

1913 - ASH CRESCENT S.E.,LOT 9; BLOCK 11; PLAN 4346 GL , CALGARY,
ALBERTA



DEVELOPMENT PERMIT SET

ISSUE DATE : 04/27/2023

LIST OF DRAWINGS:

- | | |
|--|---|
| G-001 : LIST OF DRAWINGS | A-102 : PROPOSED SECOUND FLOOR PLAN & ROOF PLAN |
| G-002 : 3D SHOTS | A-103 : PROPOSED AREA PLANS |
| G-003 : 3D SHOTS 2 | A-201 : PROPOSED FRONT & RIGHT ELEVATIONS |
| A-001 : EXISTING SURVEY | A-202 : PROPOSED REAR & LEFT ELEVATIONS |
| A-002 : PROPOSED & EXISITING SITE PLAN | A-301 : PROPOSED BUILDING SECTIONS |
| A-003 : PROPOSED SITE PLAN | |
| A-004 : PROPOSED STREETScape | |
| A-005 : LANDSCAPE PLAN | |
| A-006 : LANDSCAPE BREAKDOWNS | |
| A-007 : LANDSCAPE BREAKDOWNS (2) | |
| A-008 : LANDSCAPE BREAKDOWNS (3) | |
| A-009 : GARBAGE COLLECTION | |
| A-101 : PROPOSED BASEMENT & MAIN FLOOR PLANS | |



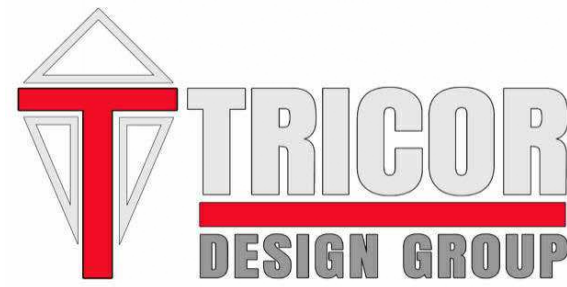
GREEN CEDAR
HOMES



#201, 4216 12th Street NE Calgary,
Alta T2E 6K9
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DESIGNED BY :



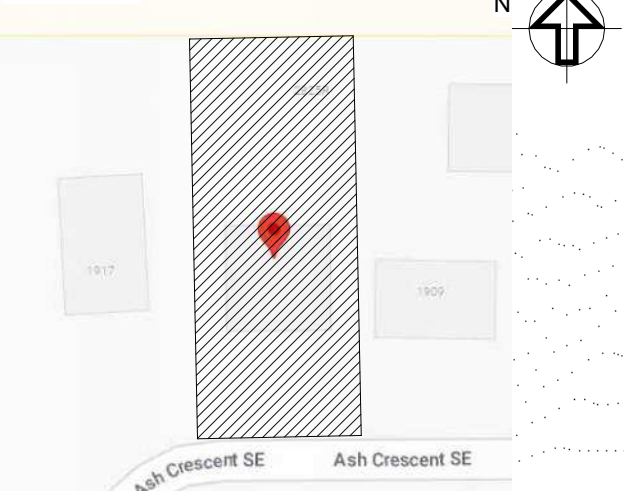
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KEY PLAN :



DRAWING SET :

DEVELOPMENT PERMIT SET

ISSUES

No.	Date	Description	Chk'd By
1	04/19/2023	DEVELOPMENT PERMIT SET	EA
2	04/27/2023	DEVELOPMENT PERMIT SET	EA

REVISION

ADDRESS:

**1913 - ASH CRESCENT
S.E., LOT 9; BLOCK 11; PLAN
4346 GL , CALGARY,
ALBERTA**

THE CLIENT :



**GREEN CEDAR
HOMES**

DRAWING TITLE :

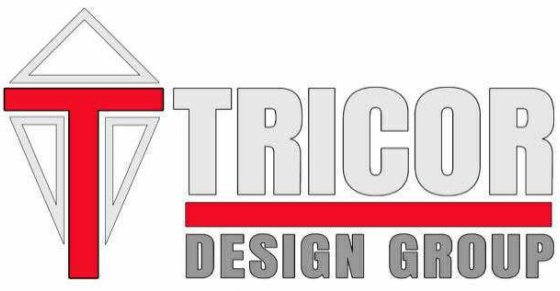
3D SHOTS

DRAWN BY	CHECKER	APPROVED BY	DATE(M-D-Y)
Author	Checker	Approver	04/27/2023
JOB NO.	DRAWING NO.	SCALE	
22-09091			
SHEET SIZE		REV. NO.	
36 X 24			

G-002



DESIGNED BY :



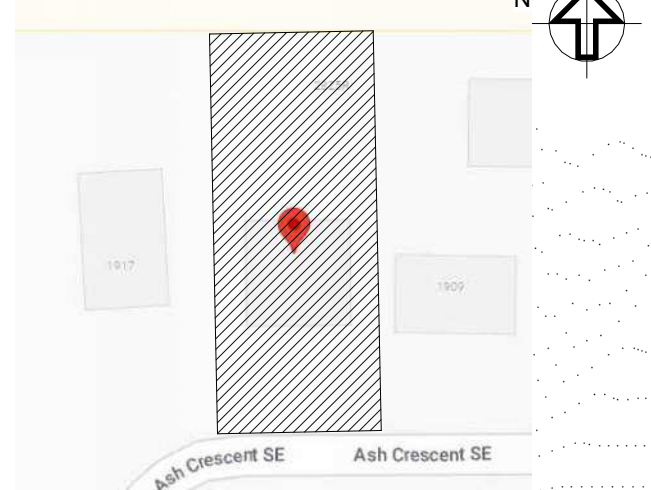
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KEY PLAN :



DRAWING SET :

DEVELOPMENT PERMIT SET

ISSUES

No.	Date	Description	Chk'd By
1	04/19/2023	DEVELOPMENT PERMIT SET	EA
2	04/27/2023	DEVELOPMENT PERMIT SET	EA

REVISION

ADDRESS:

**1913 - ASH CRESCENT
S.E., LOT 9; BLOCK 11; PLAN
4346 GL , CALGARY,
ALBERTA**

THE CLIENT :



**GREEN CEDAR
HOMES**

DRAWING TITLE :

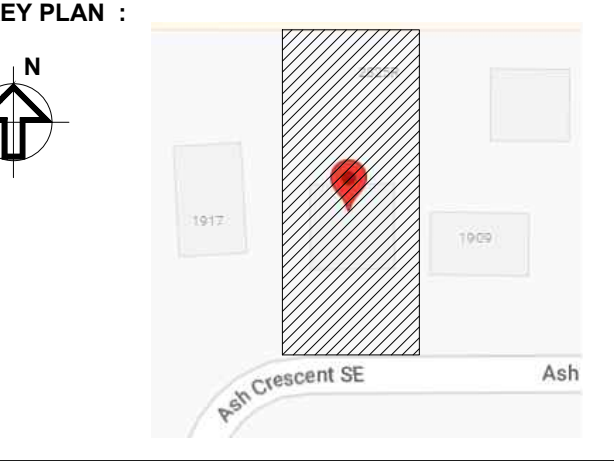
3D SHOTS 2

DRAWN BY	CHECKER	APPROVED BY	DATE(M-D-Y)
G.K / D.H	E.A	Approver	04/27/2023
JOB NO.	DRAWING NO.	SCALE	
22-09091			
SHEET SIZE	REV. NO.		
36 X 24	G-003		



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DEVELOPMENT PERMIT SET

REVISION			
NO.	Date	Description	Chk'd By

ISSUES			
02	04/27/23	DEVELOPMENT PERMIT	E.A
01	04/19/23	DEVELOPMENT PERMIT	E.A
NO.	Date	Description	Chk'd By

1913 - ASH CRESCENT S.E. LOT 9; BLOCK 11; PLAN 4346 GL



EXISTING SURVEY

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/27/23
JOB NO.	DRAWING NO.		SCALE
22-09091	A-001		
SHEET SIZE	REV. NO.		
36 X 24			

DEVELOPMENT PERMIT PLAN

MUNICIPAL ADDRESS:
1913 – ASH CRESCENT S.E.
CALGARY, ALBERTA
CLIENT: GREEN CEDAR HOMES
ADDRESS: #204, 1409 – EDMONTON TRAIL N.E.
CALGARY, ALBERTA T2E 3K8

LEGAL DESCRIPTION:
LOT 9; BLOCK 11; PLAN 4346 GL
WITHIN THE
N.E.1/4 SEC.9, TWP.24, RGE.29, W.4thM.

SCALE 1 : 200

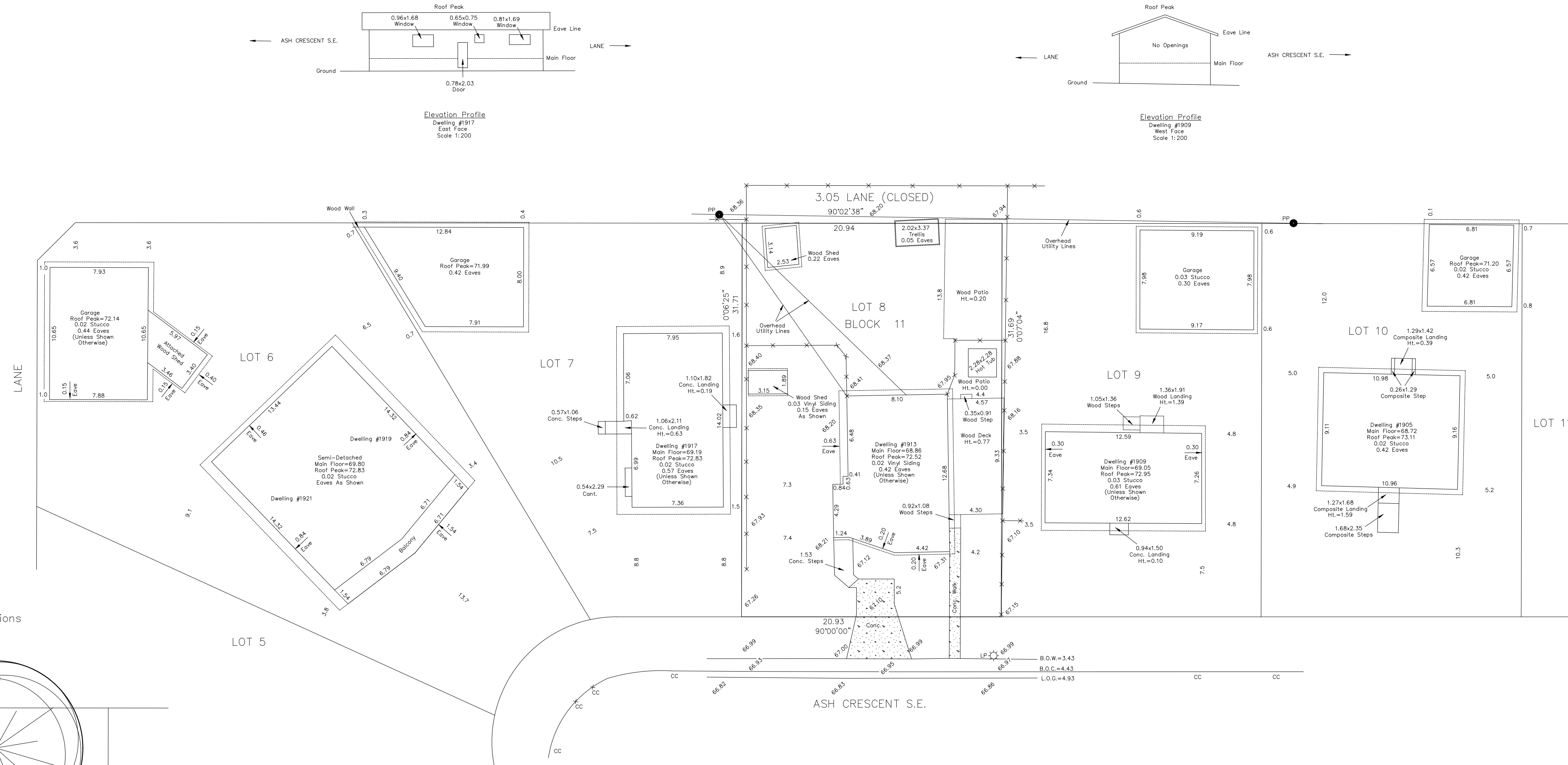
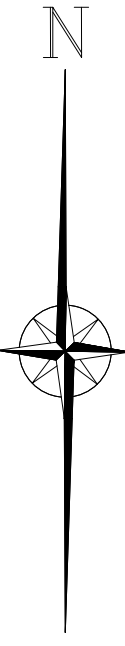
Legend:
A.S.C.M. DENOTES ALBERTA SURVEY CONTROL MARKER.
B.O.C. DENOTES BACK OF CURB.
B.O.W. DENOTES BACK OF WALK.
CB DENOTES CATCH BASIN.
CC DENOTES CURB CUT
C.M. DENOTES CHECK MEASURED.
C/L DENOTES CENTRE LINE.
Ha. DENOTES HECTARES.
L.O.G. DENOTES LIP OF GUTTER
LP DENOTES LAMP POLE
m DENOTES METRES.
M. DENOTES MERIDIAN.
Mkd. DENOTES MARKED.
PA DENOTES POLE ANCHOR.
PL DENOTES PLACED.
P/L DENOTES PROPERTY LINE.
Rad. DENOTES RADIAL.
Rge. DENOTES RANGE.
R/W DENOTES RIGHT-OF-WAY.
SEC. DENOTES SECTION.
SP DENOTES SIGN POST.
Twp. DENOTES TOWNSHIP.
TEST HOLE SHOWN THUS:
WATER VALVE SHOWN THUS:
POWER POLE SHOWN THUS:
POLE ANCHOR SHOWN THUS:
MANHOLE SHOWN THUS:
GAS VALVE SHOWN THUS:
FIRE HYDRANT SHOWN THUS:
LAMP POLE SHOWN THUS:
CONFEROUS TREE SHOWN THUS:
DECIDUOUS TREE SHOWN THUS:
FENCE IS SHOWN THUS:
OVERHEAD UTILITIES SHOWN THUS:

NOTES:
ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.
DISTANCES ON CURVES ARE ARC DISTANCES
ELEVATIONS ARE GEODETIC AND DERIVED FROM ASCM #169003
TITLE INFORMATION IS BASED ON CERTIFICATE OF TITLE No. 221 194 430
TITLE SEARCH DATED 23/09/22
PROPERTIES ARE SUBJECT TO THE FOLLOWING INSTRUMENTS:
-ZONING REGULATIONS INST. No. 771 147 064 (SUBJECT TO CALGARY INTERNATIONAL AIRPORT ZONING REGULATIONS)
-CAVEAT INST. No. 991 028 847 (ENCROACHMENT AGREEMENT)

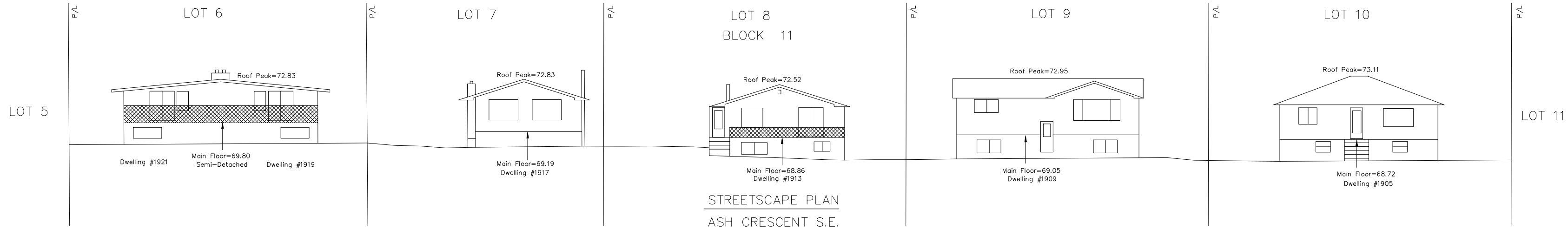
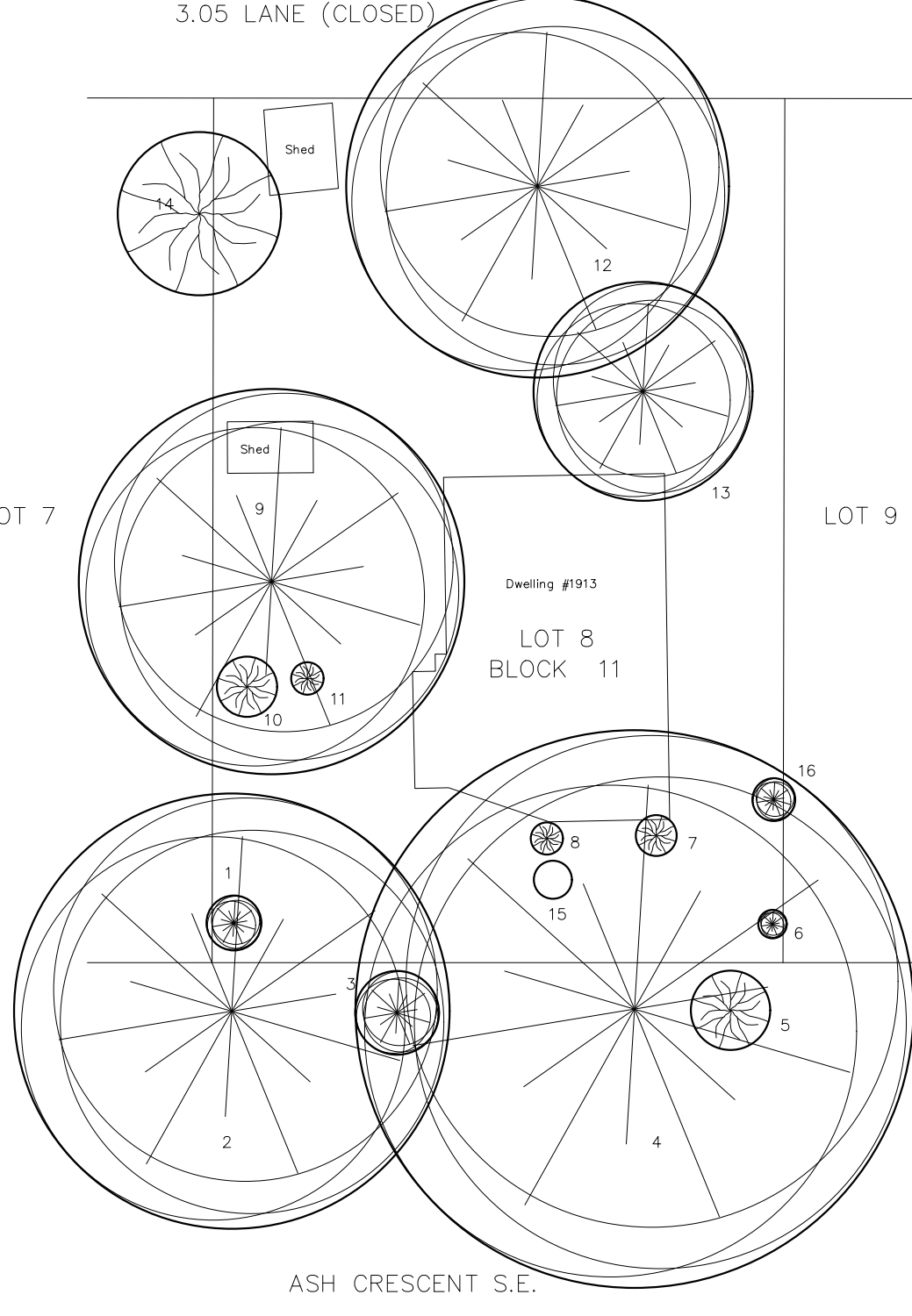
ALL UTILITIES ARE TO BE LOCATED IN THE FIELD BY THE CLIENT PRIOR TO CONSTRUCTION.
ELEVATIONS ARE SHOWN THUS: $\times 68.00 = 1056.63$ METRES (GEODETIC)

TREE DATA				
TREE	Type	Canopy	Height	Diameter
1	Coniferous	2	2	Clump.
2	Coniferous	16	14	0.63
3	Coniferous	3	3	0.27
4	Coniferous	20	14	0.58
5	Deciduous	3	13	0.24
6	Coniferous	1	2.5	Clump.
7	Deciduous	1.5	4	0.10
8	Deciduous	0.8	2.5	0.10
9	Coniferous	14	15	0.44
10	Deciduous	2.3	5	0.10
11	Deciduous	1	3	0.10
12	Coniferous	14	18	1.00
13	Coniferous	8	3	Clump.
14	Deciduous	6	7	0.90
15	Stump	-	-	1.37
16	Coniferous	1.5	4	0.15

DATE: SEPTEMBER 23, 2022
DATE OF SURVEY: SEPTEMBER 21, 2022
SURVEYOR'S INITIALS: TS/KH/YK
Jones Geomatics Ltd.
Alberta Land Surveyor
#20,1323-44th Ave. N.E., Calgary, Alberta T2E 6L5
Ph. (403) 230-0778 Fax (403) 230-0714
E-mail: jonesgeo@telus.net Job No. M11034-22



Detail
Showing Tree Locations
Scale 1:200



SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-
1913 - ASH CRESCENT S.E.CALGARY, ALBERTA
LOT 9; BLOCK 11; PLAN 4346 GL

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey.Positions of spot elevations are approximate.Distances are in metres and decimals thereof.

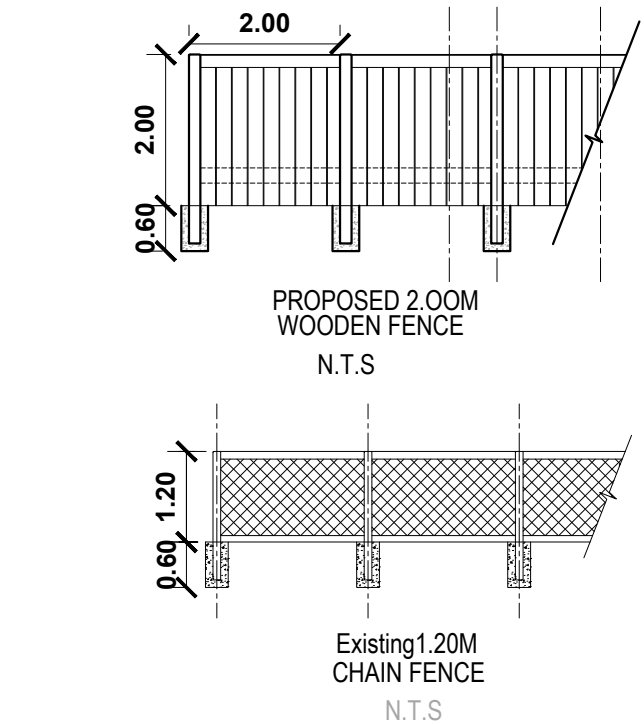
PROPOSED COVERAGE CALCULATION:
LOT AREA = 663.55 m²
TOTAL PROPOSED COVERAGE = 271.15 m² or 40.86%

PROJECT SETBACK REQUIREMENTS:

1. CALCULATED FRONT SETBACK = (A+ B)/2 - 1.5
= (8.82 + 7.51) / 2 - 1.5 = 6.67m
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF .6m INTO THE FRONT SETBACK AREA)
2. MINIMUM 3.0m FRONT SETBACK
4. MINIMUM 1.2m SIDEYARD SETBACK

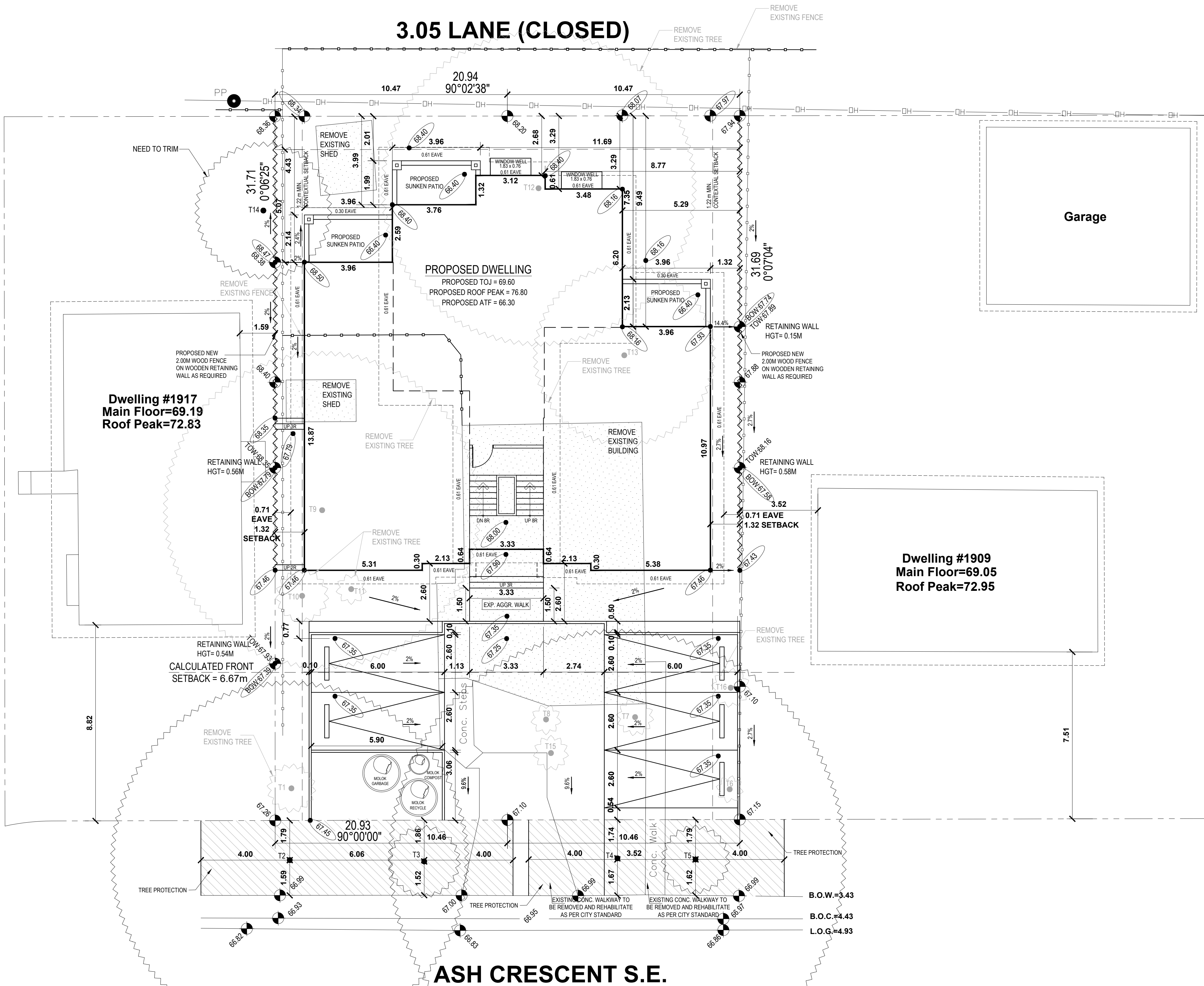
NOTE:

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- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.



LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		PROPOSED GRADES
	CANTILEVERS		REMOVE FENCE		CONCRETE
	SETBACK		UTILITY LINES WATER		BUILDING REMOVE
	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		PROPOSED NEW FENCE		UPPER CANT

Tree Schedule					
Tree No.	Species	Canopy (±m)	Height	Diameter	
1	Coniferous	2	2	Clump.	REMOVED
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15	Stump	-	-	1.37	REMOVED
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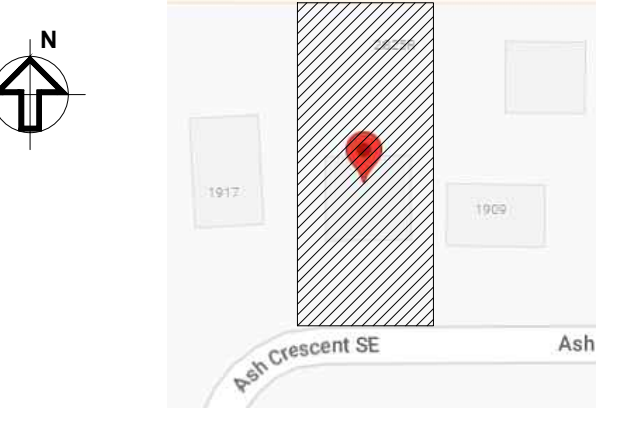


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KEY PLAN :



DRAWING SET :

DEVELOPMENT PERMIT SET

REVISION			
NO.	Date	Description	Chk'd By
ISSUES			
02	04/27/23	DEVELOPMENT PERMIT	E A
01	04/19/23	DEVELOPMENT PERMIT	E A
NO.	Date	Description	Chk'd By

PROJECT :

1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL

THE CLIENT :



DRAWING TITLE :

PROPOSED & EXISTING SITEPLAN

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/27/23
JOB NO.	DRAWING NO.	SCALE	
22-09091	A-002		
SHEET SIZE		REV. NO.	
36 X 24			

SITE - PLAN

SURVEY INFORMTION :-

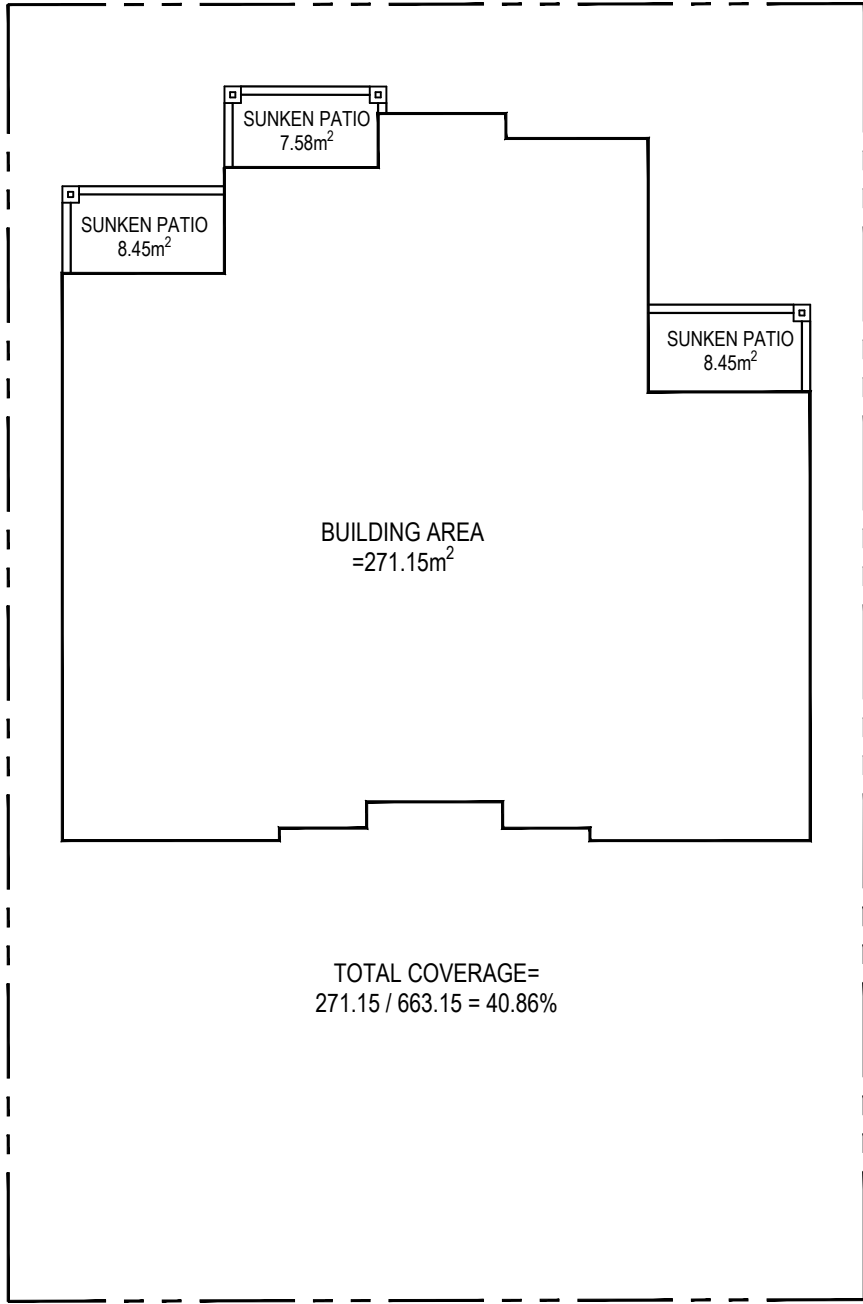
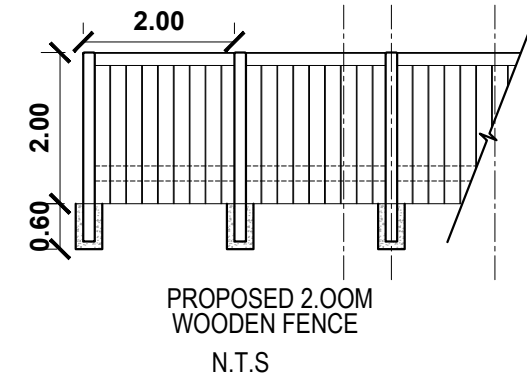
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LOT 9; BLOCK 11; PLAN 4346 GL

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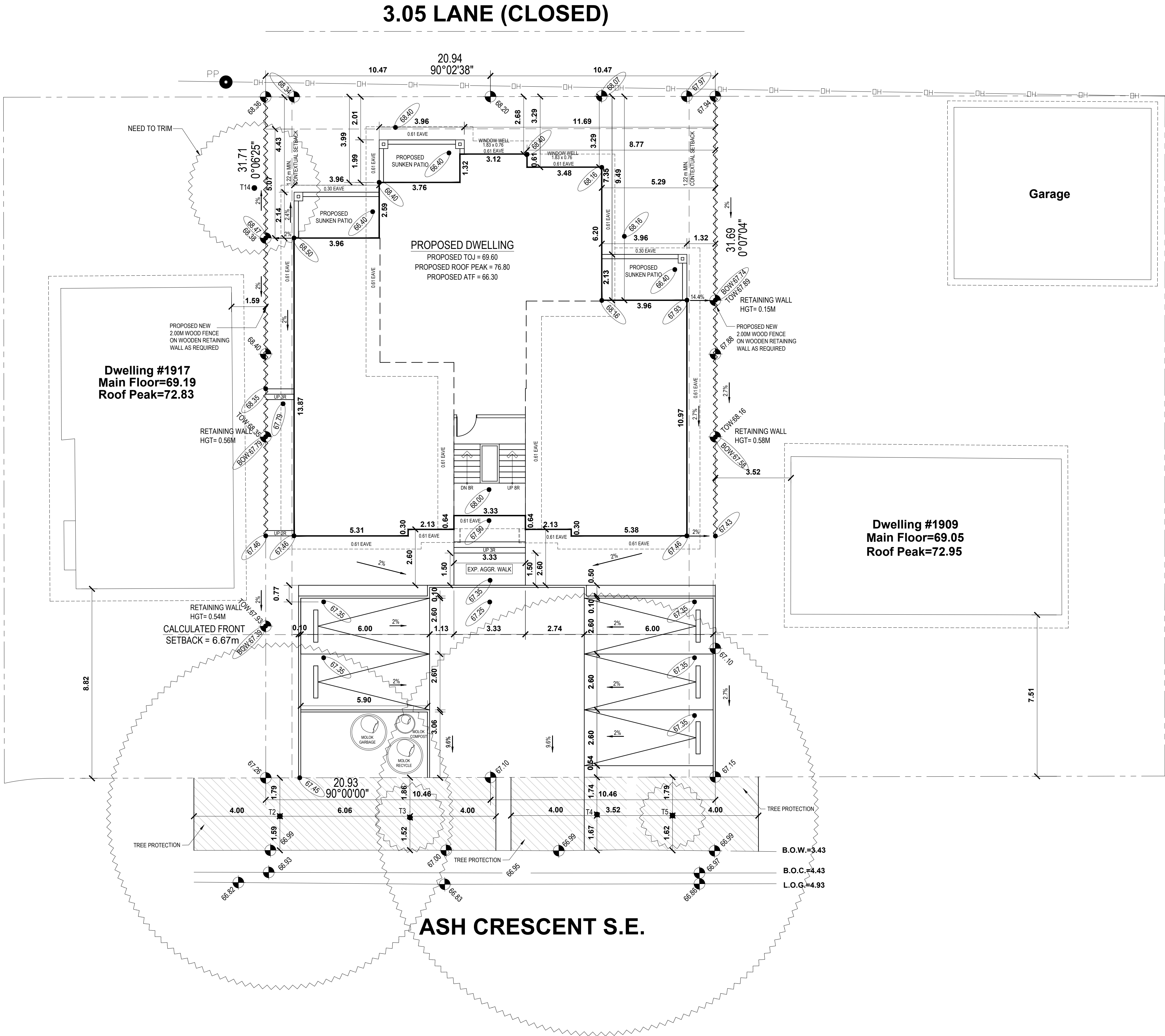
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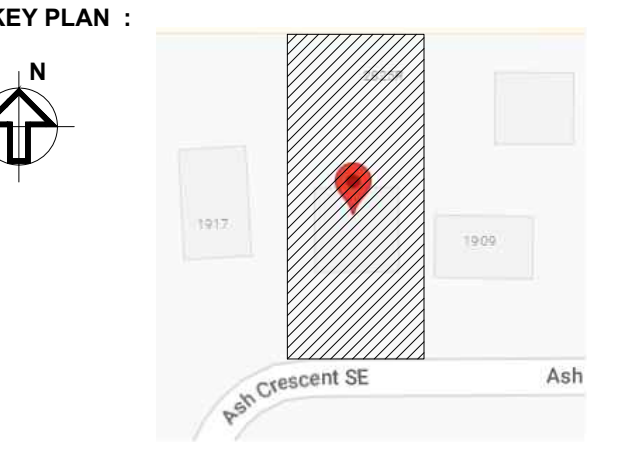
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	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		PROPOSED GRADES
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	EAVES		REMOVE EXISTING TREE		AREA OF TREE PROTECTION
	UTILITY LINES POWER		PROPOSED NEW FENCE		UPPER CANT

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DRAWING SET : DEVELOPMENT PERMIT SET

REVISION		
NO.	Date	Description
02	04/27/23	DEVELOPMENT PERMIT
01	04/19/23	DEVELOPMENT PERMIT

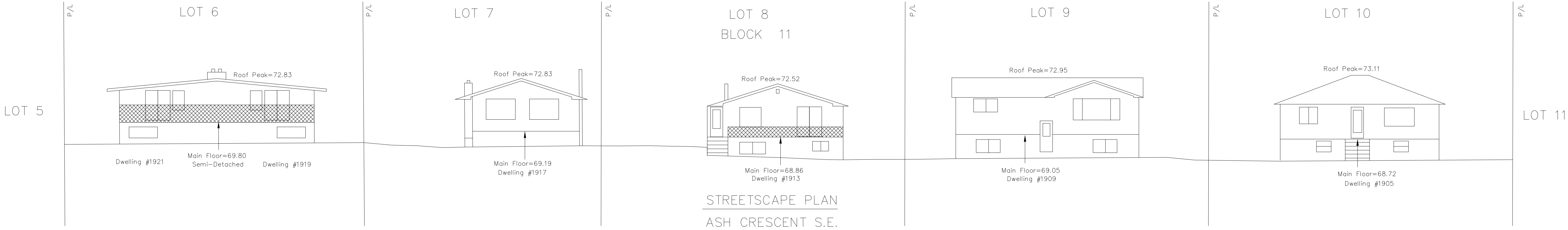
ISSUES		
NO.	Date	Description
02	04/27/23	DEVELOPMENT PERMIT
01	04/19/23	DEVELOPMENT PERMIT

PROJECT :
**1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL**



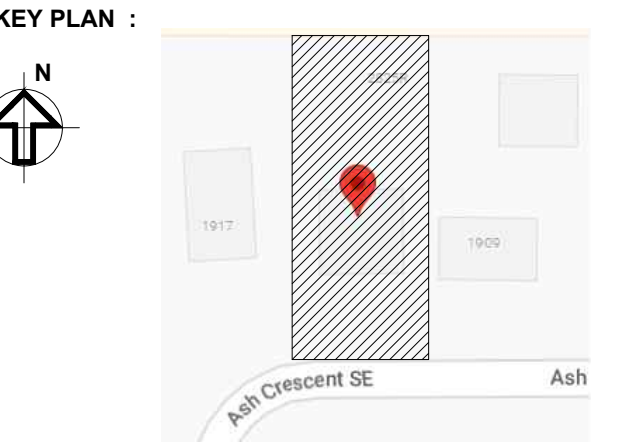
DRAWING TITLE : PROPOSED SITEPLAN

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/27/23
JOB NO.	DRAWING NO.	SCALE	
22-09091	A-003	REV. NO.	
SHEET SIZE	36 X 24		



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DRAWING SET :

DEVELOPMENT PERMIT SET

R E V I S I O N			
NO.	Date	Description	Chk'd By
I S S U E S			
02	04/27/23	DEVELOPMENT PERMIT	E.A
01	04/19/23	DEVELOPMENT PERMIT	E.A
NO.	Date	Description	Chk'd By

PROJECT :

**1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL**

THE CLIENT :



DRAWING TITLE :

**PROPOSED
STREETSCAPE**

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/27/23
JOB NO.	DRAWING NO.		SCALE
22-09091	A-004		
SHEET SIZE	REV. NO.		
36 X 24			

LANDSCAPE CALCULATIONS:

SOFTSCAPE:

- SOD = 60.07 m² or 9.05% (27.63% OF LANDSCAPE AREA)- LOW IRRIGATION SYSTEM
- BARKCHIP = 38.84 m² or 5.85%

HARDSCAPE:

- CONCRETE WALKWAYS = 107.35 m² or 16.18% (49.14% OF LANDSCAPE AREA)
- CONCRETE LANDINGS = 5.81 m² or 0.88%

TOTAL LANDSCAPE AREA = 218.47 m² or 32.92%

- PARKING PAVEMENT (ASPHALT) = 143.381 m² or 32.22%
- BUILDING AREA =295.63 m² or 66.42%
- CURB = 5.21 m² or 1.17%

PLANTING REQUIREMENTS / LANDSCAPING RULES:

MINIMUM LANDSCAPE AREA REDUCED TO 30% (AS PER ENHANCED LANDSCAPING AND LOW WATER LANDSCAPING OPTIONS):

- 1 TREE & 2 SHRUBS / 25 SQ. M. OF LANDSCAPE AREA PROVIDED
- MINIMUM 50% LARGE TO SMALL TREES (DECIDUOUS & CONIFEROUS)
- MINIMUM RATIO OF 1/3 CONIFEROUS TO DECIDUOUS TREES
- MINIMUM SIZE OF SMALL DECIDUOUS: 65mm
- MINIMUM SIZE OF LARGE DECIDUOUS: 85mm
- MINIMUM HEIGHT OF SMALL CONIFEROUS: 3.0m OR 10'-0"
- MINIMUM HEIGHT OF LARGE CONIFEROUS: 4.0m OR 13'-1"

REQUIRED TREES & SHRUBS = (LANDSCAPE AREA) / 25 = 218.47/ 25 = 8.74 = 9 TREES & 18 SHRUBS

- PROVIDED TREES AS FOLLOWING:
- 2 NO. LARGE DECIDUOUS MIN. CALIPER = 85 mm
- 2 NO. SMALL DECIDUOUS MIN. CALIPER = 65 mm
- 3 NO. LARGE CONIFEROUS MIN HEIGHT = 4.0m OR 13'-1"
- 2 NO. SMALL CONIFEROUS MIN HEIGHT = 3.0m OR 10'-0"

- 2 NO. OF LOW WATER DECIDUOUS TREES - min 85mm caliper (Prunus padus commutate).
- 2 NO. OF DECIDUOUS TREES - 4m height at planting (Guardian Columnnar Aspen)
- 2 NO. OF LOW WATER CONIFEROUS - 3m height at planting (PicePungens)
- 3 NO. OF LOW WATER CONIFEROUS - 4m height at planting (Pinus contorta var. latifolia)
- 6 NO. OF CONIFEROUS SHRUBS - 0.60m height and 0.60m caliper at planting (Calgary Carpet Juniper)
- 9 NO. OF LOW WATER SHRUBS - 0.60m height and 0.60m caliper at planting (Amelanchier alnifolia)
- 3 NO. OF CONIFEROUS SHRUBS - 0.60m height and 0.60m caliper at planting (pinus mugo 'var. pumilio')

LOW WATER IRRIGATION SYSTEM TO BE USED

AREA CALCULATIONS:

LOT AREA = 663.55 m²
LOT TYPE : M-CG
LOT COVERAGE
-PROPOSED BUILDING = 295.63 m²
-PROPOSED GARAGE BUILDING = N/A
TOTAL PROPOSED COVERAGE: = 295.63 m² (44.58% OF LOT AREA)

OTHER AREAS NOT INCLUDED IN LANDSCAPE CALCULATIONS:

-PAVED PARKING AREA = 144.83 m² (21.53% OF LOT AREA)
-CURB = 4.61 m² (0.69% OF LOT AREA)
= 445.07 m² (67.07% OF LOT AREA)

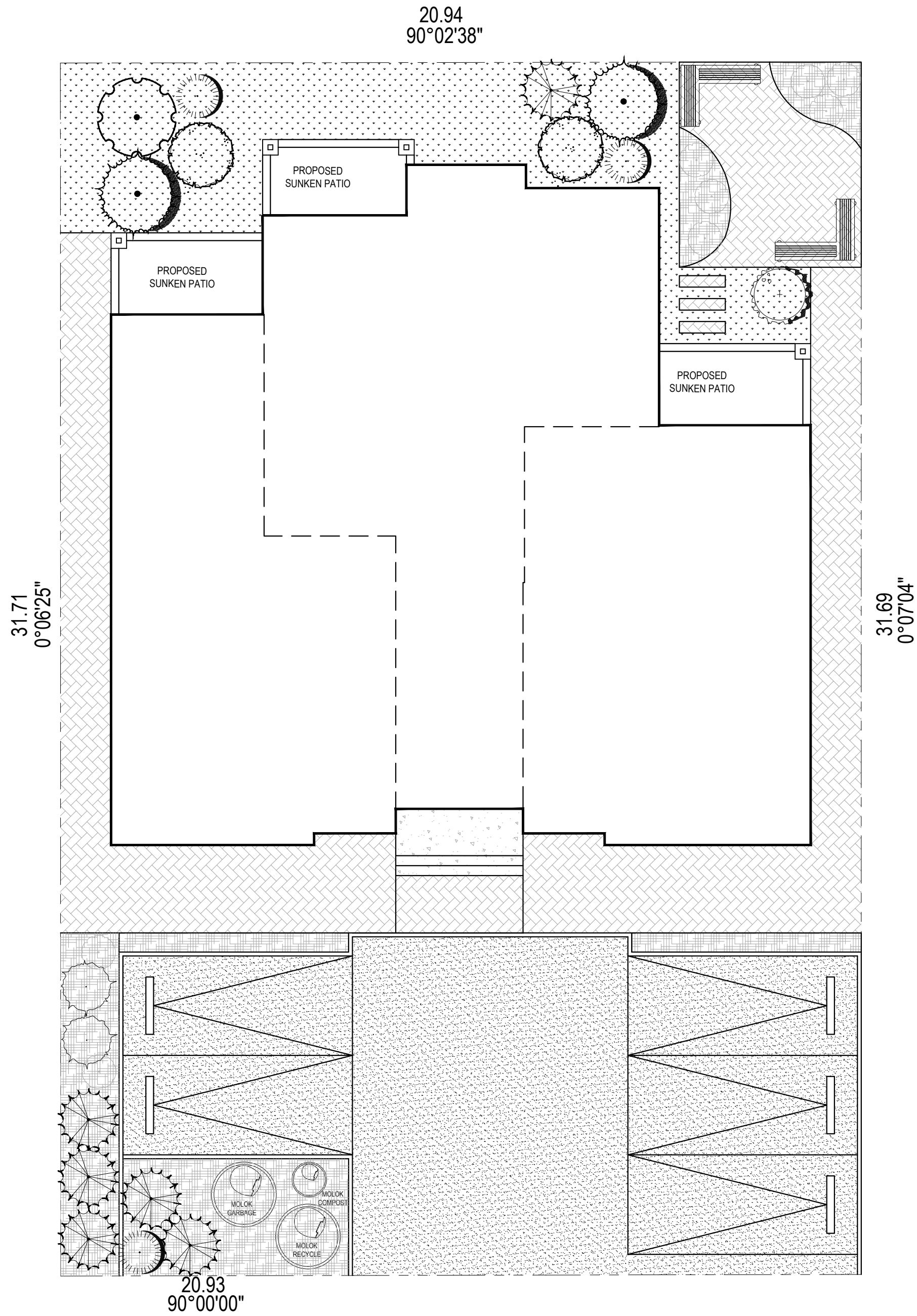
LANDSCAPE CALCULATIONS:
PROPOSED AREAS:
BUILDINGS = 295.63 m²
HARDSCAPE = 113.16 m²
SOFTSCAPE = 98.91 m²

CONSIDERATIONS FOR LANDSCAPED AREA REDUCTIONS:

P6-D1-555 ENHANCED LANDSCAPING
P6-D1-556 LOW WATER LANDSCAPING
STREER ORIENTED LANDSCAPE

MAX. ALLOWED AREA FOR REDUCTION FROM LANDSCAPE (BYLAW) = 10%

3.05 LANE (CLOSED)

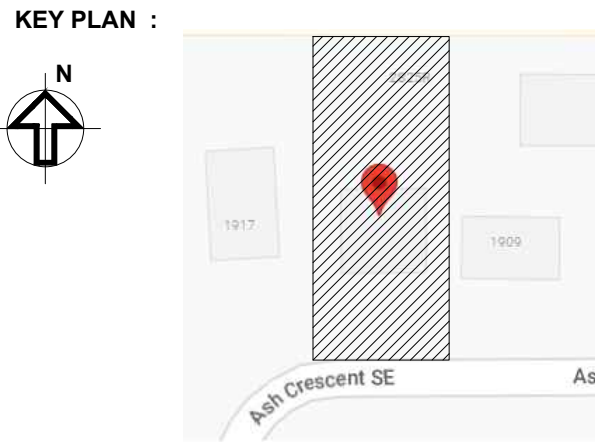


ASH CRESCENT S.E.



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DRAWING SET :
DEVELOPMENT PERMIT SET

REVISION			
NO.	Date	Description	Chk'd By
ISSUES			
02	04/27/23	DEVELOPMENT PERMIT	E.A
01	04/19/23	DEVELOPMENT PERMIT	E.A
NO.	Date	Description	Chk'd By

PROJECT :

1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL

THE CLIENT :

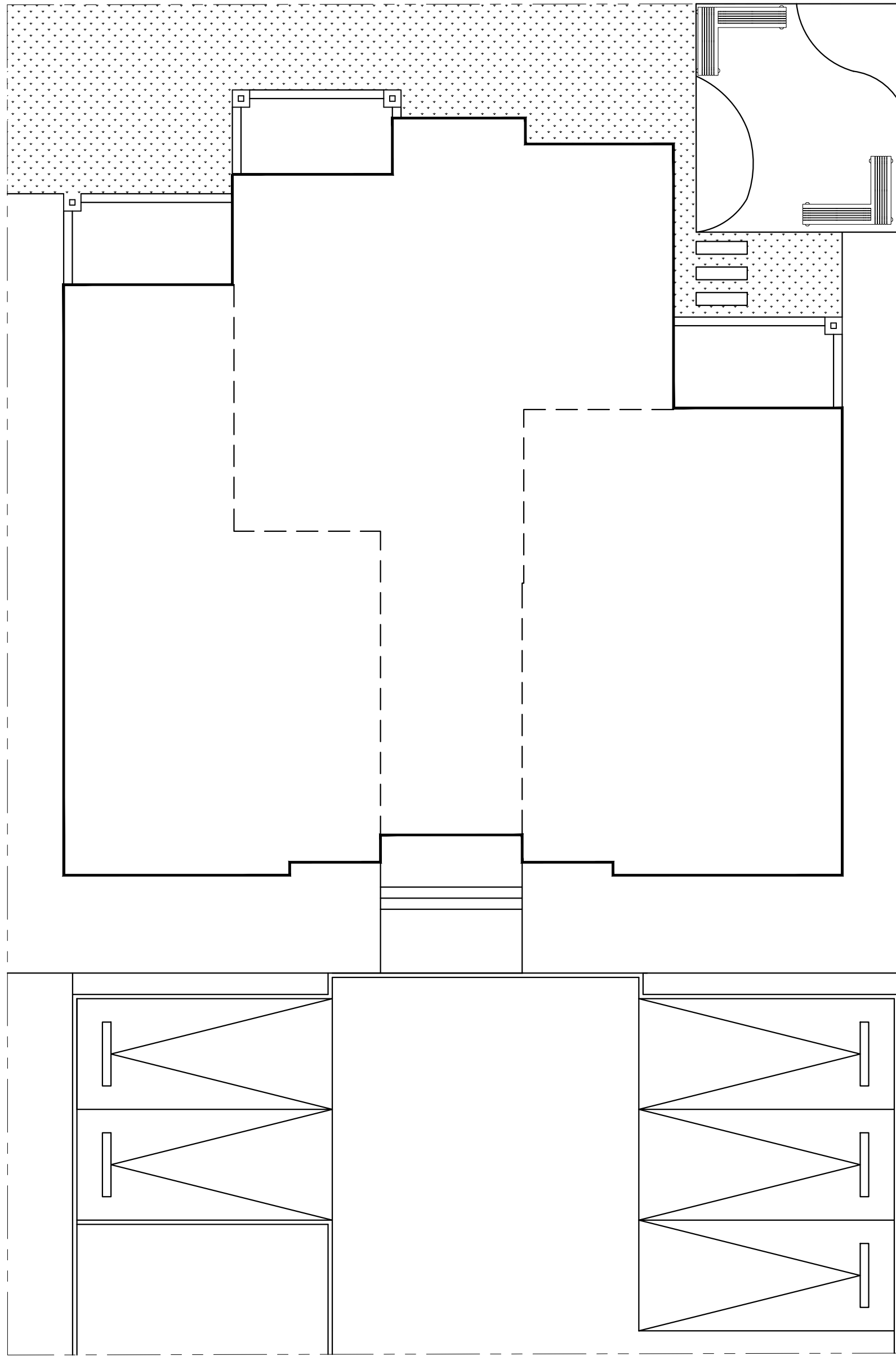


DRAWING TITLE :

LANDSCAPE

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/27/23
JOB NO.	DRAWING NO.		SCALE
22-09091	A-005		1:100
SHEET SIZE			REV. NO.
36 X 24			

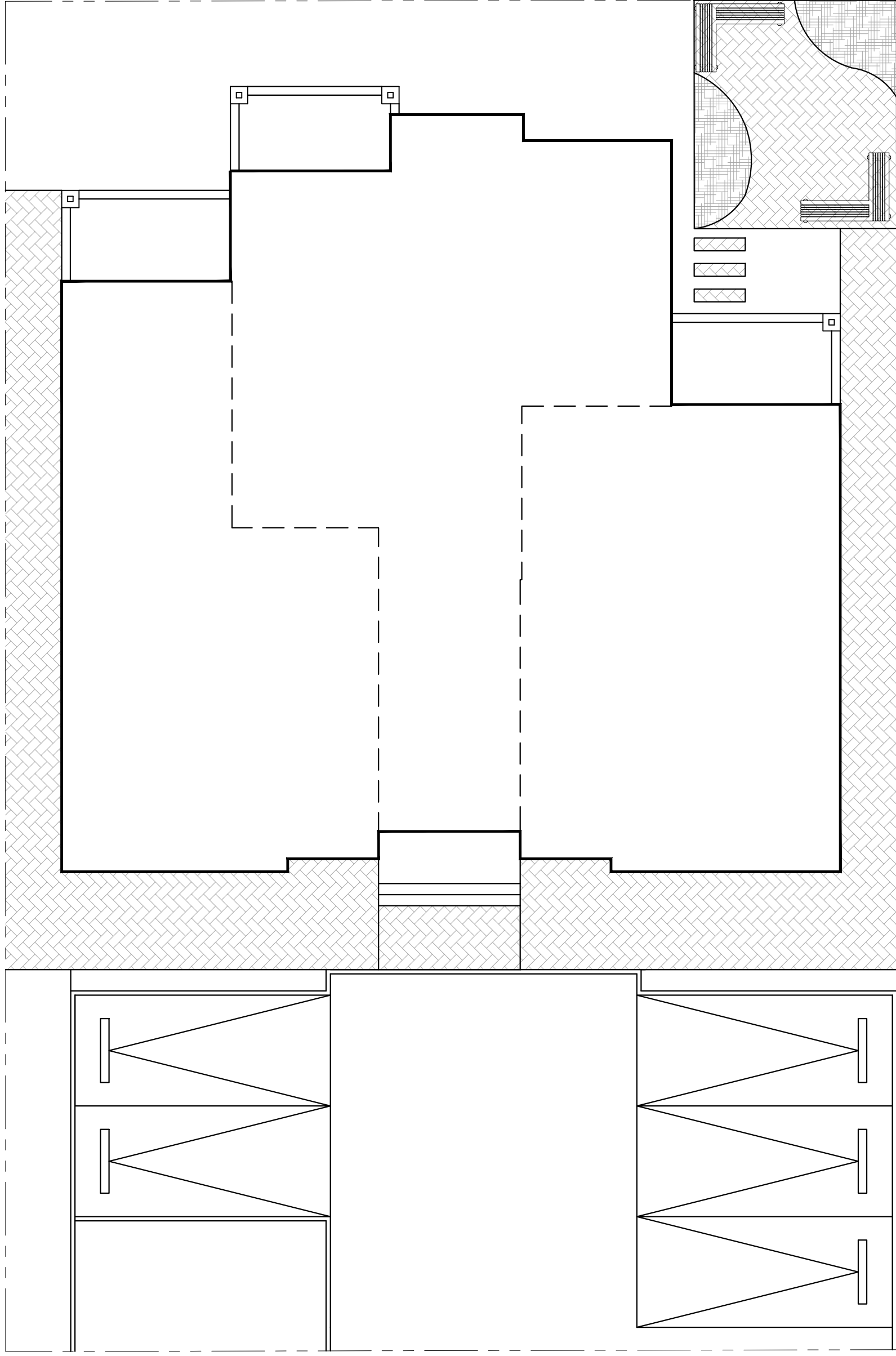
3.05 LANE (CLOSED)



ASH CRESCENT S.E.

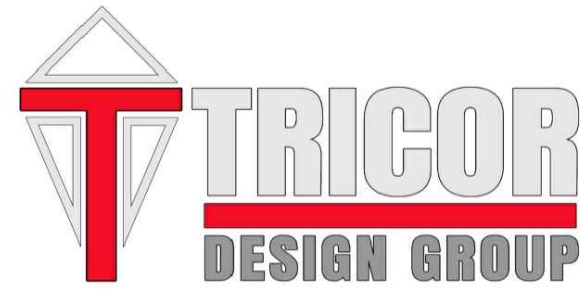
 SOFT LANDSCAPE SOD = 60.07 m² or 9.05% (27.63% OF LANDSCAPE AREA)

3.05 LANE (CLOSED)



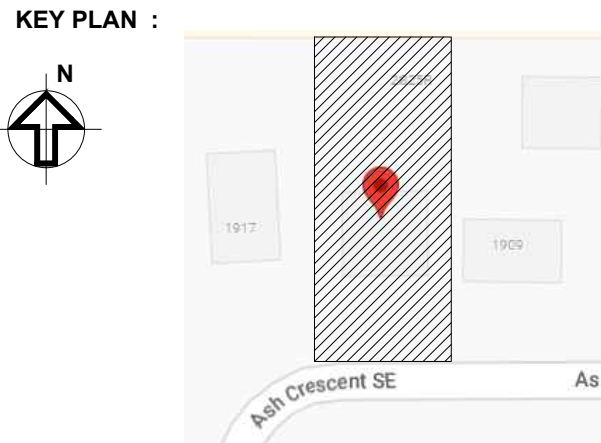
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 WALKWAY=107.35 m² or 16.18%or (49.14% OF LANDSCAPE AREA)



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DRAWING SET :

DEVELOPMENT PERMIT SET

R E V I S I O N			
NO.	Date	Description	Chk'd By
I S S U E S			
01	04/19/23	DEVELOPMENT PERMIT	E.A
NO.	Date	Description	Chk'd By

PROJECT :

1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL

THE CLIENT :

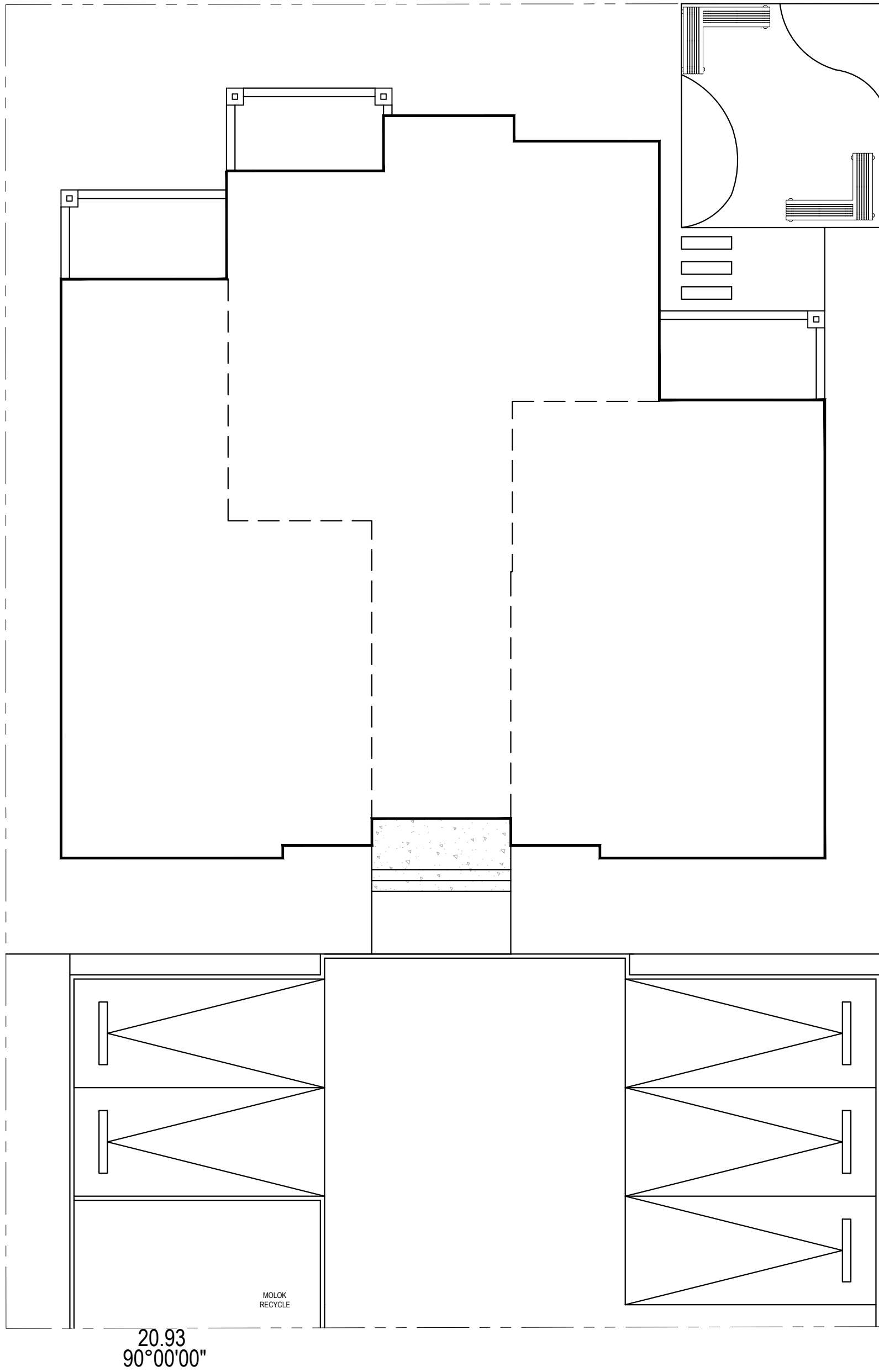
GREEN CEDAR
HOMES

DRAWING TITLE :

LANDSCAPE
BREAKDOWNS

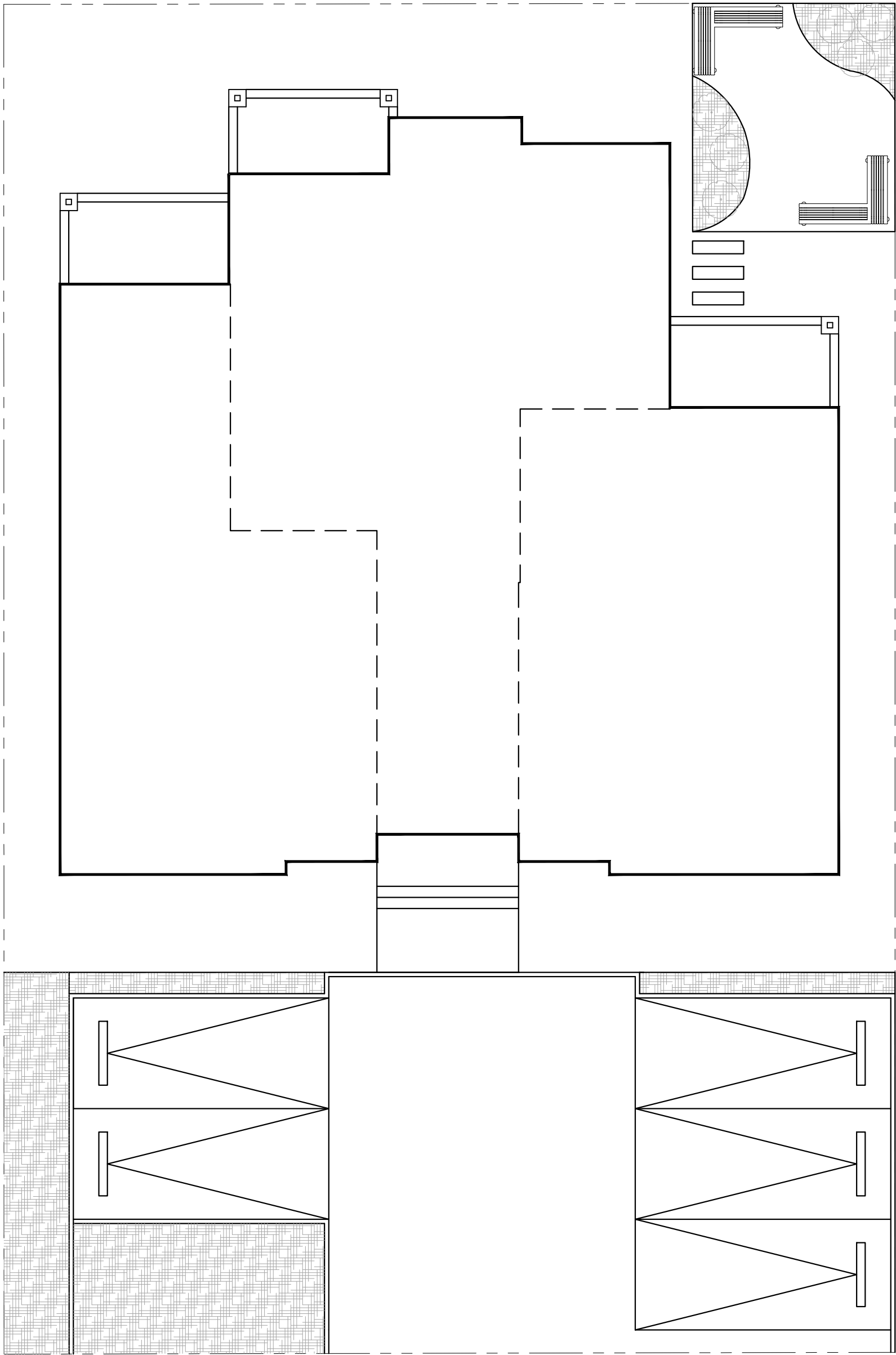
DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/19/23
JOB NO.	DRAWING NO.		SCALE
22-09091	A-006		1:100
SHEET SIZE			REV. NO.
36 X 24			

3.05 LANE (CLOSED)

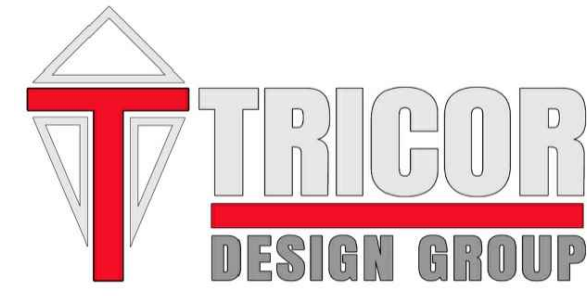


CONCRETE LANDINGS = 5.81 m² or 0.88%

3.05 LANE (CLOSED)

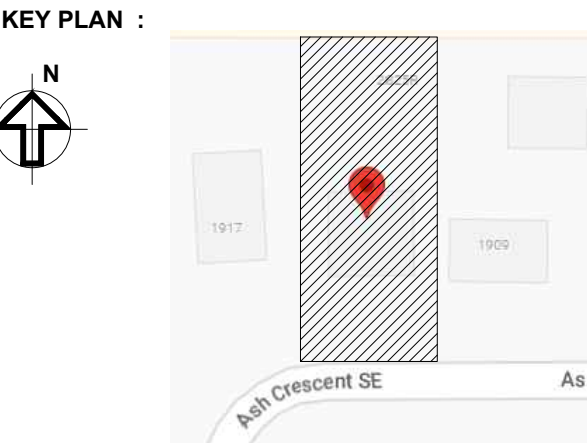


SOFT LANDSCAPE MULCH = 38.84 m² or 5.85% or (17.78% of LANDSCAPE AREA)



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DRAWING SET :

DEVELOPMENT PERMIT SET

R E V I S I O N			
NO.	Date	Description	Chk'd By
I S S U E S			
01	04/19/23	DEVELOPMENT PERMIT	E.A
NO.	Date	Description	Chk'd By

PROJECT :

1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL

THE CLIENT :

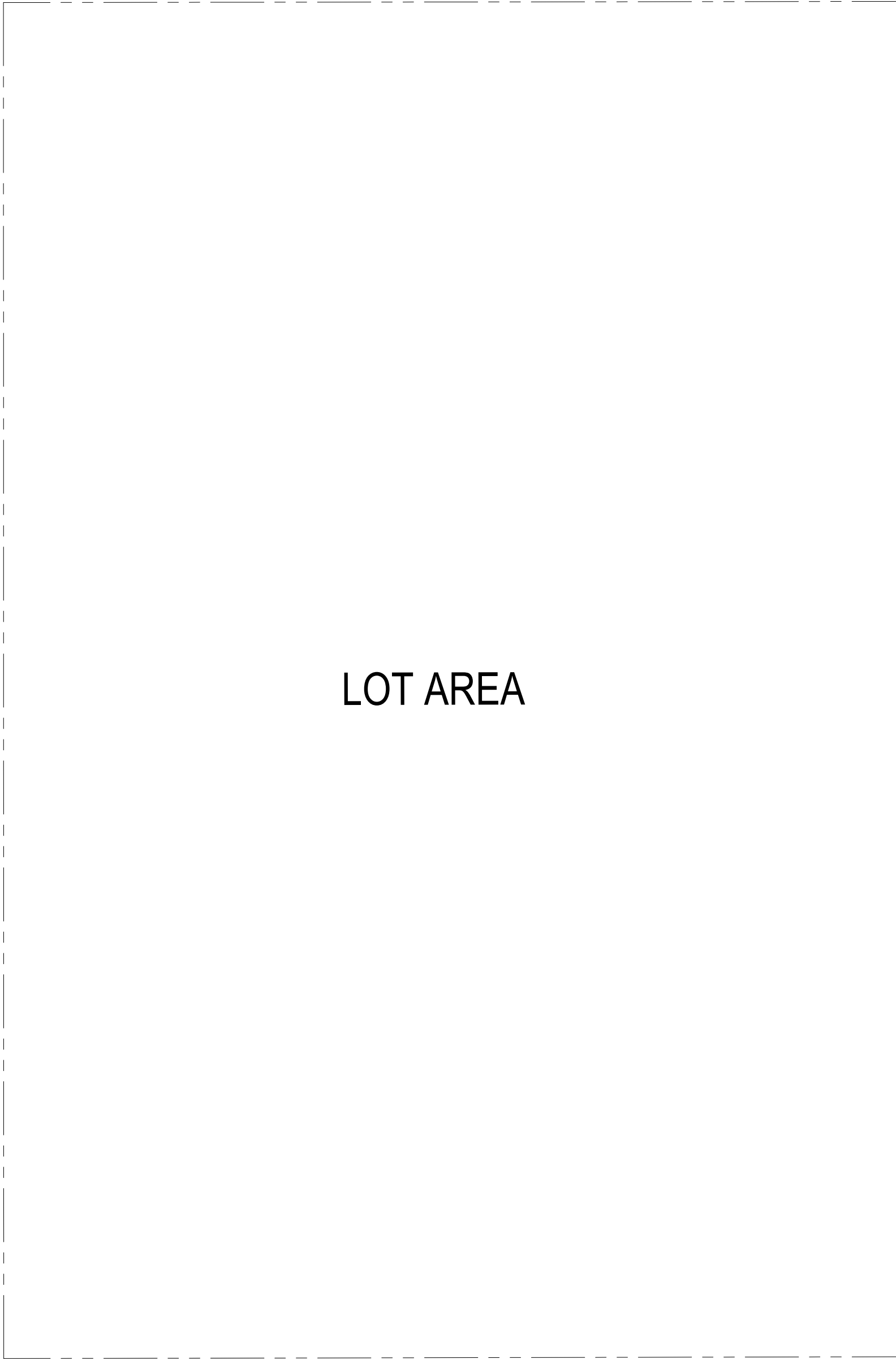
GREEN CEDAR
HOMES

DRAWING TITLE :

LANDSCAPE
BREAKDOWNS (2)

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/19/23
JOB NO.	DRAWING NO.	SCALE	
22-09091	A-007	1:100	
SHEET SIZE	REV. NO.		
36 X 24			

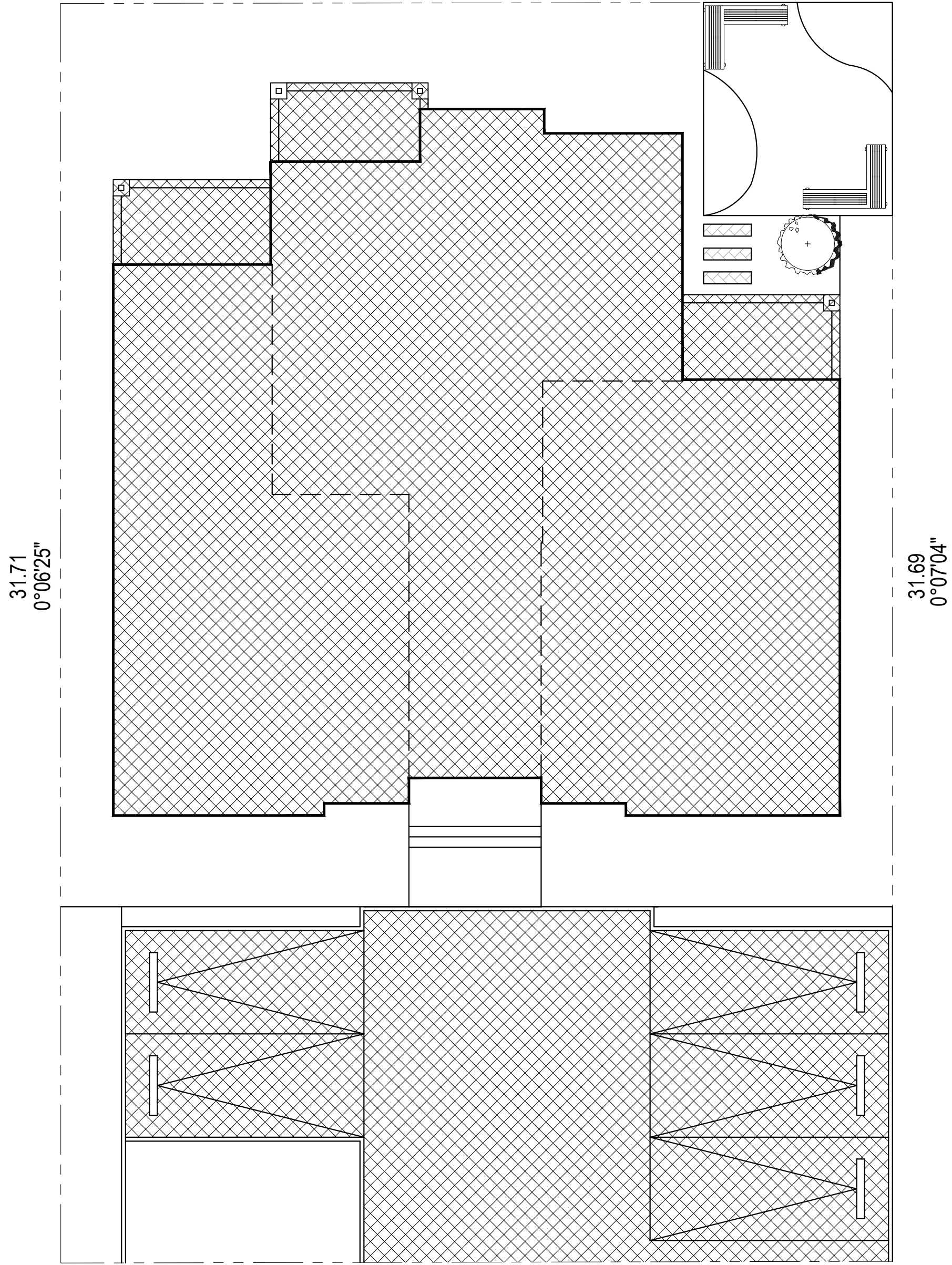
3.05 LANE (CLOSED)



ASH CRESCENT S.E.

LOT AREA = 663.55 m²

3.05 LANE (CLOSED)



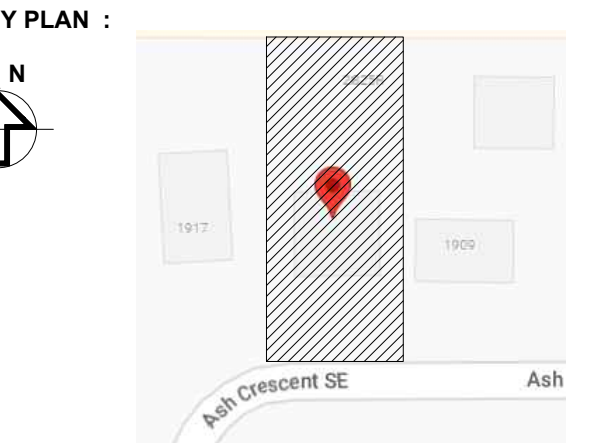
ASH CRESCENT S.E.

PROPOSED DWELLING COVERAGE = 295.63m² OR (44.58%)
PARKING PAVEMENT COVERAGE = 143.38 m² OR (21.61%)



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DRAWING SET :
DEVELOPMENT PERMIT SET

R E V I S I O N			
NO.	Date	Description	Chk'd By

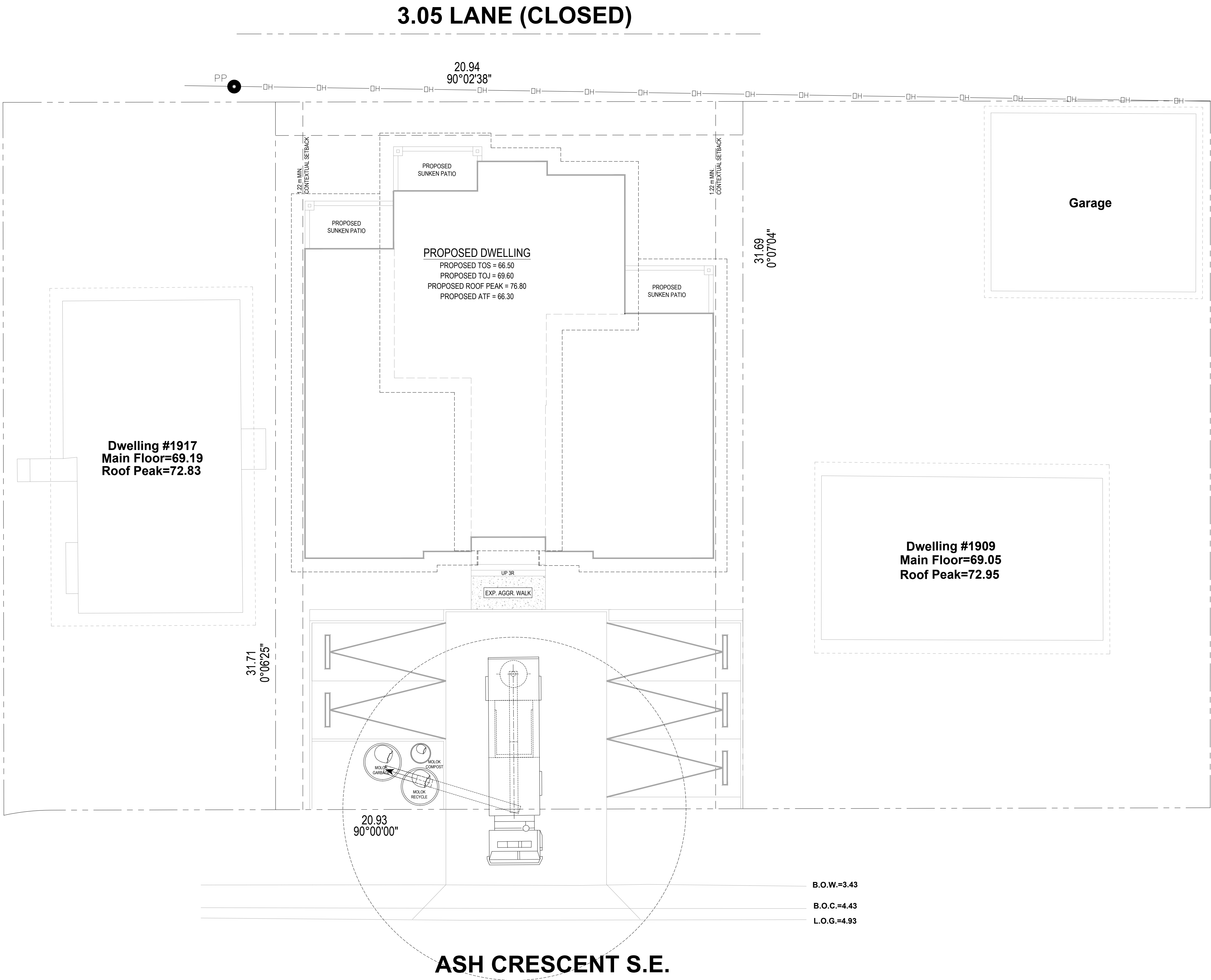
I S S U E S			
01	04/19/23	DEVELOPMENT PERMIT	E.A
NO.	Date	Description	Chk'd By

PROJECT :
**1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL**

THE CLIENT :
**GREEN CEDAR
HOMES**

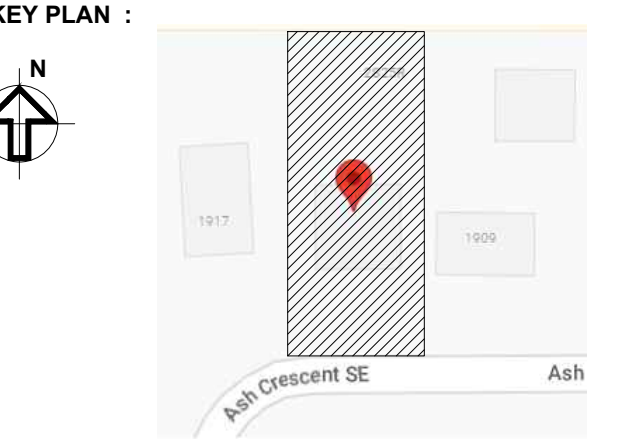
DRAWING TITLE :
**LANDSCAPE
BREAKDOWNS (3)**

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/19/23
JOB NO.	DRAWING NO.	SCALE	
22-09091	A-008	1:100	
SHEET SIZE	REV. NO.		
36 X 24			



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DRAWING SET :

DEVELOPMENT PERMIT SET

R E V I S I O N			
NO.	Date	Description	Chk'd By

I S S U E S			
02	04/27/23	DEVELOPMENT PERMIT	E.A
01	04/19/23	DEVELOPMENT PERMIT	E.A
NO.	Date	Description	Chk'd By

PROJECT :

**1913 - ASH CRESCENT S.E.
LOT 9; BLOCK 11; PLAN
4346 GL**

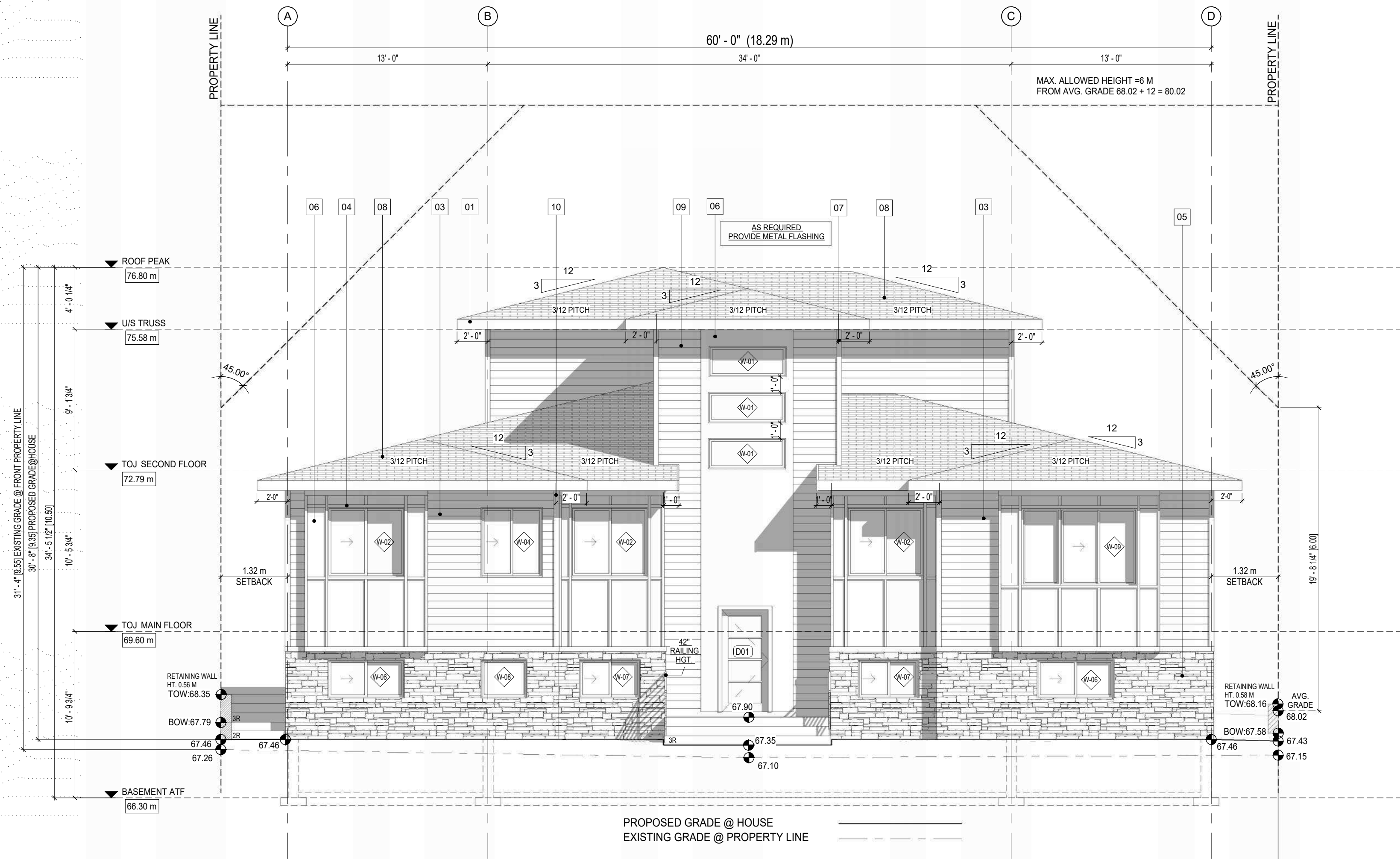
THE CLIENT :



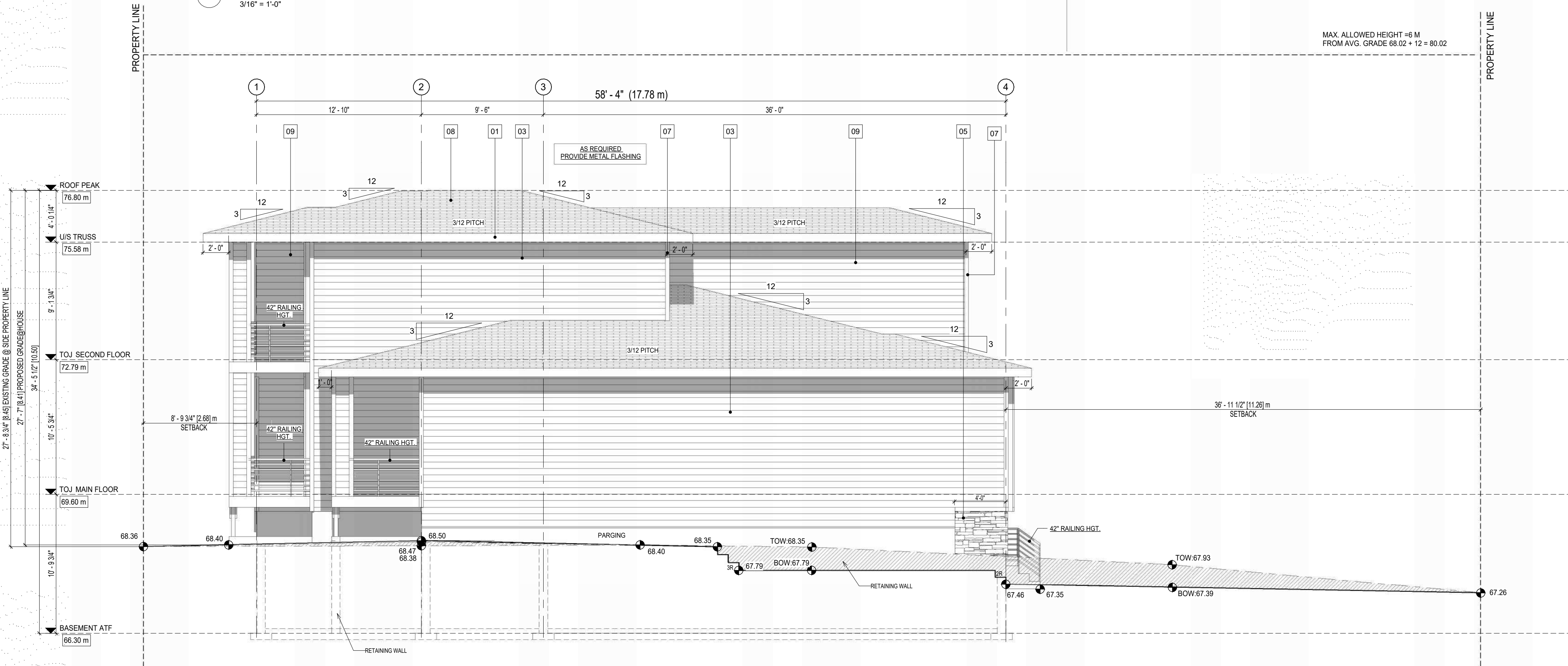
DRAWING TITLE :

GARBAGE COLLECTION

DRAWN BY	CHECKER	APPROVED BY	DATE(M/D/Y)
G.K	E.A	-	04/27/23
JOB NO.	DRAWING NO.	SCALE	
22-09091	A-009	1:100	
SHEET SIZE	REV. NO.		
36 X 24			



1 PROPOSED SOUTH (FRONT) ELEVATION
3/16" = 1'-0"



2 PROPOSED WEST (LEFT) ELEVATION
3/16" = 1'-0"

TRC-Window Schedule		
Type Mark	Width	Height
W-01	5' - 0"	2' - 0"
W-06	5' - 0"	2' - 6"
W-07	4' - 0"	2' - 6"
W-08	3' - 0"	2' - 6"
W-02	5' - 0"	4' - 6"
W-04	4' - 0"	4' - 6"
W-03	5' - 0"	5' - 0"
W-05	5' - 0"	5' - 0"
W-09	7' - 6"	5' - 0"
W-10	2' - 6"	5' - 0"

Material legend	
Material: Mark	Material: Name
01	PRE-FINISHED METAL FASCIA
02	STUCCO CLADDING
03	HORIZONTAL SIDING - VINYL (LIGHT)
04	4" TRIM
05	EXTERIOR MANUFACTURED STONE VENEER
06	PANELS
07	CORNER BOARD 4" (DARK)
08	Asphalt Shingle
09	HORIZONTAL SIDING - VINYL (DARK)

DESIGNED BY :



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KEY PLAN :



DRAWING SET :

DEVELOPMENT PERMIT SET

ISSUES

No.	Date	Description	Chk'd By
1	04/19/2023	DEVELOPMENT PERMIT SET	EA
2	04/27/2023	DEVELOPMENT PERMIT SET	EA

REVISION

ADDRESS:

**1913 - ASH CRESCENT
S.E., LOT 9; BLOCK 11; PLAN
4346 GL , CALGARY,
ALBERTA**

THE CLIENT :

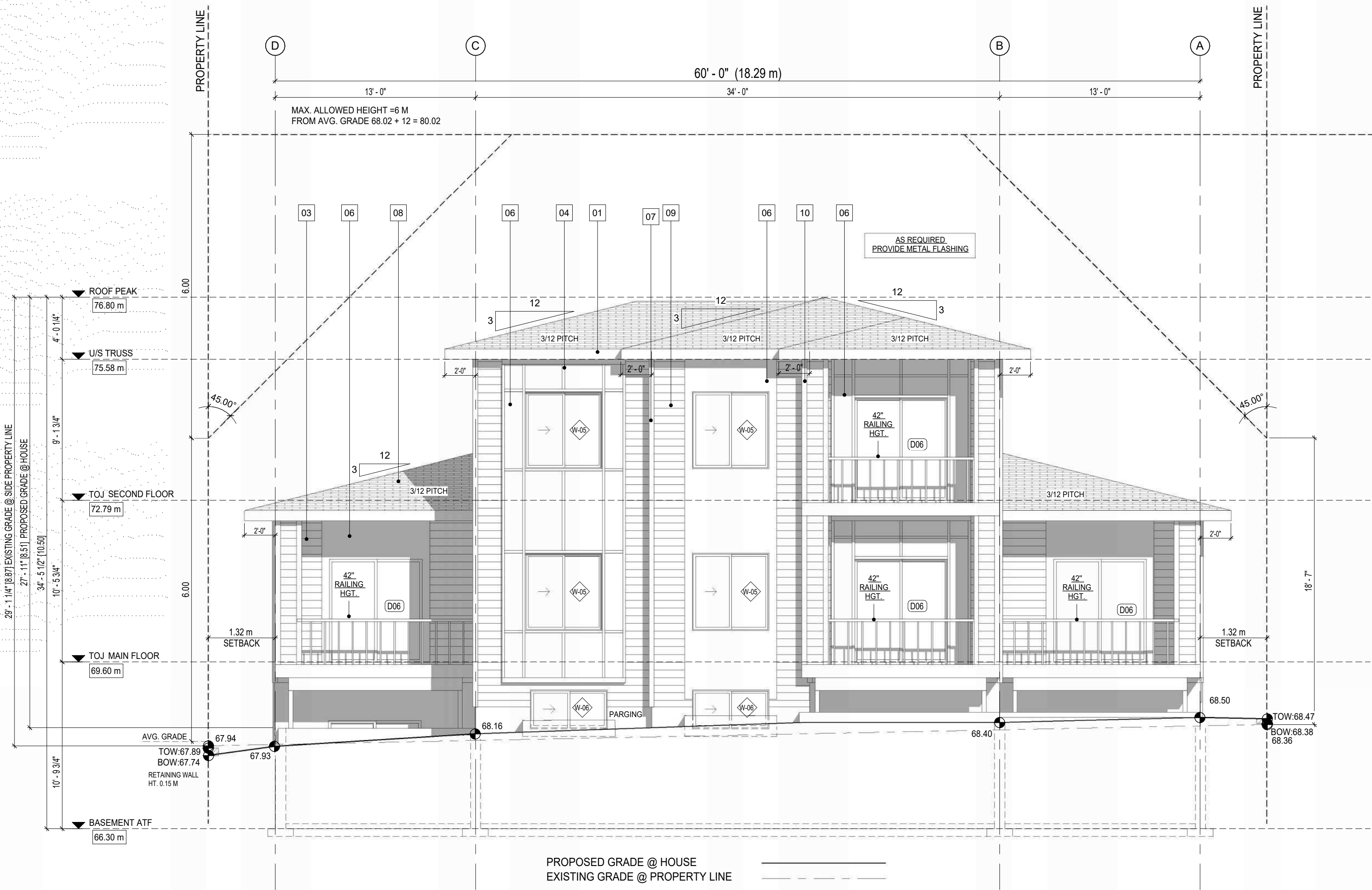


DRAWING TITLE :

PROPOSED FRONT & RIGHT ELEVATIONS

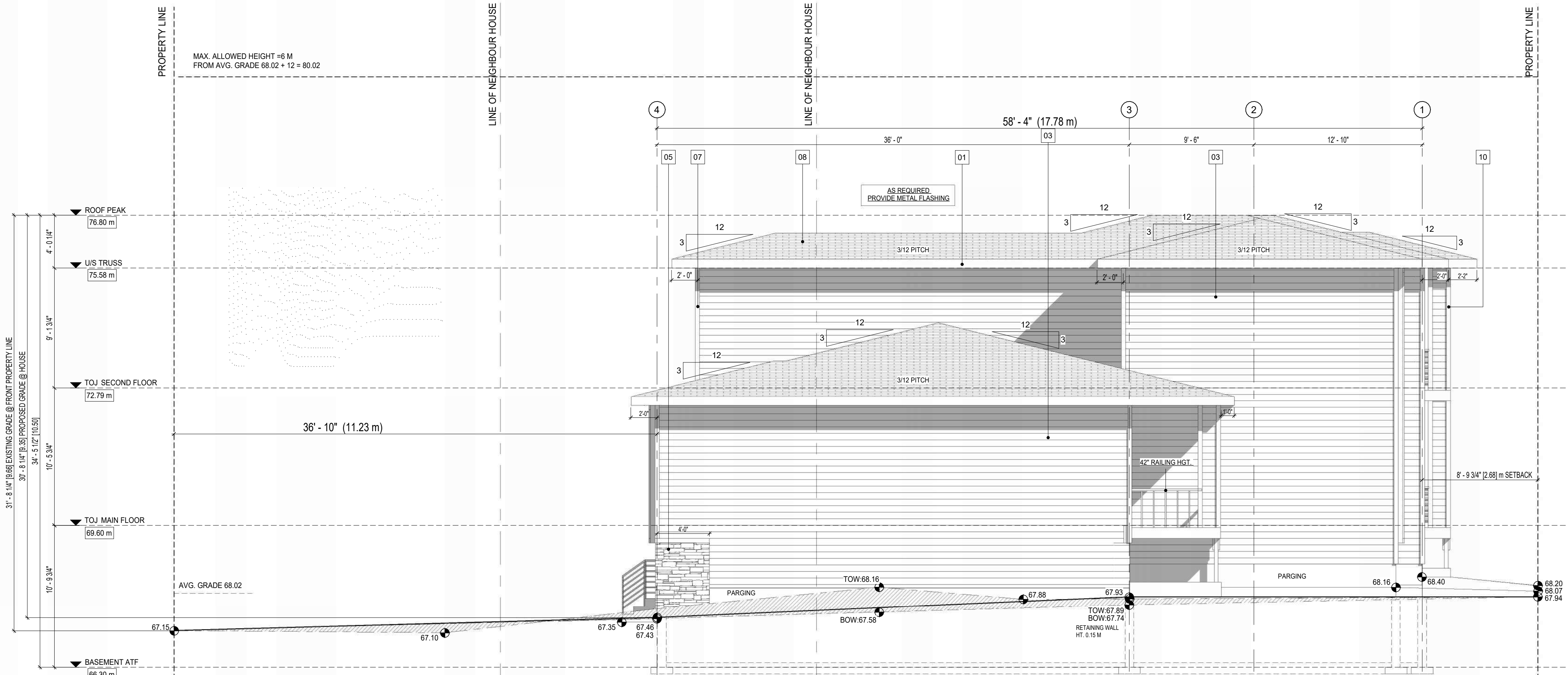
DRAWN BY	CHECKER	APPROVED BY	DATE(M-D-Y)
Author	Checker	Approver	04/27/2023
JOB NO.	DRAWING NO.	SCALE	
22-09091		3/16" = 1'-0"	
SHEET SIZE		REV. NO.	
36 X 24			

A201



1 PROPOSED NORTH (REAR) ELEVATION

3/16" = 1'-0"



2 PROPOSED EAST (RIGHT) ELEVATION

3/16" = 1'-0"

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE

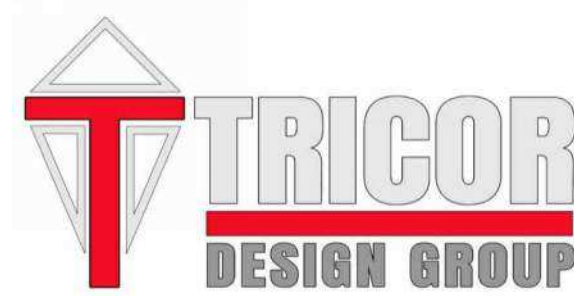
TRC-Window Schedule		
Type Mark	Width	Height

W-01	5' - 0"	2' - 0"
W-06	5' - 0"	2' - 6"
W-07	4' - 0"	2' - 6"
W-08	3' - 0"	2' - 6"
W-02	5' - 0"	4' - 6"
W-04	4' - 0"	4' - 6"
W-03	5' - 0"	5' - 0"
W-05	5' - 0"	5' - 0"
W-09	7' - 6"	5' - 0"
W-10	2' - 6"	5' - 0"

Material legend	
Material: Mark	Material: Name

01	PRE-FINISHED METAL FASCIA
02	STUCCO CLADDING
03	HORIZONTAL SIDING - VINYL (LIGHT)
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06	PANELS
07	CORNER BOARD 4" (DARK)
08	Asphalt Shingle
09	HORIZONTAL SIDING - VINYL (DARK)

DESIGNED BY :



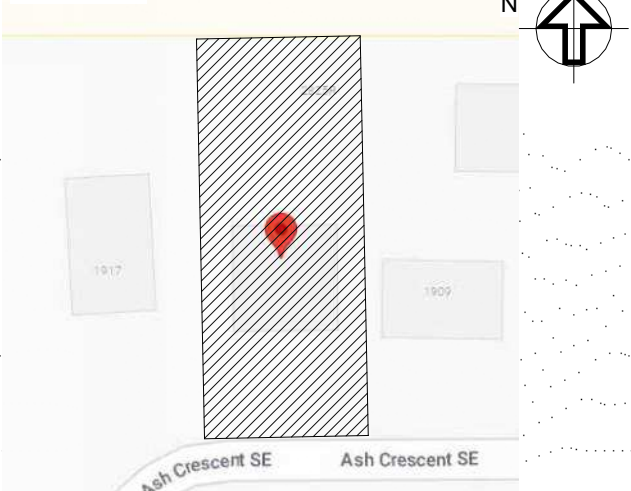
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KEY PLAN :



DRAWING SET :

DEVELOPMENT PERMIT SET

ISSUES

No.	Date	Description	Chk'd By
1	04/19/2023	DEVELOPMENT PERMIT SET	EA
2	04/27/2023	DEVELOPMENT PERMIT SET	EA

REVISION

ADDRESS:

**1913 - ASH CRESCENT
S.E., LOT 9; BLOCK 11; PLAN
4346 GL , CALGARY,
ALBERTA**

THE CLIENT :



DRAWING TITLE :

PROPOSED REAR & LEFT ELEVATIONS

DRAWN BY	CHECKER	APPROVED BY	DATE(M-D-Y)
Author	Checker	Approver	04/27/2023
JOB NO.	DRAWING NO.	SCALE	
22-09091		3/16" = 1'-0"	
SHEET SIZE		REV. NO.	
36 X 24			

A202