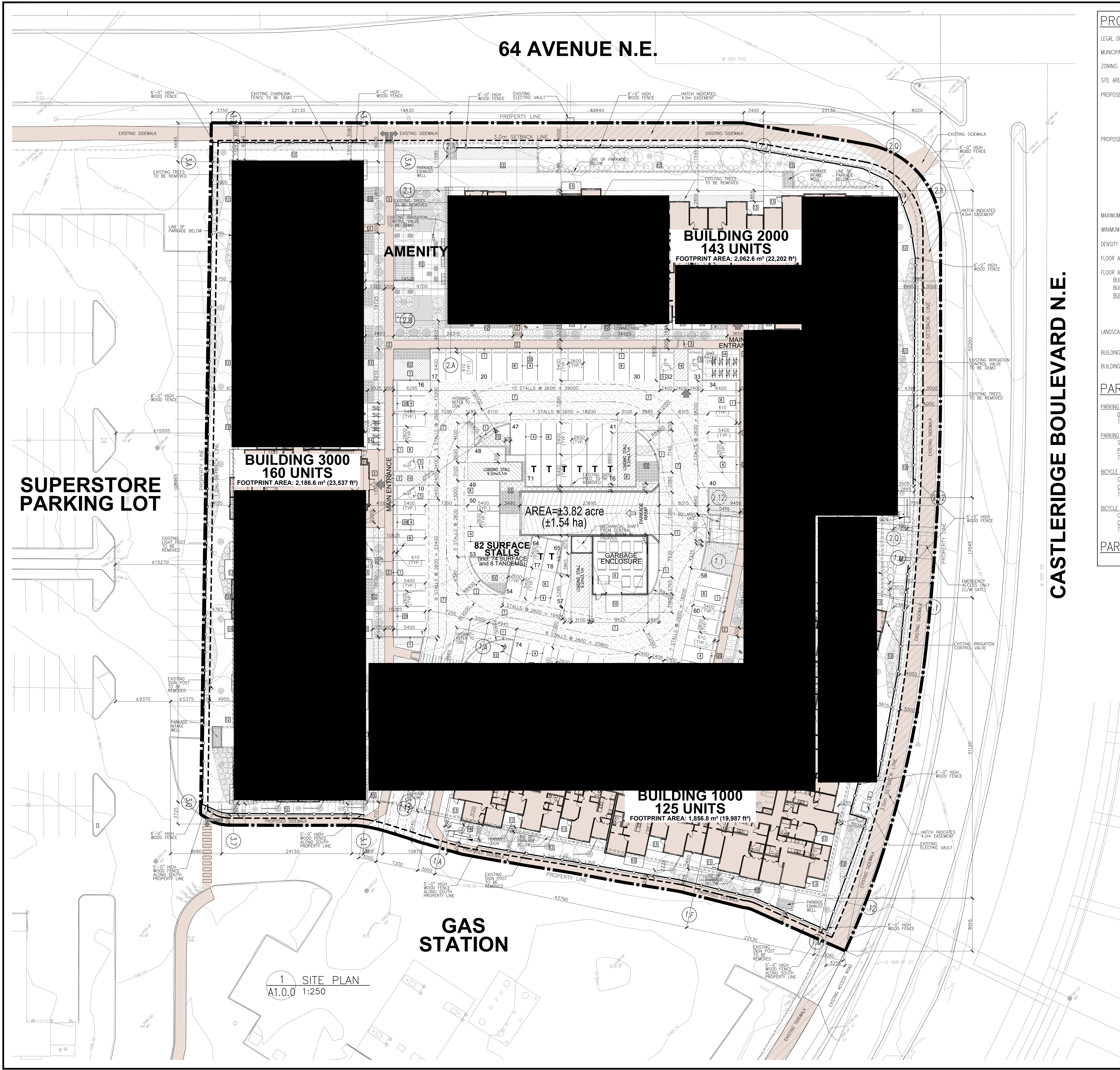




PROJECT INFORMATION

LEGAL DESCRIPTION: LOT 3, BLOCK 6, PLAN 041 1158
MUNICIPAL ADDRESS: XX CASTLERIDGE BLVD NE, CALGARY, AB
ZONING: M-2
SITE AREA: ±1.55 ha (±3.83 acres) = ±15,495.65 m² (±166,794 ft²)
PROPOSED GFA:
BUILDING 1000 11,136.4 m² (119,871 ft²)
BUILDING 2000 12,340.7 m² (132,834 ft²)
BUILDING 3000 13,018.2 m² (140,128 ft²)
TOTAL GFA 36,495.3 m² (392,833 ft²)
PROPOSED USE: MULTI-RESIDENTIAL DEVELOPMENT (6 STOREY APARTMENTS)
BUILDING/UNITS 1BDR 2BDR 3BDR TOTAL
BUILDING 1000 1 107 17 125
BUILDING 2000 6 125 12 143
BUILDING 3000 0 136 24 160
TOTAL 7 368 53 428
MAXIMUM DENSITY ALLOWED: NO MAX
MINIMUM DENSITY ALLOWED: 60 UNITS/ha
DENSITY PROVIDED: 428 UNITS/ 1.55ha = 277 UNITS/ha
FLOOR AREA RATIO ALLOWED: MAX 3.0
FLOOR AREA RATIO PROVIDED / PROPOSED FLOOR AREA RATIO:
BUILDING 1000 (MF 1,856.9 m² + UF 1,855.9 m² v5) 11,136.4 m² (119,871 ft²)
BUILDING 2000 (MF 2,062.7 m² + UF 2,055.6 m² v5) 12,340.7 m² (132,834 ft²)
BUILDING 3000 (MF 2,186.7 m² + UF 2,166.3 m² v5) 13,018.2 m² (140,128 ft²)
TOTAL FLOOR AREA: 36,495.3 m² (392,833 ft²)
36,495.3 m² / 15,495.65 m² = 2.35 FAR
LANDSCAPE AREAS: REFER TO LANDSCAPE DRAWINGS PREPARED BY
BUILDING HEIGHT ALLOWED: 16m
BUILDING HEIGHT PROVIDED: ±18m

PARKING CALCULATIONS

PARKING STALLS REQUIRED (AS PER LUB 1P2007, PART 6, DIVISION 1, 558 (1) (A)):
DWELLING UNITS : 0.625 (STALLS/UNIT) 428 x 0.625 = 268 STALLS
TOTAL STALLS REQUIRED 268 STALLS
PARKING STALLS PROVIDED:
SURFACE STALLS (INCL. 6 H/C STALLS AND 8 TANDEMS) 82 STALLS
GARAGE (INCL. 14 SMALL CAR / TANDEM STALLS) 432 STALLS
TOTAL PROVIDED 514 STALLS
BICYCLE PARKING REQUIRED (AS PER BYLAW SECTION PART 6 (559)):
CLASS 1: 428 x 1.0 (STALLS/UNIT) 428 STALLS
CLASS 2: 428 x 0.1 (STALLS/UNIT) 43 STALLS
TOTAL REQUIRED 471 STALLS
BICYCLE PARKING PROVIDED:
CLASS 1: (224 HORIZ.+204 VERT) 428 STALLS
CLASS 2: 44 STALLS
TOTAL NUMBER OF STALLS 472 STALLS

PARKING RATIO: 1.20 STALLS/UNIT

NOTES

- THIS SITE PLAN IS BASED ON INFORMATION FROM A SURVEY PREPARED BY "IRONNEX GEOMATIC INC." DATED AUGUST 29, 2022. THE ARCHITECT DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF INFORMATION IN THE SURVEY.
- UNLESS OTHERWISE NOTED ALL DIMENSIONS TO THE PROPERTY LINE ARE PERPENDICULAR TO THE PROPERTY LINE.
- MIN. 12m RADIUS FOR FIRE TRUCK AND GARBAGE TRUCK ACCESS.
- TEST MANHOLE LOCATION TO BE DETERMINED.
- ALL CURBS AND SIDEWALKS TO BE BUILT TO CITY OF CALGARY STANDARDS.
- REFER TO SURVEY DRAWING FOR EXISTING GRADES.
- REFER TO CIVIL DRAWING FOR UNDERGROUND UTILITY.
- FIRE TRUCK ACCESS ROUTE OVER UNDERGROUND PARKADE CAPABLE OF SUPPORTING A LOAD OF 38,556 KG (85,000 lbs).
- ACCESS IS DESIGNED TO SUPPORT THE NFPA 1901 POINT LOAD OF 517kPa (75 psi) OVER A 24" x 24" AREA WHICH CORRESPONDS TO THE OUTRIGGER PAD SIZE.

MATERIAL LEGEND

- 1 CONCRETE CURB
- 1A CONCRETE CURB CROSSING (REFER TO DET. 8/A1.0.2)
- 1B CONCRETE CURB & GUTTER (REFER TO DET. 5/A1.0.2)
- 2 CONCRETE SIDEWALK
- 3 HANDICAP RAMP TO CITY STANDARDS
- 4 100mm WIDE PAINTED PARKING LINES (YELLOW)
- 5 HANDICAP PARKING SYMBOL PAINTED ON ASPHALT SURFACE (YELLOW)
- 6 WASTE & RECYCLING ENCLOSURE (REFER TO DET.1/A1.0.1)
- 7 HEAVY-DUTY ASPHALT PAVING -MIN. 25,000 KG/AXEL WEIGHT CAPACITY FOR WASTE COLLECTION VEHICLE -FIRE TRUCK TO SUPPORT A LOAD OF 38,556 KG
- 8 ASPHALT PAVING
- 9 PAINTED PEDESTRIAN CROSSING
- 10 CONCRETE ASPHON -MIN. OF 25,000 KG WEIGHT CAPACITY
- 11 PARKADE RAMP CONCRETE RETAINING WALL
- 12 LANDSCAPING
- 13 CONCRETE PATIO
- 14 BIKE RACK
- 15 RESERVED
- 16 HATCH PATTERN PAINTED ON ASPHALT SURFACE (YELLOW)
- 17 RESERVED
- 18 ENTRANCE SIGN (REFER TO DET.12-17/A1.0.2)
- 19 "HANDICAP PARKING" SIGN
- 20 WHEEL STOPS
- 21 "NO PARKING" SIGN

LEGEND

- HEAVY DUTY ASPHALT
- RIGHT-OF-WAY

November 15, 2023

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info@kn-architecture.com

WILLIAM KATAMBANGA
REGISTERED ARCHITECT
NOV 15, 2023
ALBERTA

SCALE AS NOTED

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PROJECT
WESTWINDS
Castleridge Boulevard NE
Calgary, Alberta
Lot 3, Block 6, Plan 041 1158

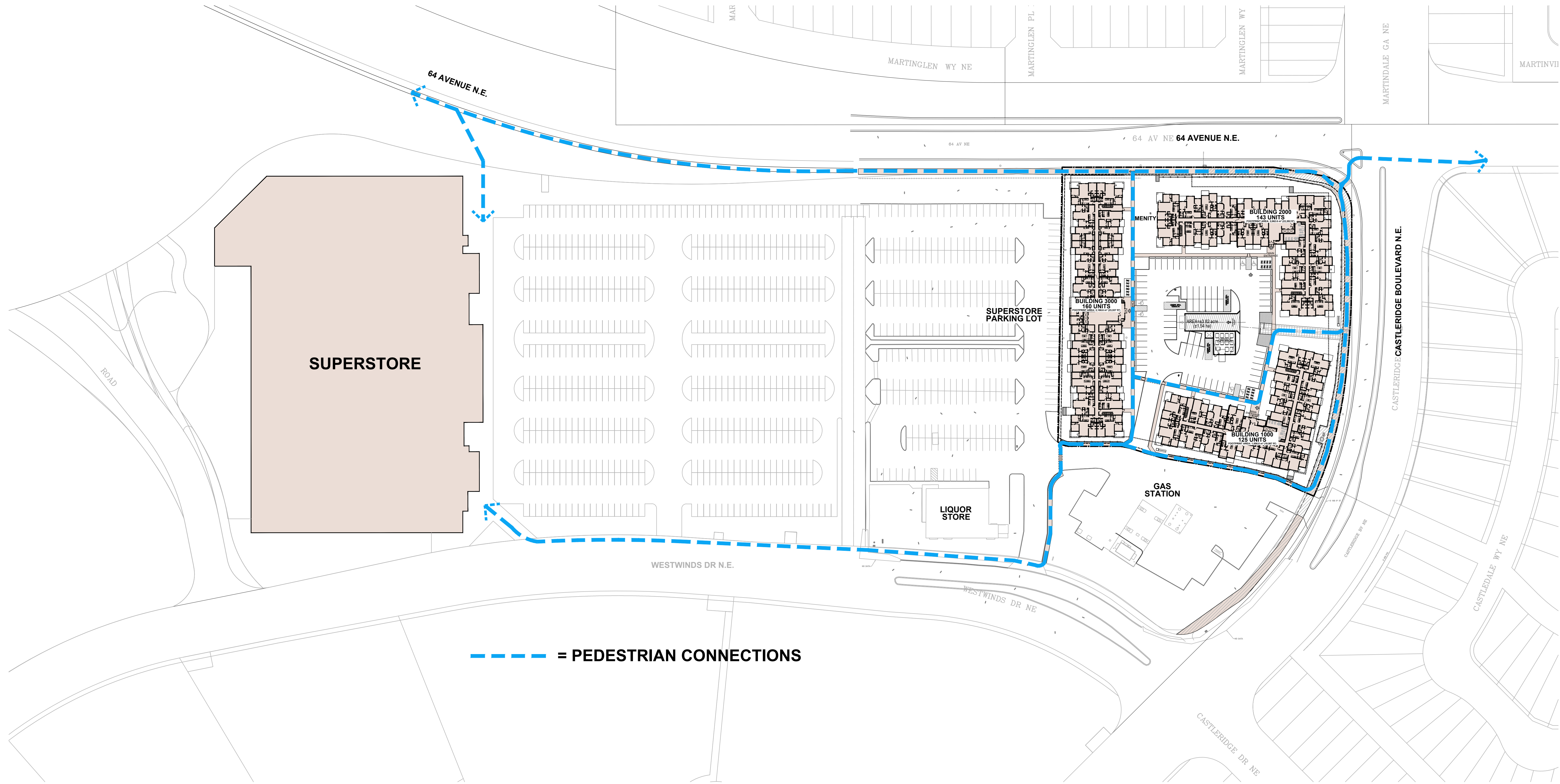
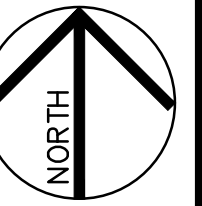
TRADE START DATE JULY 2022

DRAWING
SITE PLAN

DESIGNED TN/SF CHECKED TN
DRAWN SF/SKM/RR JOB No. 2225
DWG No.

A1.0.0

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1 CONTEXT SITE PLAN
A1.0.0A 1:800

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WESTWINDS
Castleridge Boulevard NE
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Lot 3, Block 6, Plan 041 1158

TRADE START DATE JULY 2022

DRAWING
CONTEXT SITE PLAN

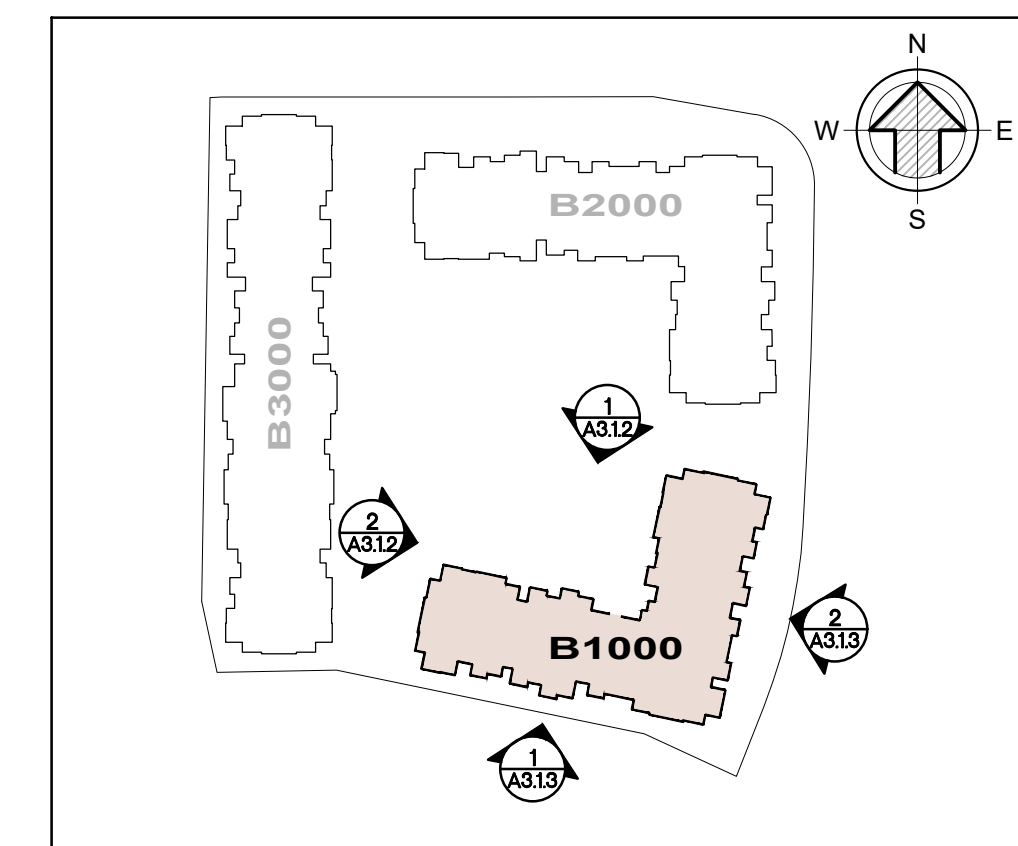
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DRAWN	SF/SKM/RR	JOB No.	2225

DWG No. **A1.0.0A**

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MATERIAL LEGEND

- ① HARDIE BOARD PANEL 01 (LIGHT GRAY)
- ② HARDIE BOARD PANEL 02 (DARK GRAY)
- ③ HARDIE BOARD PANEL 03 (COLOR TBD)
- ④ HARDIE BOARD PANEL 04 (ARCTIC WHITE)
- ⑤ HARDIE TRIM (COLOR TBD)
- ⑥ HARDIE LAP SIDING (COLOR TBD)
- ⑦ BRICK (COLOR TBD)
- ⑧ BLACK VINYL WINDOW
- ⑨ BLACK ALUMINUM GLASS RAILING
- ⑩ EXTERIOR GLASS DOOR
- ⑪ EXTERIOR GLASS SLIDING DOOR



KEY PLAN



1 NORTH-EAST ELEVATION
A3.1.2 3/32" = 1'-0"



2 NORTH-WEST ELEVATION
A3.1.2 3/32" = 1'-0"

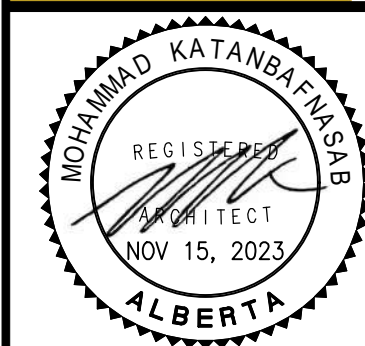
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WESTWINDS
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TRADE DRAWING START DATE JULY 2022

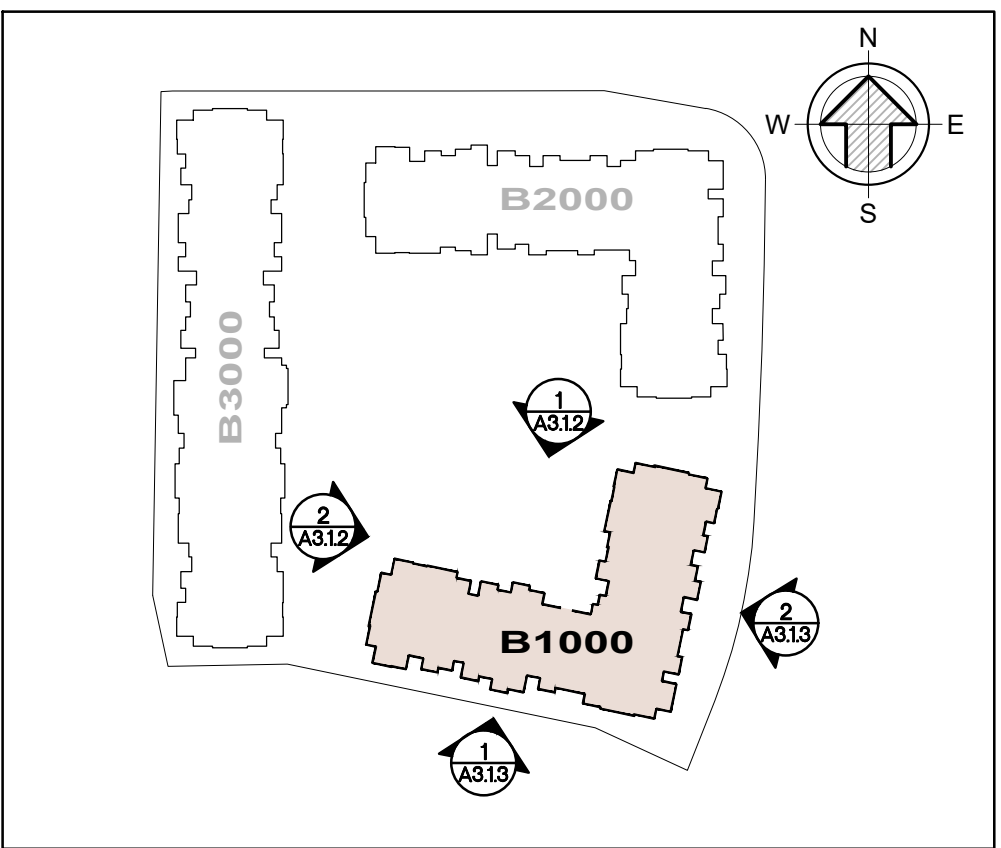
**BUILDING 1000
ELEVATIONS**

DESIGNED TN/SF CHECKED TN

DRAWN SF/SKM/RR JOB No. 2225

DWG No.

A3.1.2



KEY PLAN

MATERIAL LEGEND

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1 SOUTH-WEST ELEVATION
3/32" = 1'-0"



2 SOUTH-EAST ELEVATION
3/32" = 1'-0"

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PROJECT

WESTWINDS

Castleridge Boulevard NE
Calgary, Alberta
Lot 3, Block 6, Plan 041 1158

TRADE START DATE JULY 2022

DRAWING

BUILDING 1000
ELEVATIONS

DESIGNED TN/SF

CHECKED TN

DRAWN SF/SKM/RR

JOB No. 2225

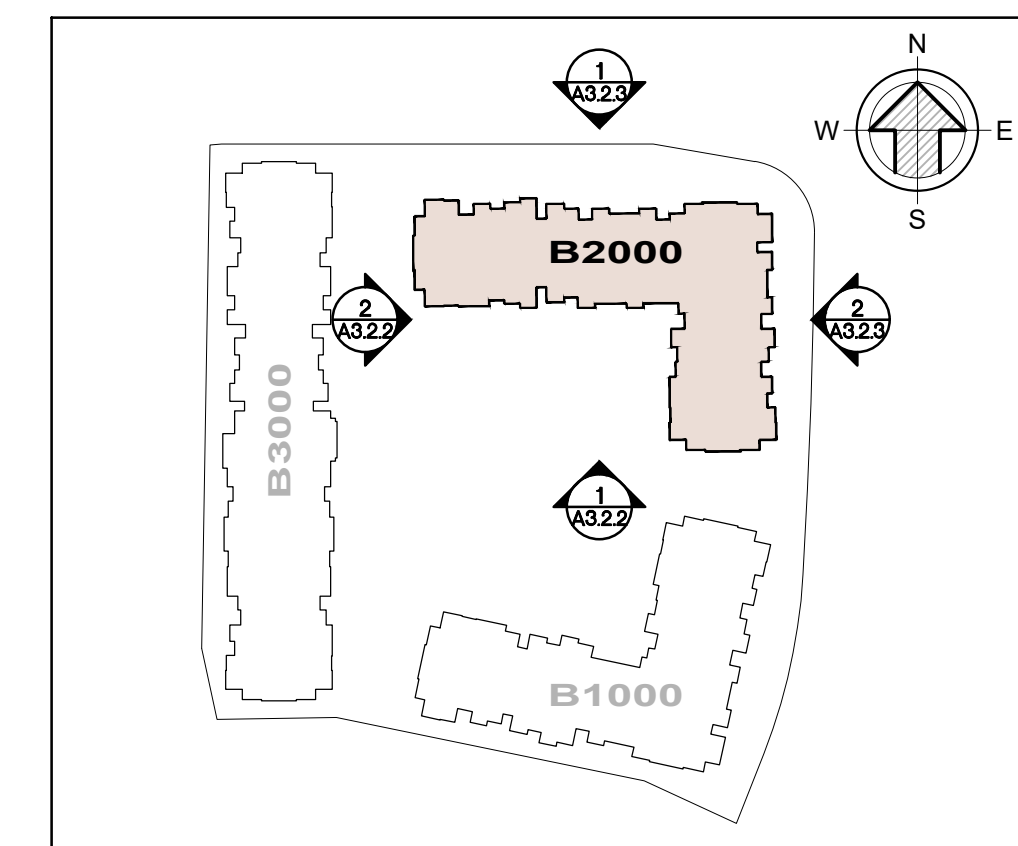
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A3.1.3

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A3.2.2 3/32" = 1'-0"

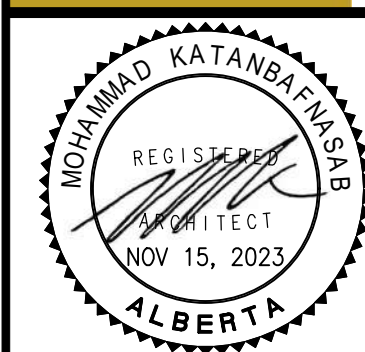
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TRADE START DATE JULY 2022

DRAWING
**BUILDING 2000
ELEVATIONS**

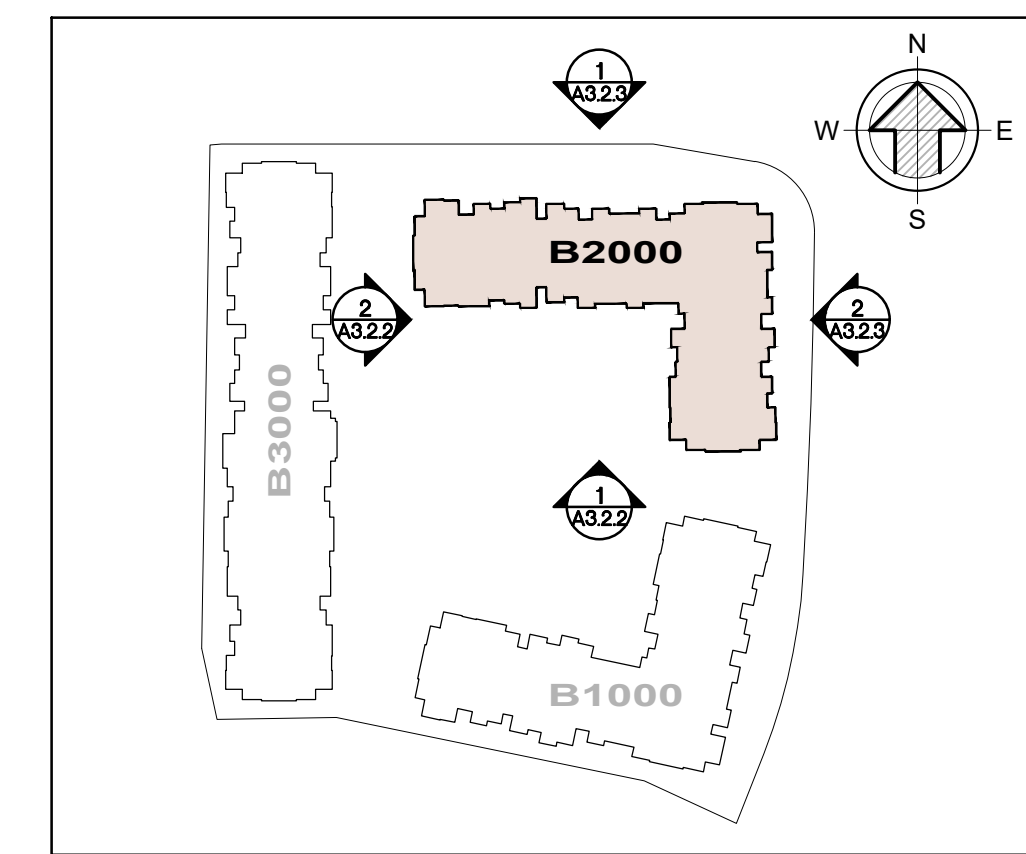
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DWG No.

A3.2.2

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KEY PLAN



1 NORTH ELEVATION
A3.2.3 3/32" = 1'-0"



2 EAST ELEVATION
A3.2.3 3/32" = 1'-0"

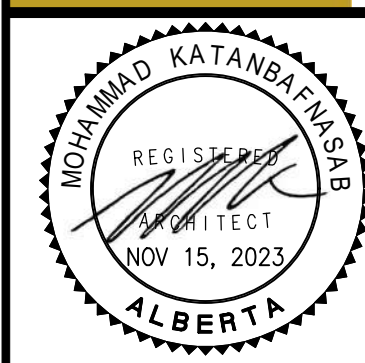
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PROJECT
WESTWINDS
Castleridge Boulevard NE
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Lot 3, Block 6, Plan 041 1158

TRADE START DATE JULY 2022

DRAWING
**BUILDING 2000
ELEVATIONS**

DESIGNED TN/SF CHECKED TN

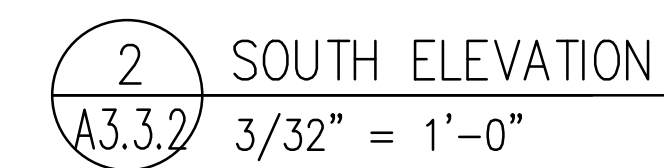
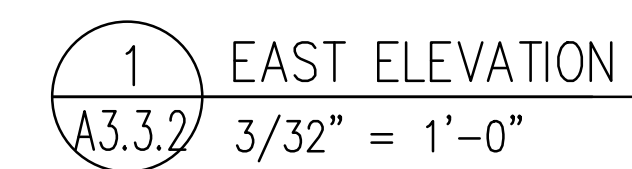
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DWG No.

A3.2.3

MATERIAL LEGEND

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Lot 3, Block 6, Plan 041 1158

DRAWING	
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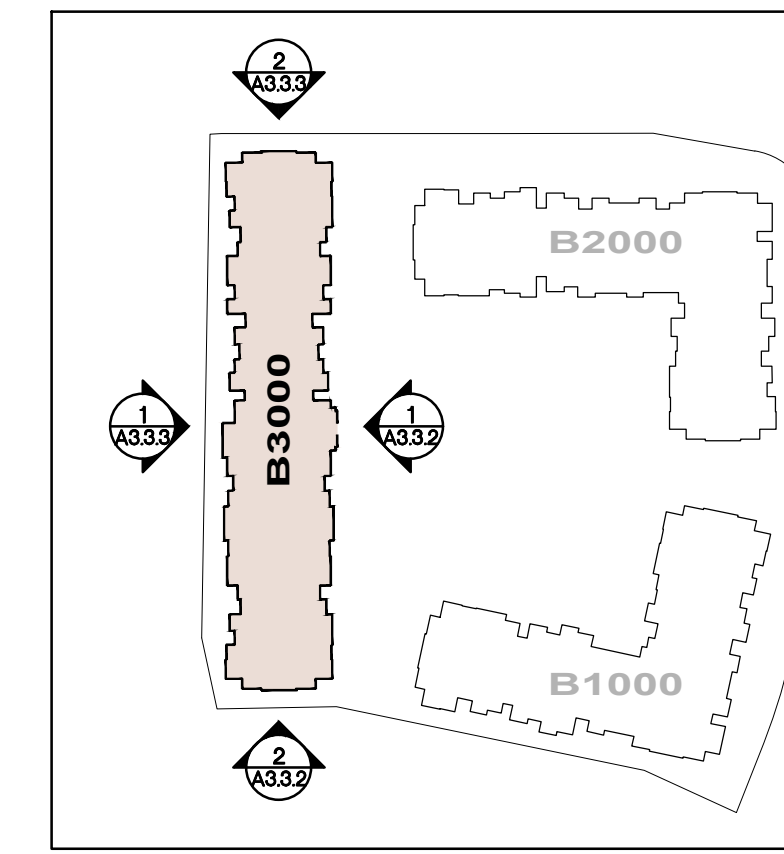
FIG No.	
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A3.3.2

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KEY PLAN



1 WEST ELEVATION
A3.3.3 3/32" = 1'-0"



2 NORTH ELEVATION
A3.3.3 3/32" = 1'-0"

November 15, 2023

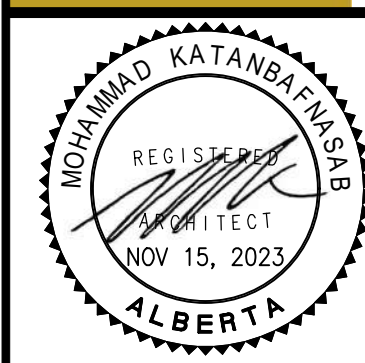
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SCALE AS NOTED



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PROJECT

WESTWINDS

Castleridge Boulevard NE
Calgary, Alberta
Lot 3, Block 6, Plan 041 1158

TRADE START DATE JULY 2022

DRAWING

BUILDING 3000
ELEVATIONS

DESIGNED TN/SF CHECKED TN

DRAWN SF/SKM/RR JOB No. 2225

DWG No.

A3.3.3

64 AVENUE N.E.

W 300 PVC

LEGAL DESCRIPTION		MUNICIPAL ADDRESS	
LOT - 3, BLOCK 6 PLAN 041 1158		XX CASTLERIDGE BLVD NE CALGARY, AB	
ZONING:		M-2	
PROJECT DATA/SITE DATA			
SITE AREA:	15,495.65 m ²	TOTAL TREES REQ	141
PARKING AREA:	3,083.00 m ²	DECIDUOUS TOTAL	102
BUILDING AREA:	6,108.3 m ²	DEC @ 75mm CAL	46
LANDSCAPE AREA REQUIRED:	6,198.26 m ² (40%)	DEC @ 50mm CAL	56
LANDSCAPE AREA PROVIDED:	6,306.35 m ² (40.7%)	CON TOTAL	39
		CON @ 3.0m HT	34
		CON @ 2.5m HT	05
		TOTAL TREES REQ	282

SURFACE LEGEND	
	STANDARD GREY CONCRETE - 800MM FINISH W/ SAW CUT JOINTS
	BARK MULCH AREA
	60-100MM DECORATIVE RIVER ROCK
	BLUE LYME GRASS - 300MM SOIL DEPTH
	CONCRETE PAVERS 60MM DEPTH
	RAISED PLANTER - 1200MM SOIL DEPTH
	LOW WATER SITE SELECT SOD - 300MM SOIL DEPTH
	40MM DECORATIVE RUNDLE ROCK
	DECORATIVE RUNDLE BOULDERS
	WOOD SLAB BENCH
	CLASS 2 BIKE RACKS

TREE LEGEND	SHRUB + PERENNIAL LEGEND

LABELS	
N.01	RAISED CONCRETE PLANTERS - 1.2M SOIL DEPTH
N.02	AMENITY AREA W. PERGOLA, MOVABLE LOUNGE TABLES + CHAIRS SEATING, GAMES AREA, AND BENCH SEATING
N.03	RAISE PLANTERS W/ COLUMNAR TREES ALIGNED WITH MAIN FLOOR PATIOS
N.04	LAYERED PLANTING W/ DECORATIVE ROCK MULCH BANDING AT PEDESTRIAN / EMERGENCE ACCESS ENTRY
N.05	DECORATIVE ROCK MULCH SURFACE PATTERN W/ DECORATIVE BOULDERS
N.06	TALL GRASS ALONG INTERNAL WALK TO SCREEN PARKING FROM MF WINDOWS
N.07	PEDESTRIAN CONNECTION TO DEVELOPMENT W/ DECORATIVE ROCK MULCH + SOD STRIPS OVER PARKDADE

- GENERAL NOTES**
- ALL LANDSCAPE CONSTRUCTION, INCLUDING ALL HARD AND SOFT LANDSCAPING, TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY OF CALGARY SPECIFICATIONS OR AS NOTED ON THE DRAWINGS.
 - ALL TREES AND SHRUBS TO BE RETAINED SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION.
 - ALL PLANT MATERIAL SHALL MEET THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION AND BE TRUE TO TYPE AND SPECIES.
 - ALL PLANT MATERIAL SHALL BE LOCALLY GROWN ALBERTA NURSERY STOCK.
 - ALL PLANT MATERIAL TO BE LOCATED WITHIN MULCHED PLANTING BEDS OR INDIVIDUAL MULCHED TREE WELLS.
 - ALL PLANTING BEDS TO HAVE A MIN. 75mm DEPTH BARK MULCH.
 - ALL LANDSCAPE AREAS TO BE EQUIPPED WITH A LOW-WATER HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATION TO HAVE SOLAR OR BATTERY POWERED REMOTE MONITORING SYSTEM.

PLANT LIST: DECIDUOUS TREES			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Acer ginnala	AMUR MAPLE	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	19
Fraxinus pennsylvanica 'Patmore'	PATMORE GREEN ASH	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	13
Populus tremula 'Erecta'	SWEDISH COLUMNAR ASPEN	50mm CAL. B&B, MIN 700 mm wd x 400mm DEPTH ROOT BALL	56
Prunus pennsylvanica	PINCHERRY	75mm CAL. B&B, MIN 800mm wd x 600mm DEPTH ROOT BALL	16

PLANT LIST : CONIFEROUS TREES			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Picea pungens	COLORADO BLUE SPRUCE	3.0m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	04
Picea pungens	COLORADO BLUE SPRUCE	2.5m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	05
Picea pungens 'Fastigiata'	COLUMNAR BLUE SPRUCE	3.0m ht. B&B, MIN 1220mm Dia. ROOT BALL, SINGLE LEADER	30

PLANT LIST : SHRUBS			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Juniperus horizontalis 'Blue Chip'	BLUE CHIP JUNIPER	#5 CONT. MIN 600mm SPR. MIN. 4 MAJOR BASAL STEMS,	21
Pinus mugo var. pumilio	DWARF MUGO PINE	#5 CONT. MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	50
Syringa meyeri 'Palibin'	DWARF KOREAN LILAC	#3 CONT. MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	160
Sorbaria sorbifolia 'Sem'	URAL FALSE SPIREA	#5 CONT. MIN 600mm ht. MIN. 4 MAJOR BASAL STEMS,	52

PLANT LIST : GRASSES & PERENNIALS			
SCIENTIFIC NAME	COMMON NAME	PLANTING NOTES	QTY.
Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER REED GRASS	#3 POT	228
Leymus arenarius 'Blue Dune'	BLUE LYME GRASS	#3 POT	250

CASTLERIDGE BOULEVARD N.E.

SUPERSTORE PARKING LOT

BUILDING 2000

BUILDING 3000

AREA=±3.82 acre
(±1.54 ha)

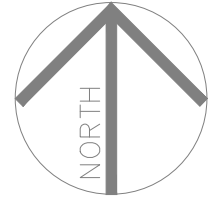
GARBAGE ENCLOSURE

BUILDING 1000

GAS STATION

1 LANDSCAPE PLAN
L100 SCALE 1:250

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[SMM]

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ISSUED FOR DEVELOPMENT PERMIT

2	16/11/23	ISSUED FOR DP
1	10/11/23	ISSUED FOR REVIEW
NO	DD/MM/YY	REVISION

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SCALE AS NOTED

CARLISLE GROUP
eye on quality ... focus on value

PROJECT
WESTWINDS
Castleridge Boulevard NE
Calgary, Alberta
Lot 3, Block 6, Plan 041 1158

TRADE START DATE JULY 2022

DRAWING

LANDSCAPE PLAN
SITE PLAN

DESIGNED AP	CHECKED DM
DRAWN AP	JOB No. 2225
	DWG No.

L100