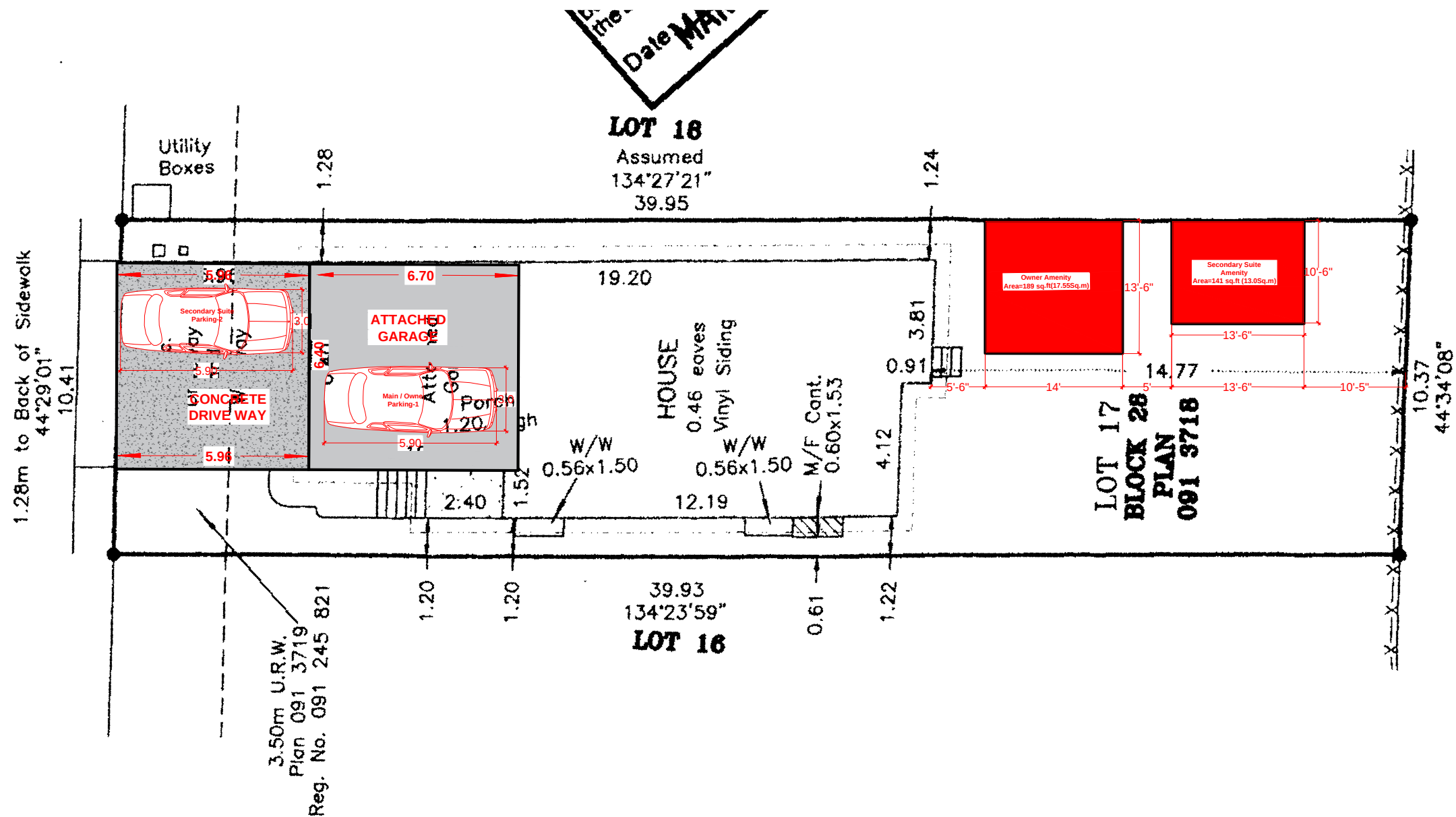


ALBERTA LAND SURVEYING N.W.

EVANSDALE LANDING N.W.



PLAN 821 0564
PLAN 911 1136

KEY PLAN: Application For DP/BP Drawings	GENERAL NOTES: ANY CONTRACTOR OR PERSON USING THIS DRAWING SHOULD VERIFY ALL DIMENSIONS QUOTATIONS AND SPECIFICATIONS AND INFORM THIS DESIGNER OF ANY ERRORS AND / OR OMISSIONS BEFORE IMPLEMENTATIONS. INFORMATION CONTAINED SHALL BE TREATED AS CONFIDENTIAL NO REPRODUCTION OF THIS DRAWINGS OR ANY PART OF THIS DRAWINGS SHALL BE MADE WITHOUT WRITTEN CONSENT. CONTRACTORS ARE TO VISIT SITE VERIFY DETAILS INFORMATION PRIOR TO SUBMITTING TENDER/ AND PRICE IT IS THE CONTRACTORS RESPONSIBILITY TO BRING FORWARD ANY DISCREPANCIES / COST ETC. SHALL BE AT CONTRACTORS COST. ALL HOUGHING PIPE ETC. FOLLOW NATIONAL BUILDING CODE - 2015 ALBERTA EDITION, NRC-2015 STANDARD AND BASE BUILDING SPECS. & SCHEDULE. CONTRACTOR MUST FOLLOW ALL DESIGN AND CONSTRUCTION STANDARDS & CODES.	REV.	DESCRIPTION	REV. DATE	MUNICIPAL ADDRESS: 101 Evansdale Landing NW Calgary Alberta	PROJECT: Existing Secondary Suit Basement	CLINT: Owner/Construction Contractor	ORIGINAL DRAWING SHEET SIZE: A3			DRAWING TITLE: Parking And Amenity Plan	
									DRAWN BY	YM	SCALE	NTS
											DATE	17-09-2023
									CCD	AK	DESIGN STAGE	DP / BP / CONS
											ISSUE DATE	-
								PROJ CODE		DRAWING NO.	REVISIONS	
										A1.02	01	

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ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

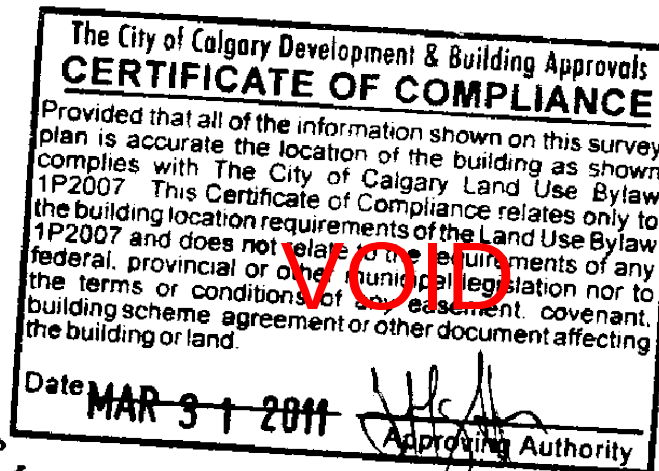


VISTA GEOMATICS LTD.
 Bay 1, 2135 - 32nd Ave. N.E.
 Calgary, Alberta T2E 6Z3
 Phone (403) 270-4048
 E-mail: admin@vistageomatics.com

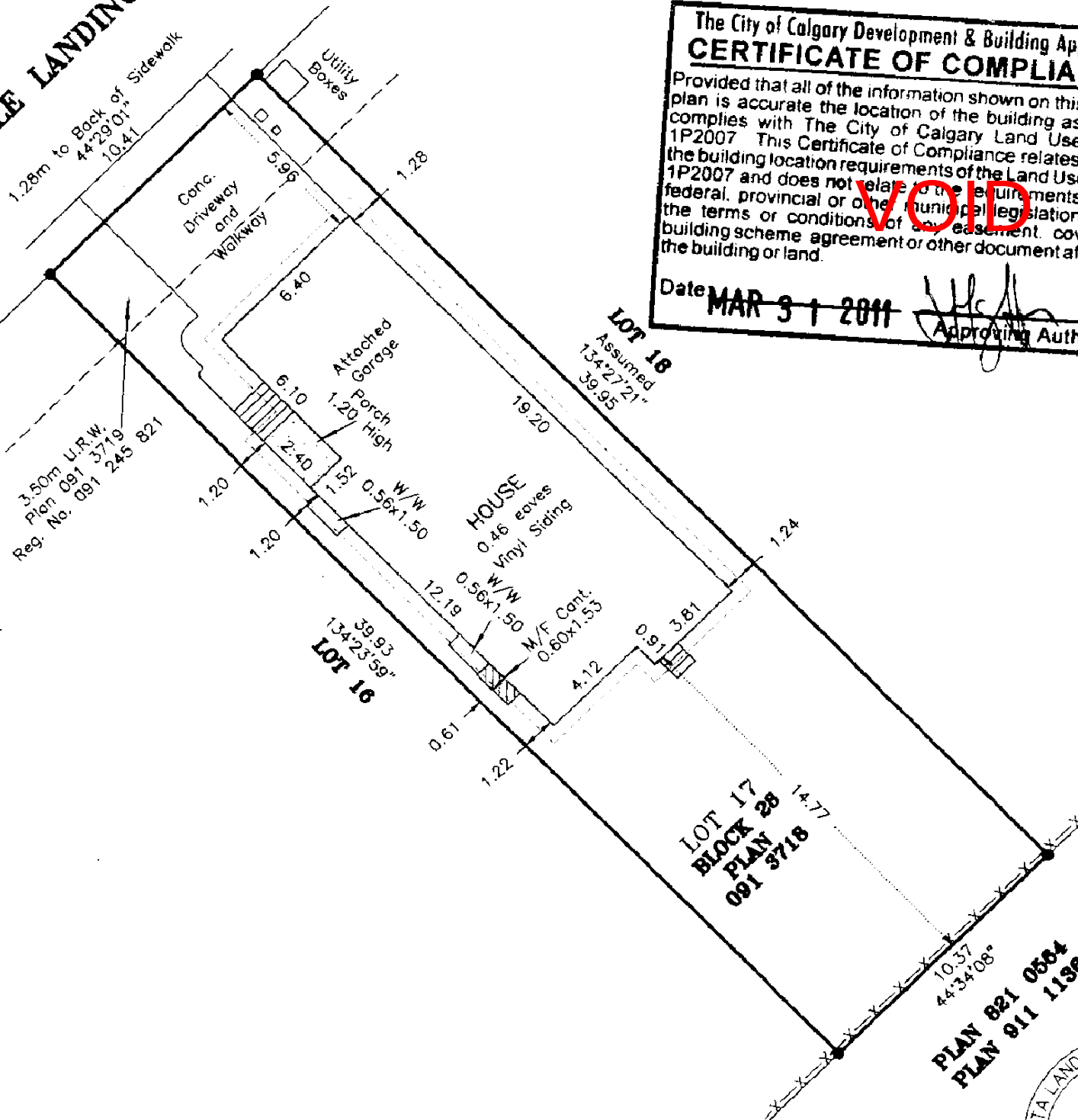
DESCRIPTION OF PROPERTY

Lot(s) 17
 Block 28
 Plan 091 3718

- I, Dennis G. Clayton, Alberta Land Surveyor do hereby certify that this report was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly within those standards and as of the date of this report, I am in the opinion that:
- The Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and right-of-way affecting the extent of the title to the property;
- The improvements are entirely within the boundaries of the property, except _____;
- No visible encroachments exist on the Property from any improvement situated on an adjacent property, except _____; and;
- No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, except _____;
- Title information is based on a title search dated March 4th A.D. 2011 C. of T. No. 111 029 719
- The dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.
- Distances are in metres and decimals thereof.
- This document is not valid unless it bears an original signature (in blue ink) and a red Vista Geomatics Ltd. permit stamp.
- Purpose:** This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.
- This survey was performed between the dates of: July 30th, 2010 and March 10th, 2011.
- Property is subject to Caveat Reg. No. 091 245 824
 Re: Restrictive Covenant
- Property is subject to Restrictive Covenant Reg. No. 091 245 827
- Main Floor Elevation = 29.63m



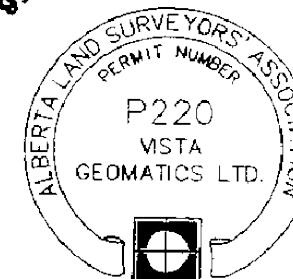
EVANSDALE LANDING N.W.



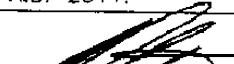
LEGEND

ABBREVIATIONS AND SYMBOLS THAT MAY APPEAR ON THIS PLAN:
 Drill Hole found shown thus ...
 Iron Bar found shown thus ...
 Statutory Iron Post found shown thus ...
 Delta (Central) angle of arc shown thus ...
 Eave Fascia shown thus ...
 Eave Dimensions (where applicable) are to line of Fascia
 Fences are shown thus ...
 Fences are within 0.20m of the Property Line unless otherwise noted
 Line not to scale shown thus ...
 Utility Rights-Of-Way are shown thus ...
 Building foundation shown thus ...
 Property line shown thus ...
 A denotes length of arc
 A/C denotes Air Conditioner
 Blk. denotes Block
 Cant. denotes cantilever
 Conc. denotes concrete
 E. denotes east
 Fd. denotes found
 G.L. denotes ground level
 m denotes metres
 Mk. denotes mark
 M/F denotes Main Floor
 M.A. denotes Maintenance Access
 Mks. denotes marks
 N. denotes north
 O.D. denotes Overland Drainage
 R denotes radius of arc
 Reg. No. denotes registration number
 Ret. Wall denotes retaining wall
 R.W. denotes Right-Of-Way
 2/F. denotes Second Floor
 S. denotes south
 U. denotes Utility
 W. denotes west
 W/W denotes Window Well

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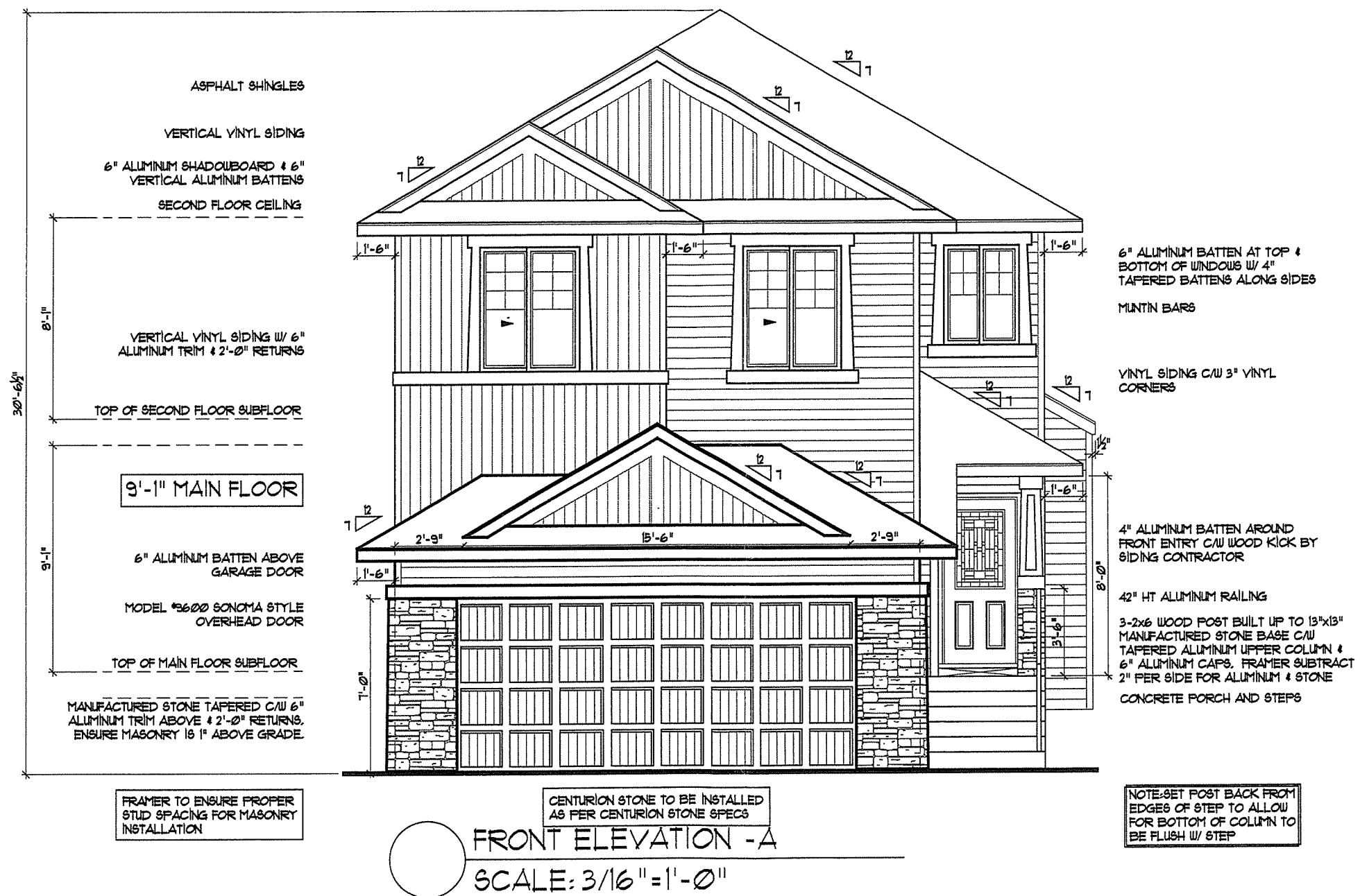


Dated this 16th day of March A.D. 2011.

MUNICIPAL ADDRESS: 101 Evansdale Landing N.W. Calgary, Alberta		 Dennis G. Clayton, A.L.S.
CLIENT Pacesetter Homes		
FILE NO. 70149	Drawn by: J. Ng	
SCALE 1: 200	V.G. FILE NO. 10075492	

NOTE!

1. ALL ROOF SLOPES ARE TO BE 12/12 UNLESS NOTED OTHERWISE
2. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS -SEE BUILDERS SPECS
3. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
4. BUILDER IS RESPONSIBLE FOR FINAL GRADES AS PER APPROPRIATE GRADE SLIP OR SITE PLAN



THESE PLANS HAVE BEEN DRAWN
AS PER THE MOST CURRENT
ALBERTA BUILDING CODE (2006).

FOR FINAL
CONSTRUCTION RELEASE

ERRORS AND OMISSIONS
HOME PLAN PERusal AND CONFIRMATION IS ESSENTIAL PRIOR TO HOME
CONSTRUCTION. HOWEVER, ERRORS AND OMISSIONS MAY OCCUR ON THE
PLANS. SUCH ERRORS AND OMISSIONS ARE OVERLOOKED BY ANY
ADDITIONAL SPECIFICATIONS AND OFFER TO PURCHASE. THE BUILDER
WILL NOT BE RESPONSIBLE FOR SUCH ERRORS AND OMISSIONS. PLEASE
NOTE THAT THESE BLUEPRINTS/DRAWINGS DO NOT FORM PART OF THE
CONTRACT AGREEMENT

Address : 101 EVANSDALE LANDING NW

Job # : 10149 (PRE-SALE)

Job# Changes By: MICHELLE COOK

Model: SANTIAGO 4-A

Main Flr : 1039 sqft.

Design Date: SEPT 2009

Revised Date: AUGUST 27, 2010

2nd Flr : 1340 sqft.

Start Date: JUNE 7, 2010
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Scale: AS NOTED

Total Sq Ft : 2379 sqft.

Bsmnt. Devl: -

Page

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11

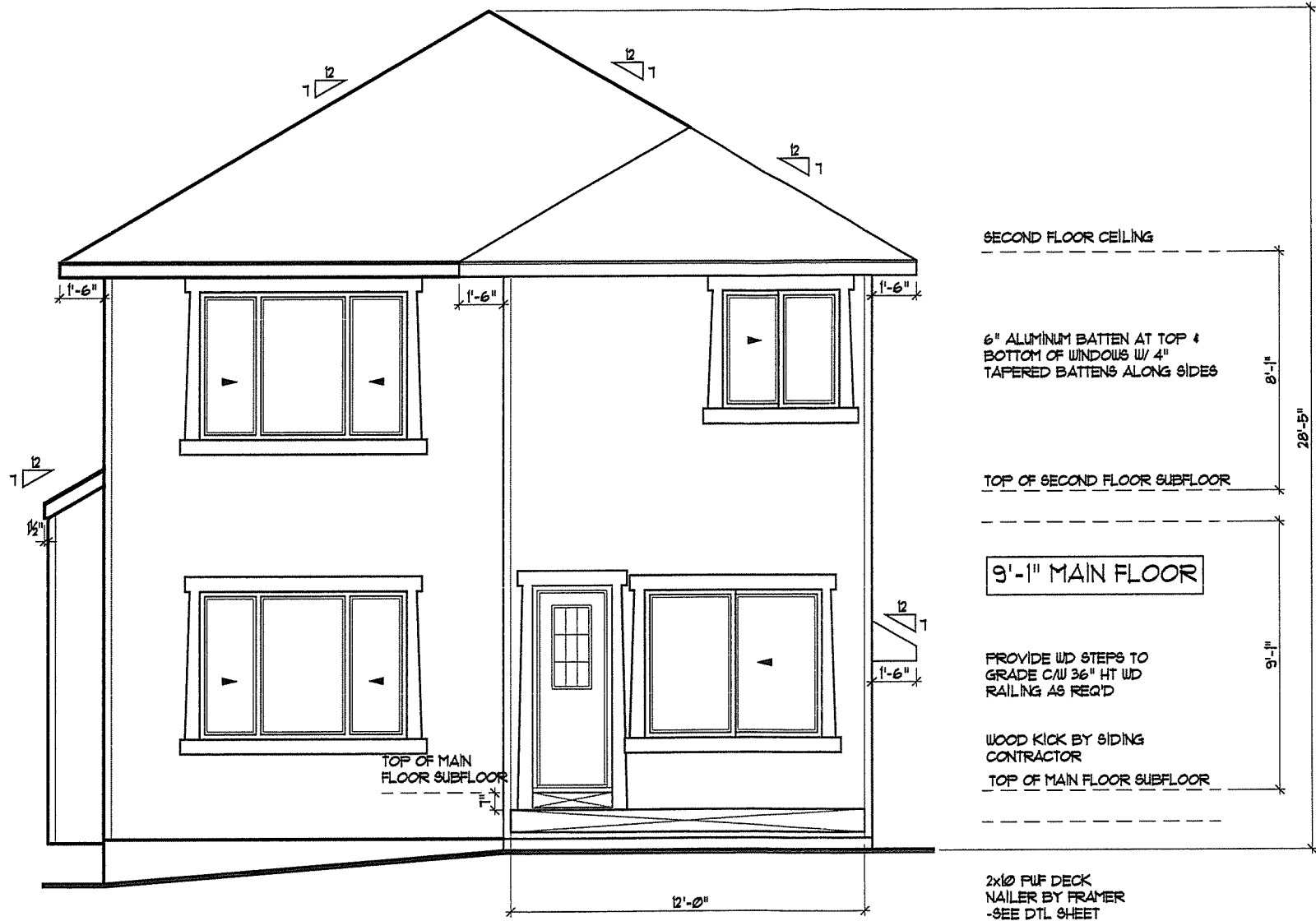
Pacesetter
HOMES

- NOTE!
1. ALL ROOF SLOPES ARE TO BE 1:12 UNLESS NOTED OTHERWISE

2. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS -SEE BUILDERS SPECS

3. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE

4. BUILDER IS RESPONSIBLE FOR FINAL GRADES AS PER APPROPRIATE GRADE SLIP OR SITE PLAN



REAR ELEVATION - AC
SCALE: 3/16" = 1'-0"

THESE PLANS HAVE BEEN DRAWN
AS PER THE MOST CURRENT
ALBERTA BUILDING CODE (2006)

FOR FINAL
CONSTRUCTION RELEASE

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CONTRACT AGREEMENT

Address : 101 EVANSDALE LANDING NW Job # : 70149 (PRE-SALE)

Job# Changes By: MICHELLE COOK Model: SANTIAGO 4AC Main Flr : 1039 sqft.

Design Date: SEPT 2009 Start Date: JUNE 7, 2010 Revised Date: AUGUST 27, 2010 2nd Flr : 1340 sqft.

Total Sq Ft : 2379 sqft.

Bsmnt. Devl: -

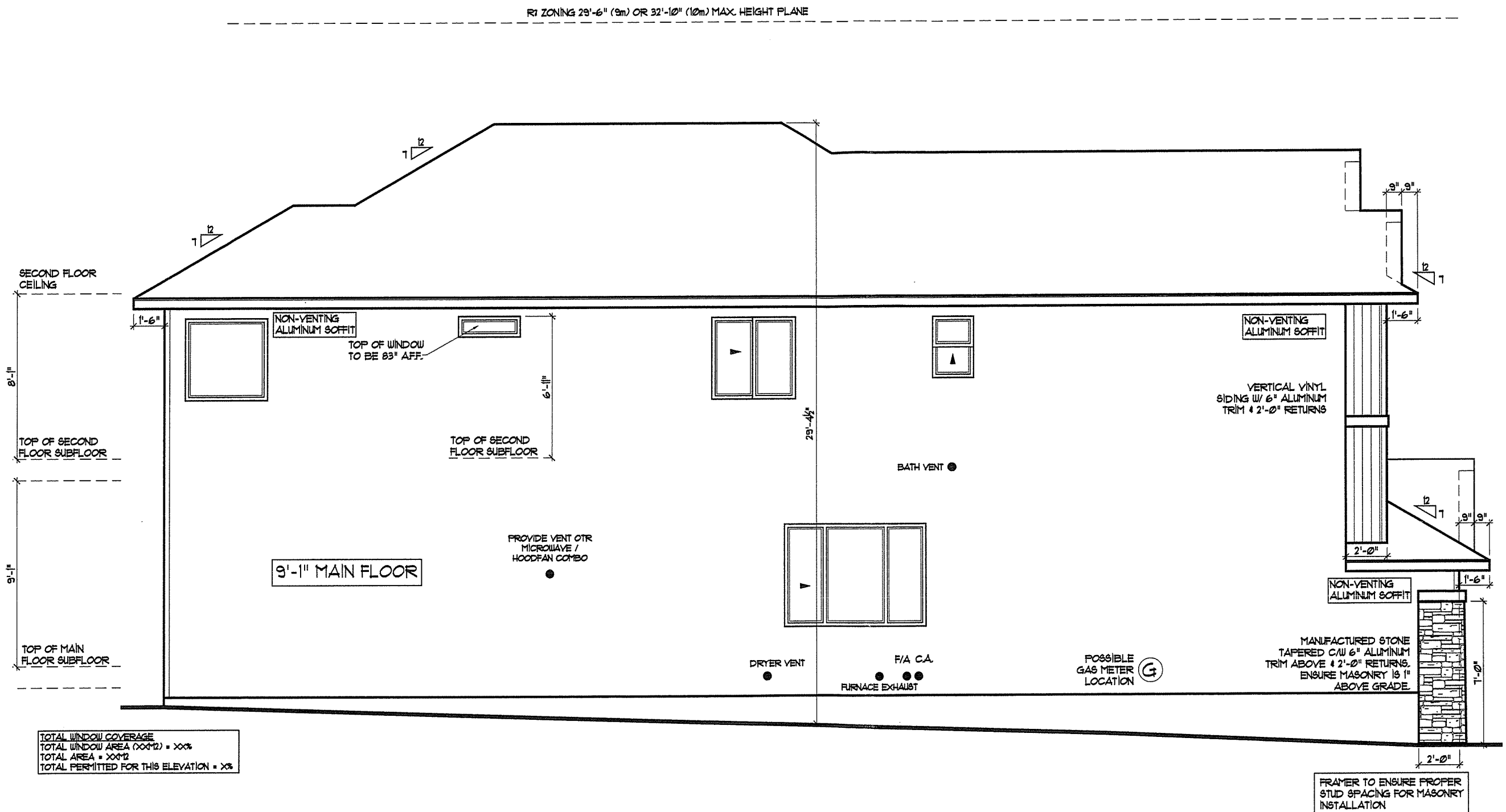
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TOTAL WINDOW COVERAGE
TOTAL WINDOW AREA (XXX12) = XXX%
TOTAL AREA = XXX12
TOTAL PERMITTED FOR THIS ELEVATION = XX%

THESE PLANS HAVE BEEN DRAWN
AS PER THE MOST CURRENT
ALBERTA BUILDING CODE (2006).

FOR FINAL
CONSTRUCTION RELEASE

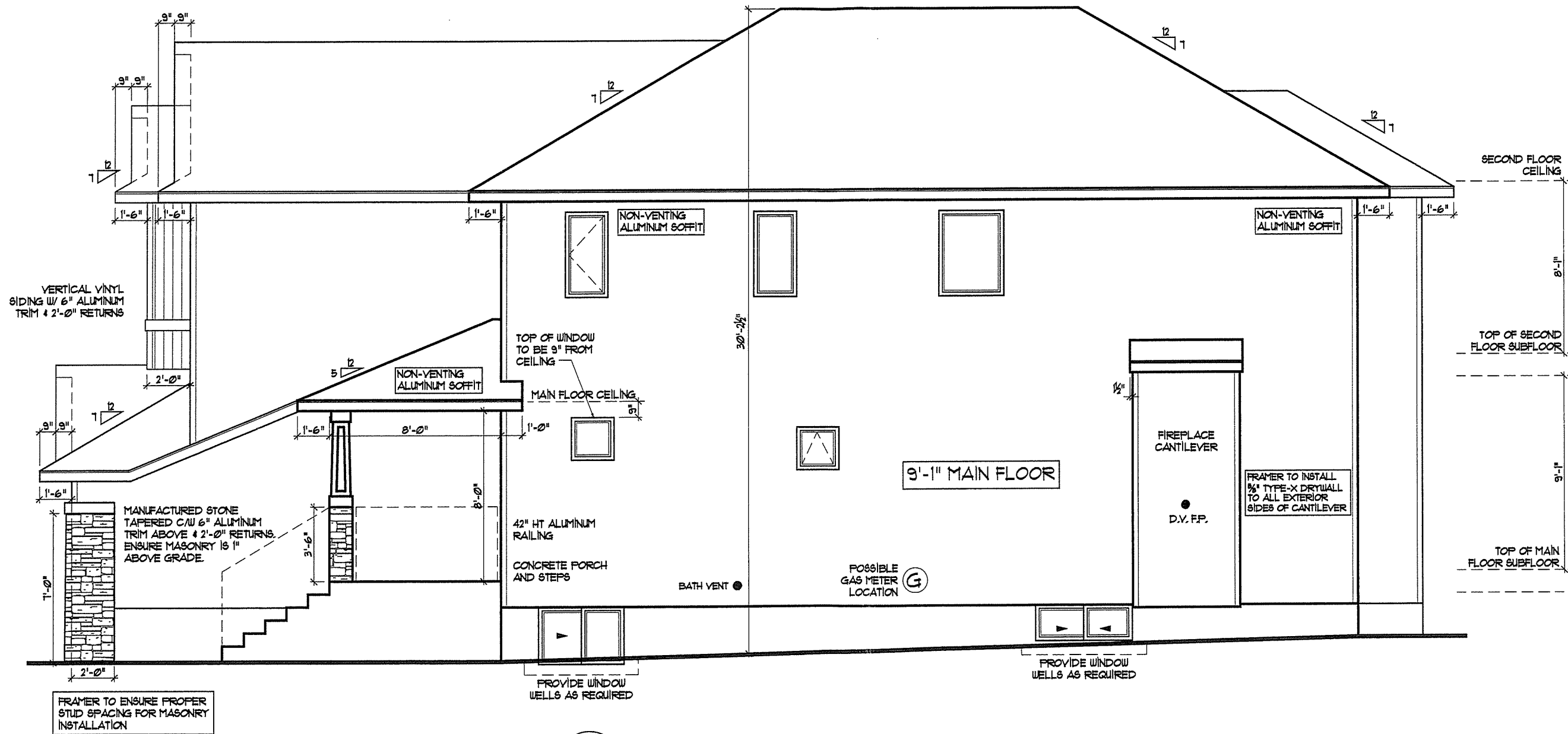
○ SIDE ELEVATION -A
SCALE: 3/16" = 1'-0"

ERRORS AND OMISSIONS
HOME PLAN PERUSAL AND CONFIRMATION IS ESSENTIAL PRIOR TO HOME CONSTRUCTION. HOWEVER, ERRORS AND OMISSIONS MAY OCCUR ON THE PLANS. SUCH ERRORS AND OMISSIONS ARE OVERRULED BY ANY ADDENDUMS, SPECIFICATIONS AND OFFER TO PURCHASE. THE BUILDER WILL NOT BE RESPONSIBLE FOR SUCH ERRORS AND OMISSIONS. PLEASE NOTE THAT THESE BLUEPRINTS/DRAWINGS DO NOT FORM PART OF THE CONTRACT AGREEMENT

NOTE!
1. ALL ROOF SLOPES ARE TO BE 7:12 UNLESS NOTED OTHERWISE
2. FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS ON ROOF AND ELEVATIONS -SEE BUILDERS SPECS
3. WINDOW WELLS MAY BE REQUIRED DEPENDING ON FINAL GRADE
4. BUILDER IS RESPONSIBLE FOR FINAL GRADES AS PER APPROPRIATE GRADE SLIP OR SITE PLAN

Address : 101 EVANSDALE LANDING NW		Job # : T0149 (PRE-SALE)				Page 6A 11
Job# Changes By: MICHELLE COOK		Model: SANTIAGO 4A				
Design Date: SEPT 2009	Start Date: JUNE 7, 2010	Revised Date: AUGUST 27, 2010		Main Flr : 1039 sqft.		
		Scale: AS NOTED		2nd Flr : 1340 sqft.		
				Total Sq Ft : 2379 sqft.		
				Bsmnt. Devl: -		
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R2 ZONING 29'-6" (9m) OR 32'-10" (10m) MAX. HEIGHT PLANE



NOTE!

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SIDE ELEVATION -A

SCALE: 3/16" = 1'-0"

TOTAL WINDOW COVERAGE
TOTAL WINDOW AREA (XXX'2) = XXX
TOTAL AREA = XXX'2
TOTAL PERMITTED FOR THIS ELEVATION = XX

THESE PLANS HAVE BEEN DRAWN
AS PER THE MOST CURRENT
ALBERTA BUILDING CODE (2006).

FOR FINAL
CONSTRUCTION RELEASE

Job # : 10149 (PRE-SALE)

Address : 101 EVANSDALE LANDING NW

Job* Changes By: MICHELLE COOK Model: SANTIAGO 4A Main Flr : 1039 sqft.

Design SEPT 2009 Start Date: JUNE 7, 2010 Revised Date: AUGUST 27, 2010 2nd Flr : 1340 sqft.

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Bsmnt. Devl.: -

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