FROM THE FACE OF THE BUILDING.
- a) FOR A BUILDING PROVIDED WITH A FIRE DEPARTMENT CONNECTION, A FIRE DEPARTMENT PUMPER VEHICLE CAN BE LOCATED ADJACENT TO THE HYDRANTS REFERRED TO IN ARTICLE 3.2.5.15.
b) BUILDING NOT PROVIDED WITH FIRE DEPARTMENT CONNECTION, A FIRE DEPARTMENT PUMPER VEHICLE CAN BE LOCATED SO THAT THE LENGTH OF THE ACCESS ROUTE FROM HYDRANT TO VEHICLE PLUS THE UNOBSTRUCTED PATH OF TRAVEL FIREFIGHTER FROM VEHICLE TO THE BUILDING IS NOT MORE THAN 90M, AND
c) THE UNOBSTRUCTED PATH OF TRAVEL FOR THE FIREFIGHTER FROM VEHICLE TO THE BUILDING IS NOT MORE THAN 45M.

ACCESS ROUTE DESIGN 3.2.5.6.

- A PORTION OF A ROADWAY OR YARD PROVIDED AS A REQUIRED ACCESS ROUTE FOR FIRE DEPARTMENT USE SHALL:
a) HAVE A CLEAR WIDTH NOT < 6m, UNLESS IT CAN BE SHOWN THAT LESSER WIDTHS ARE SATISFACTORY.
b) HAVE A CENTERLINE RADIUS NOT < 12m.
c) HAVE AN OVERHEAD CLEARANCE NOT < 5m.
d) HAVE A CHANGE OF GRADIENT NOT > 1 IN 12.5 OVER A MINIMUM DISTANCE OF 15m.
e) BE DESIGNED TO SUPPORT THE EXPECTED LOADS IMPOSED BY FIREFIGHTING EQUIPMENT AND BE SURFACED WITH CONCRETE, ASPHALT OR OTHER MATERIAL DESIGNED TO PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS.
f) HAVE TURNAROUND FACILITIES FOR ANY DEAD-END PORTION OF THE ACCESS ROUTE MORE THAN 90m LONG, AND
g) BE CONNECTED TO A PUBLIC THOROUGHFARE.

FIRE DEPARTMENT CONNECTIONS 3.2.5.15.

- THE FIRE DEPARTMENT CONNECTION FOR AN AUTOMATIC SPRINKLER SYSTEM SHALL BE LOCATED SO THAT THE DISTANCE FROM THE FIRE DEPARTMENT CONNECTION TO A HYDRANT IS NOT MORE THAN 45 M AND IS UNOBSTRUCTED.
- THE FIRE DEPARTMENT CONNECTION REFERRED TO IN SENTENCES (1) AND (2) SHALL BE LOCATED NO CLOSER THAN 3 M AND NO FURTHER THAN 15 M FROM THE PRINCIPAL ENTRANCE TO THE BUILDING.

TRAFFIC SIGN SCHEDULE

SIGN	COUNT	MOUNTING
	1	1 - 48" WHITE SHORT SQUEEZE 1 - 101NS FIXED BASE
	EXISTING	EXISITNG

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NOTE: ALL GRADES AT WASTE COLLECTION AREAS AT REAR OF BUILDINGS TO HAVE MAXIMUM 2.0% SLOPE FOR MANEUVERING OR COLLECTING.

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Address: 214 1235 26th Avenue SE Calgary, AB T2G 1R7 Phone: 403.283.3040

CLIENT: ZOOM CAR RENTAL

CONTACT PERSON: Contact

PROJECT: STONEGATE ZOOM CAR RENTAL

MUNICIPAL ADDRESS: 12502 BARLOW TRAIL N.E. CALGARY, AB. LEGAL ADDRESS: LOT: 2 BLOCK: - PLAN: 2010787

DRAWING: TRAFFIC PLAN

DRAWN BY: JILC DATE: 09 JUL 23 SCALE: As indicated CHECKED BY: LGM

DP1.1

GENERAL NOTES

IMPERIAL :

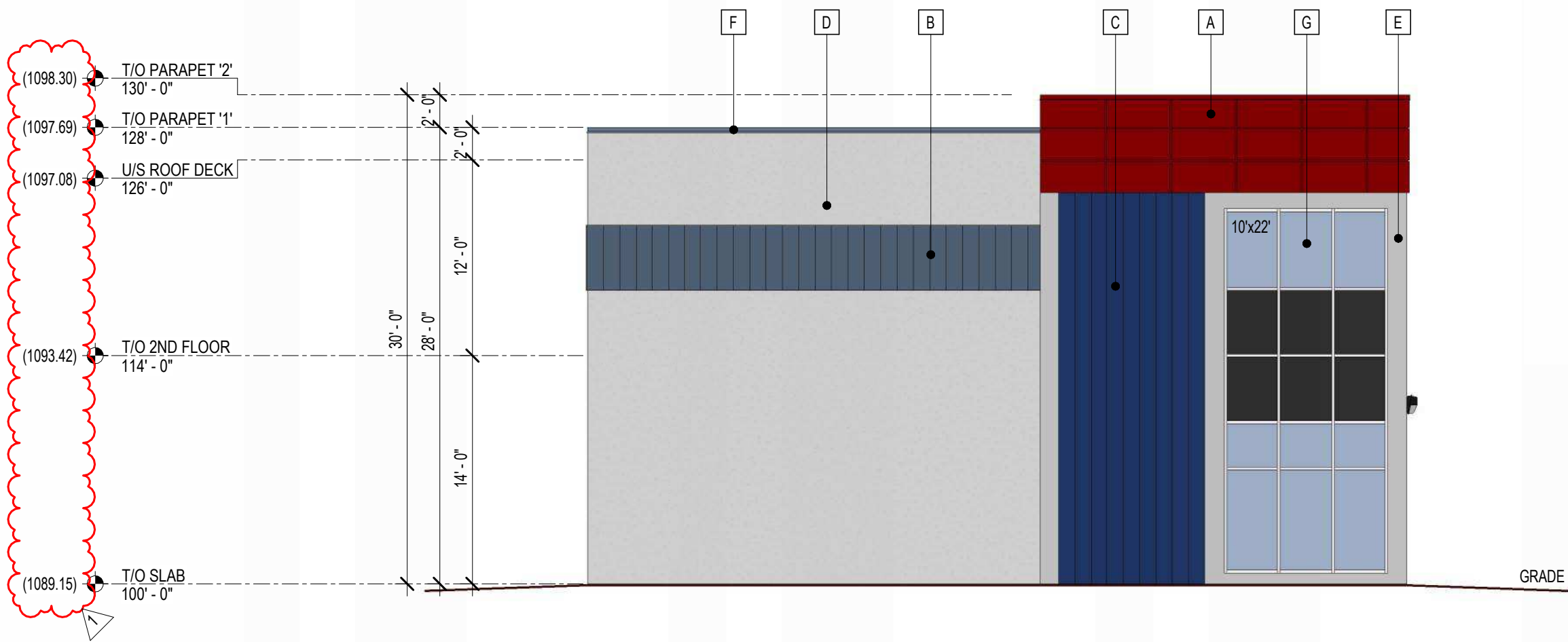
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EXTERIOR FINISHES LEGEND

- A - COMPOSITE ALUMINUM PANEL
Colour - Silver ACM
Manu - Jay's Metals (Or Equal)
- B - VERTICAL METAL SIDING
Colour =
- C - VERTICAL METAL SIDING
Colour = Blue
- D - STUCCO EIFS w/ REVEALS
Colour = Grey
Manu = DuraBond (or equal)
- E - METAL SIDING
Colour = Silver
- F - ALUMINUM CAP FLASHING
Colour = To Match Siding
- G - SEALED GLAZING UNITS
Frames = Anodized
- J - METAL CANOPY
Colour = Anodized
- K - STOREFRONT SINGLE DOOR
Colour = Clear Anodized Aluminum w/ Glazing
- L - INSUL. MTL. MAN DOOR
Colour = Painted Grey



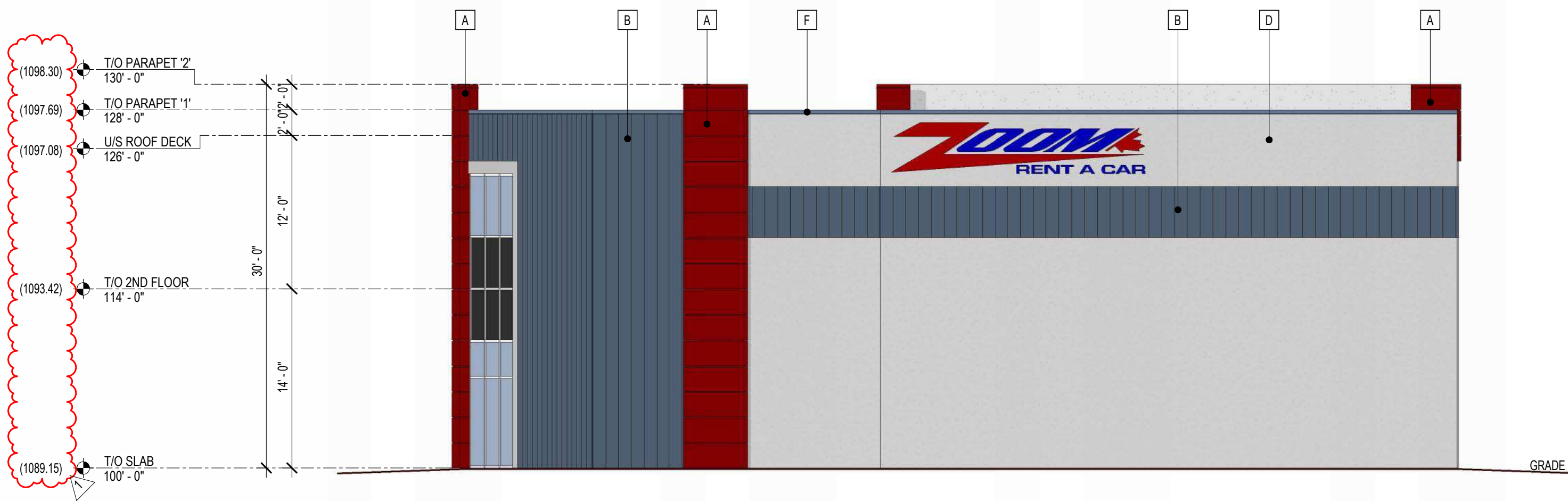
1 EAST ELEVATION
DP3.0 1/8" = 1'-0"



3 SOUTH ELEVATION
DP3.0 1/8" = 1'-0"



2 NORTH ELEVATION
DP3.0 1/8" = 1'-0"



4 WEST ELEVATION
DP3.0 1/8" = 1'-0"

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CLIENT: **ZOOM CAR RENTAL**

CONTACT PERSON: Contact

PROJECT: **STONEGATE ZOOM CAR RENTAL**

MUNICIPAL ADDRESS: 12502 BARLOW TRAIL N.E. CALGARY, AB. LEGAL ADDRESS: LOT: 2 BLOCK: - PLAN: 2010787

DRAWING: **ETERIOR ELEVATIONS**

DRAWN BY: JILC DATE: 09 JUL 23
SCALE: 1/8" = 1'-0" CHECKED BY: LGM

DP3.0