

This plan represents the best information at the time of survey.
ZOOM SURVEYS LTD. and its employees take no responsibility for the location of any underground conduits, pipes or other facilities whether shown on or omitted from this plan.
All Underground installations should be located by the respective authorities prior to construction.

CALL ALBERTA ONE CALL: 1-800-242-3477

GARAGE SUITE SITE PLAN

LEGAL DESCRIPTION: Lot 12
Block 50
Plan 4994GI

MUNICIPAL ADDRESS: 5111 22 Avenue N.W.
Calgary, Alberta

DATE OF SURVEY: December 14th, 2022.

Scale: 1:250 0 5 15 25 METRES

NOTES:

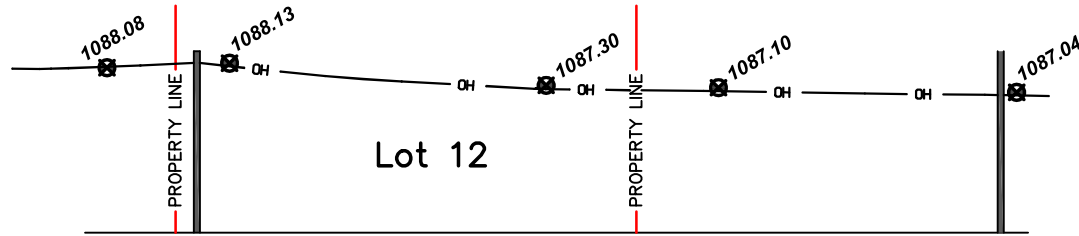
ELEVATIONS ARE SHOWN THUS: $\square$ 1000.00 = 1000.00 METRES. (GEODETIC)
ELEVATIONS ARE GEODETIC AND DERIVED FROM ASCM: 267203 Elev.: 1074.476
ALL DIMENSIONS ARE GROUND IN METRES AND DECIMALS THEREOF UNLESS OTHERWISE SHOWN.
ALL DISTANCES ON CURVES ARE ARC DISTANCES.
ALL FENCES ARE WITHIN 0.2 METRES OF THE PROPERTY LINES UNLESS OTHERWISE SHOWN.
ALL EAVES ARE MEASURED TO FASCIA UNLESS OTHERWISE SHOWN.
UNLESS NOTED OTHERWISE, LINES OUTSIDE OF PROPERTY ARE NOT TO SCALE.

Legend:

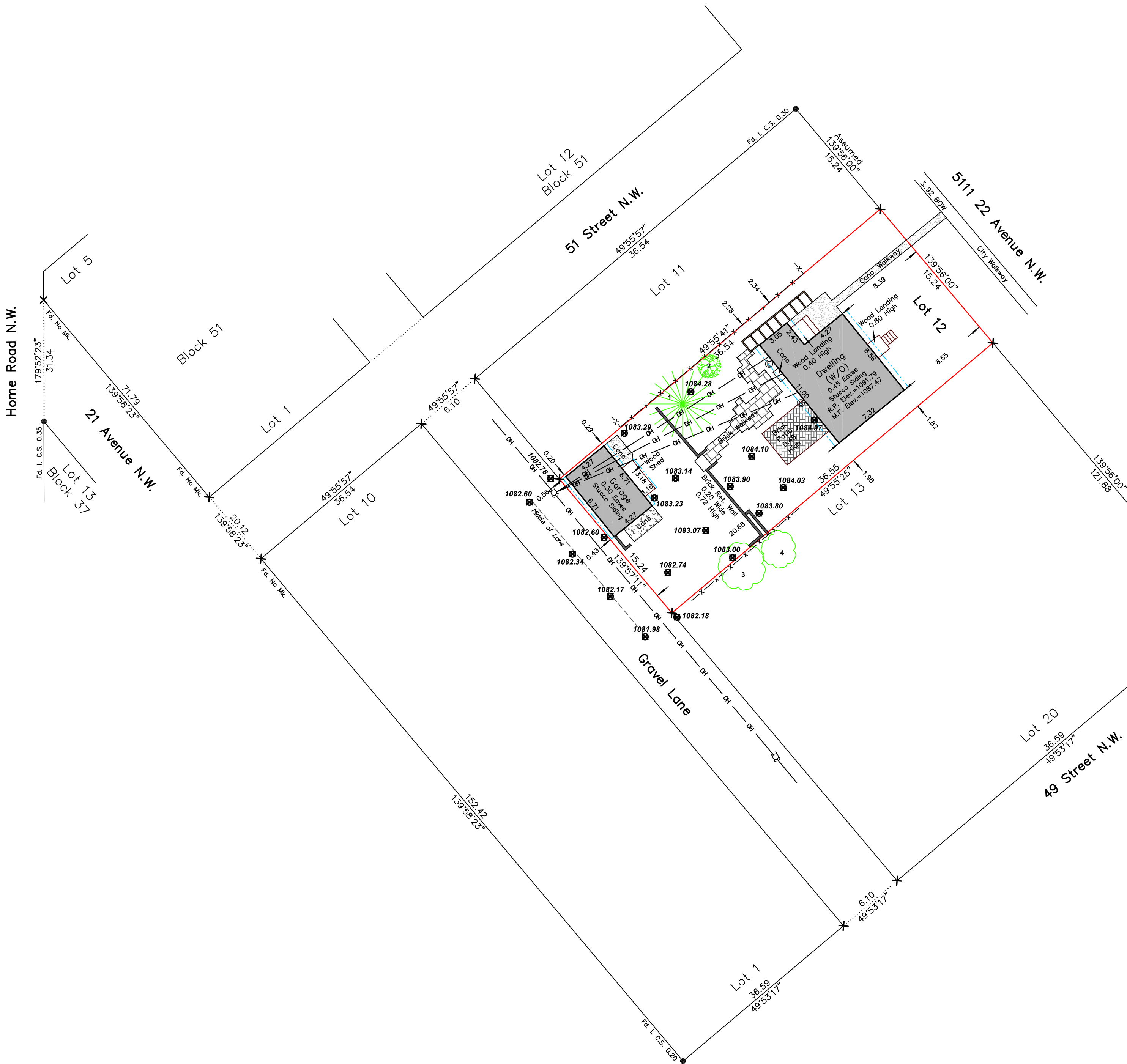
Acc. - Accessory	Calculation points shown thus: $\times$
A/C - Air Conditioner	Elevations shown thus: $\square$
Bldg - Building	Found Iron Posts shown thus: $\bullet$
BOC - Back of Curb	Fire Hydrants shown thus: $\odot$
BOW - Back of Walk	Power Poles shown thus: $\square$
Calc. - Calculated	Electric meter shown thus: $\oplus$
Cant. - Cantilever	Gas Valve shown thus: $\oplus$
Conc. - Concrete	Property lines shown thus: ---
C.S. - Countersunk	Utility Right of Ways shown thus: ---
DH - Drill Hole	Eaves shown thus: ---
Enc. - Encroachments	Fences shown thus: ---x---
Fd. - Found	Overhead Electrical Lines shown thus: ---OH---
I. - Iron Post	Gasline shown thus: ---G---
M.A. - Maintenance Access	Sanitaryline shown thus: ---S---
Mk. - Mark	Stormline shown thus: ---ST---
O.D. - Overland Drainage	Telephone Lines shown thus: ---T---
Ret. - Retaining	Waterline shown thus: ---W---
R/W - Right of Way	
W/O - Walkout Basement	
W.W. - Window Well	

Coniferous Tree ---  Deciduous Tree --- 

Tree Schedule				
Tree	Type	ϕ	Spread	Height
1	Coniferous	0.50	6.00	12.00
2	Deciduous	0.10	2.00	1.50
3	Bush	---	4.00	5.00
4	Bush	---	3.00	3.00



Powerline Profile



Suite 240, 2635-37 Avenue N.E.
Calgary, Alberta T1Y 5Z6
Phone: 403-837-8599
E-mail: office@zoomsurveys.ca
Website: www.zoomsurveys.ca
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Job: 22-0771 Surveyed: JM Drawn: NG Checked by: AB

EXISTING SITE GENERAL NOTES

- EXISTING GEODETIC ELEVATIONS SURVEYED BY 200M SURVEYS LTD. ARE APPROXIMATE. THEREFORE, ALL DISCREPANCIES MUST BE CLARIFIED BY SURVEYOR BEFORE COMMENCEMENT OF WORK.
- EXISTING LOWEST TOP OF FOOTING IS APPROXIMATE. GC IS TO VERIFY LOWEST TOP OF FOOTING AFTER EXCAVATION.
- EXISTING SEWER CONNECTION ELEVATION TO BE ESTABLISHED BY GENERAL CONTRACTOR.
- EXISTING STORM CONNECTION ELEVATION TO BE ESTABLISHED BY GENERAL CONTRACTOR.
- EXISTING MAIN WATER LINE IS TO BE MINIMUM 3/4" DIA FOR FUTURE DEVELOPMENT. THEREFORE, NO COMMENCEMENT OF WORK WILL BE DONE UNTIL WATERLINE DIAMETER IS CONFIRMED.
- EXISTING FENCE LINE LOCATION TO BE VERIFIED BY SURVEYOR TO ENSURE NO PROPERTY ENCROACHMENT.
- EXISTING LARGE PLANT LIFE - SUCH AS TREES, ARE TO BE REMOVED WHERE REQUIRED. GC IS TO PRESERVE TREES AS PER PLAN. IF TREES ARE TO BE REMOVED, GC IS TO NOTIFY THE PROPERTY OWNER AND ANOMALY DRAFTING AND DESIGN.
- EXISTING ELECTRICAL MAST IS TO BE RELOCATED WHERE REQUIRED. MAST TO BE TEMPORARILY SHUT DOWN BEFORE COMMENCEMENT OF WORK.
- IF EXCAVATION REQUIRES THE DEMO OF CITY PROPERTY, GC IS TO ENSURE EXCAVATOR IS CERTIFIED BY THE MUNICIPALITY.
- TREES OUTSIDE OF THE PROPOSED PROPERTY ARE TO BE PROTECTED DURING EXCAVATION AND DEMOLITION.
- GC TO EXCAVATE A TRENCH OF FOUNDATION PERIMETER TO A DEPTH OF APPROXIMATELY 5' 0" BELOW GRADE.
- FUTURE GARAGE SLAB TO BEAR ON EXISTING UNDISTURBED SOIL. GC IS TO HAVE SOIL INSPECTED BY CERTIFIED ENGINEER BEFORE PREPARATION FOR CONCRETE.
- EXISTING FENCING REMOVED TO BE SALVAGED FOR FUTURE FENCE TO MATCH AND FUTURE GATE.
- TRENCH TO EXISTING MECHANICAL ROOM WITHIN MAIN DWELLING TO BE DETERMINED ON SITE.
- ELECTRICAL CONTRACTOR TO DETERMINE IF MAIN DWELLING PANEL CAN BE EXCHANGED WITH SUB-PANEL FOR NEW UNDERGROUND ELECTRICAL CONDUIT.
- ADD SECONDARY LINE TO EXISTING GAS AND WATER CONNECTION FOR SUITE. DIRECTION OF LINE TO BE DETERMINED ON SITE.
- EXISTING PLAY HOUSE TO BE TEMPORARILY RELOCATED DURING EXCAVATION AND CONSTRUCTION.
- EXISTING STORAGE SHED TO BE TEMPORARILY RELOCATED DURING EXCAVATION AND CONSTRUCTION.

EXISTING GENERAL SITE PLAN INFORMATION

LEGAL DESCRIPTION

LOT: 12
BLOCK: 50
PLAN: 499461
MUNICIPAL ADDRESS: 5111 22 AVENUE NW, CALGARY, ALBERTA

EXISTING LOT INFORMATION

AREA OF EXISTING LOT: 556.86 m². PARCEL ARE TO BE ZONED RC1.
LOT IS OUTSIDE OF FLOODWAY FLOOD FRINGE ZONE.

GROSS FLOOR AREA OF EXISTING BUILDING: 70.14 m²
AREA OF EXISTING GARAGE: 28.45 m² (DEMOLISHED)

EXISTING LOT COVERAGE: 17.74%

EXISTING BUILDING HEIGHT: 4.32m
EXISTING ROOF PEAK: 1091.79m

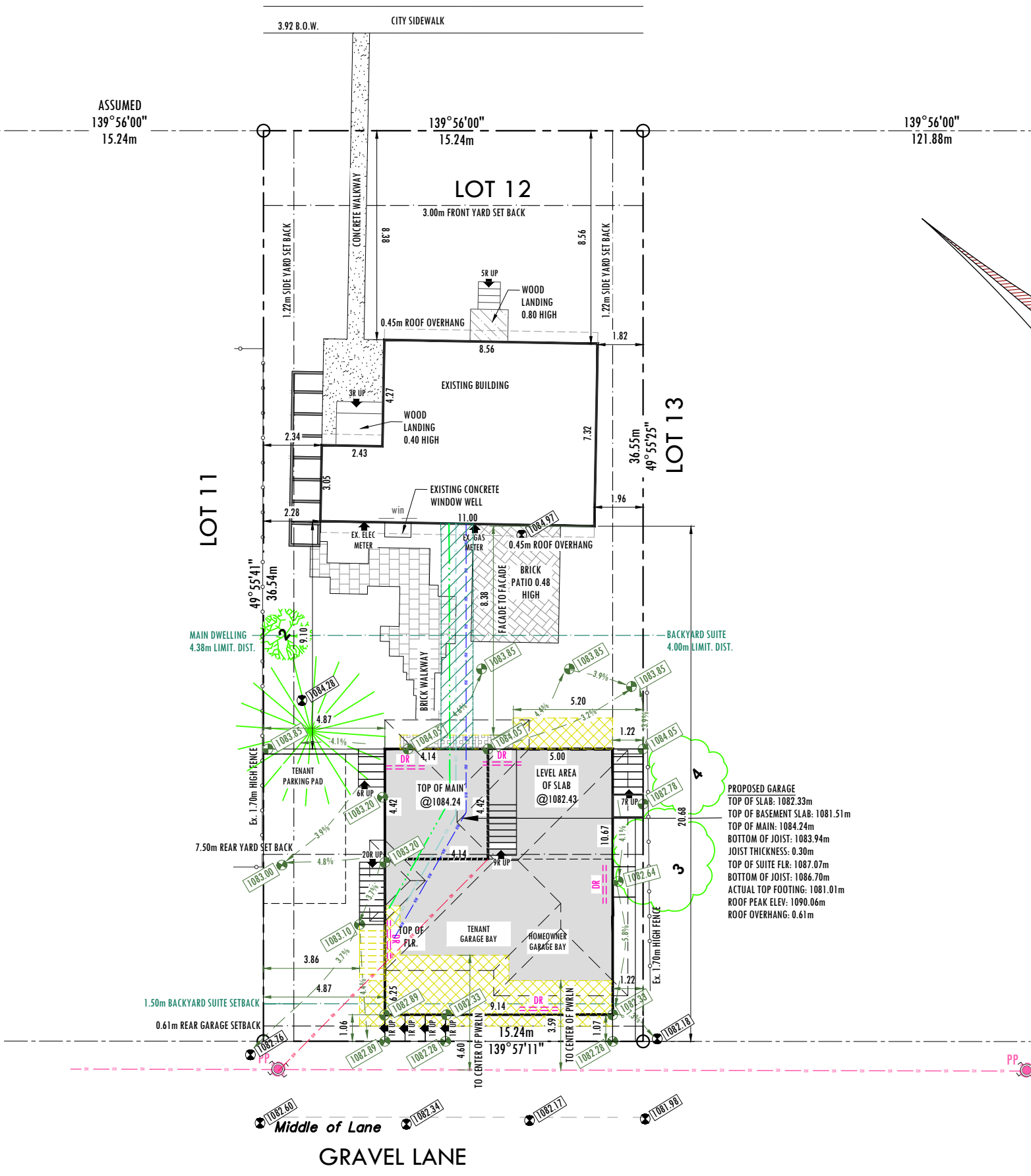
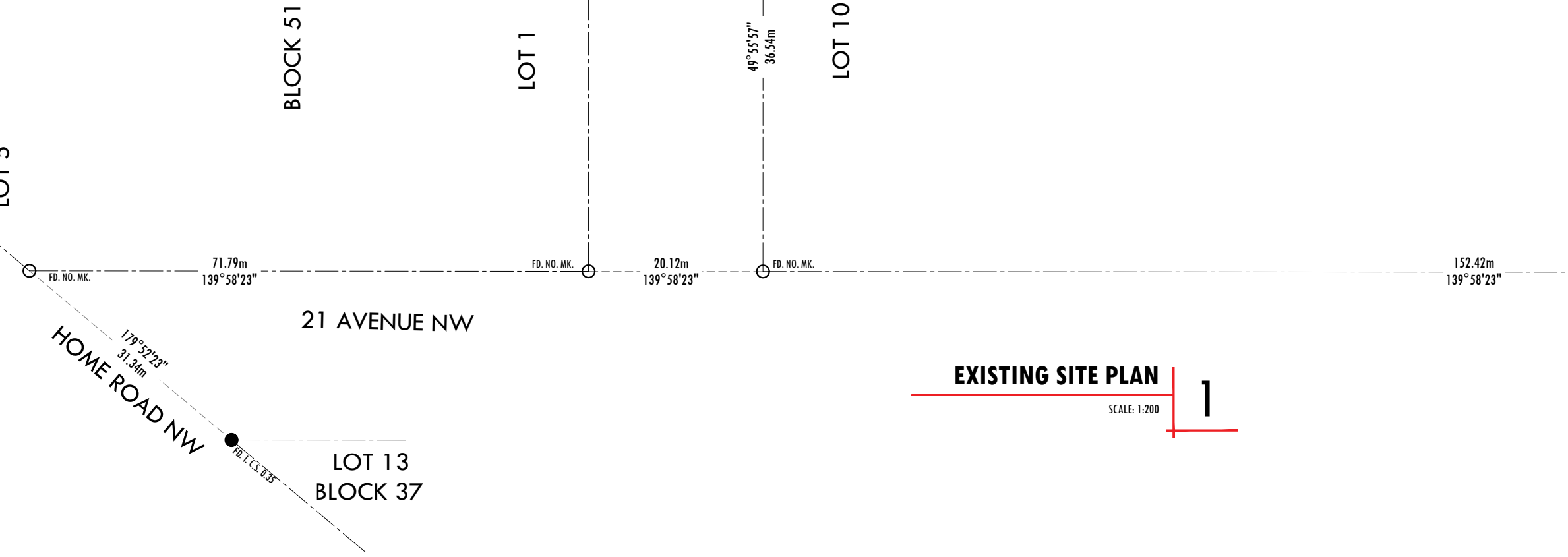
EXISTING WOODEN DECK OR PATIO AREA: XX.XX m²
EXISTING BALCONY AREA: N/A

EXISTING AREA OF DRIVEWAY: N/A
EXISTING AREA OF SIDEWALK: N/A

PLEASE NOTE: THE NOTES REFLECTED ABOVE REFER TO THE REAR OF THE PROPERTY. ANY CHANGES TO THE MAIN DWELLING WILL BE REFERENCED WITHIN THE PROPOSED DATA. IF YOU HAVE ANY QUESTIONS PLEASE CONTACT ANOMALY DRAFTING AND DESIGN.

EXISTING SITE PLAN LEGEND

---	EXISTING PROPERTY LINE	---	Ex. overhead power-lines
---	Existing setback line	---	Existing gas line
---	Existing fence	---	Existing water line
---	Existing roof overhang	---	Existing electrical cable
---	Line of items to be removed		
3.31	Existing dimensions	win	Existing foundation window
		dr	Existing man door with foundation
	Existing wood deck		Existing grade elevation
	Existing area of structure above		ESTABLISHED PIN
	area of existing building		END OF SEGMENT
	area of existing UR/W		water valve



PROPOSED GENERAL SITE PLAN NOTES

LEGAL DESCRIPTION

LOT: 12
BLOCK: 50
PLAN: 499461
MUNICIPAL ADDRESS: 5111 22 AVE NW, CALGARY, ALBERTA

PROPOSED SITE INFORMATION

AREA OF EXISTING LOT: 556.86 m²
GROSS FLOOR AREA OF EXISTING BUILDING: 70.14 m²

AREA OF PROPOSED GARAGE: 101.50m²
PROPOSED LOT COVERAGE: 30.82%

PROPOSED GARAGE BUILDING HEIGHT: 5.83m
PROPOSED GARAGE ROOF PEAK ELEV: 1090.06m

PROPOSED BALCONY AREA: 29.81m²

PROPOSED AREA OF CONCRETE APRON: 7.16m²
PROPOSED AREA OF CONCRETE PORCH: 3.33m²
PROPOSED AREA OF PARKING PAD: 19.78m²
PROPOSED AREA OF SIDEWALK: 9.3m²

PROPOSED GENERAL SITE GENERAL NOTES

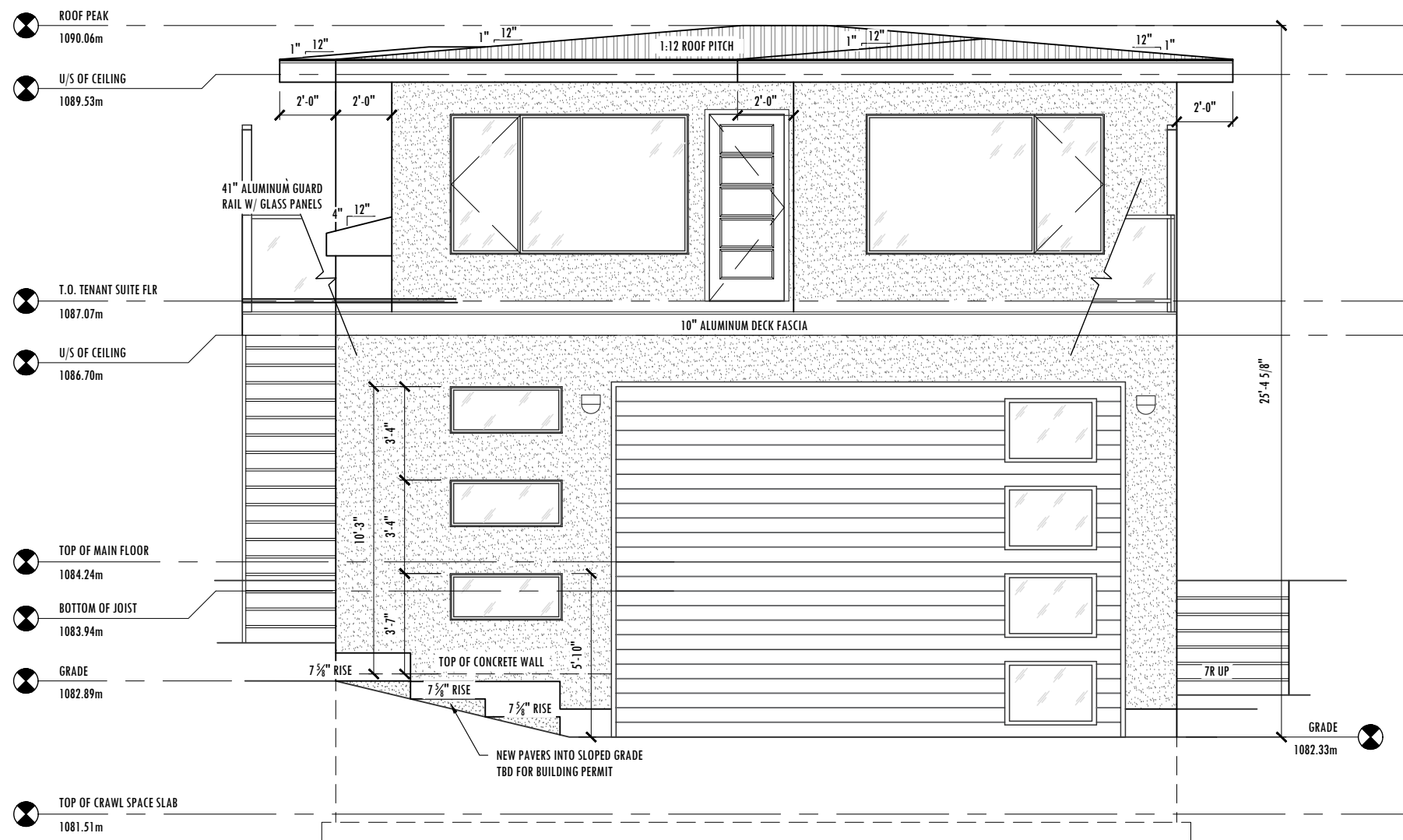
- NEW GEODETIC ELEVATIONS ARE APPROXIMATE. THEREFORE, ELEVATIONS MAY BE ADJUSTED WHERE APPLICABLE ON SITE. GC IS TO CONFIRM GRADE ADJUSTMENTS WITH ANOMALY DRAFTING AND DESIGN.
- GRADE SLOPE IS REFLECT LEFT AND RIGHT BUILDING ELEVATIONS. THEREFORE, FOR PLASTER RETURNS, GRADE IS TO MATCH FRONT OF GARAGE, OR NOTED OTHERWISE. SEE ELEVATIONS FOR CONFIRMATION.
- RELOCATION OF ELECTRICAL MAST IS APPROXIMATE. THEREFORE, NEW ELECTRICAL MAST LOCATION WILL BE VERIFIED ON SITE.
- GC IS NOTED SHUT PUMP AND/OR GRINDER TO BE REQUIRED FOR BACKYARD SUITE, UNLESS SEWER AND STORM CONNECTIONS ELEVATIONS ALLOW FOR NATURAL SLOPE DRAINAGE.
- NEW WINDOW WELLS TO BE ALUMINUM, WITH STANDARD WIDTH AND DEPTH. WINDOW WELLS ARE TO BE TO ONE SIDE OF BUILDING.
- A TENANT AMENITY SPACE IS TO BE A MINIMUM OF 1.5m IN DEPTH, AND POSSESS AN AREA OF 7.5 m².
- DROPS IN FOUNDATION TO BE DETERMINED ON SITE.
- CONCRETE PILES FOR SUPPORT TO MAIN FLOOR SLAB TO BE INSTALLED WHERE REQUIRED.
- GC IS TO VERIFY EXISTING SITE CONDITIONS FOR CONCRETE PARKING PADS.
- ELECTRICAL METER LOCATION TO BE DETERMINED ON SITE.
- GC TO VERIFY NEW FENCE WITH HOMEOWNER BEFORE COMMENCEMENT OF WORK.

PROPOSED SITE PLAN LEGEND

---	EXISTING PROPERTY LINE	---	EXISTING ROOF OVERHANG
---	EXISTING SETBACK LINE	---	PROP. OVERHEAD POWER LINES
---	PROPOSED SETBACK LINE	---	PROPOSED GAS LINE
---	PROPOSED FENCE	---	PROPOSED WATER LINE
---	EXISTING FENCE	---	PROPOSED ELECTRICAL CABLE
---	ROOF OVERHANG		
win	PROPOSED FOUNDATION WINDOW		existing grade geodec
dr	MAN DOOR WITH FOUNDATION		proposed grade geodec
2.5%	PROPOSED SLOPE		established pin
			water valve
	POURED CONCRETE		area of proposed building
	AREA OF STRUCTURE ABOVE		area of existing building
	WOODEN DECK		area of balcony above
			area of proposed utility R/W

FOR REFERENCE USE ONLY

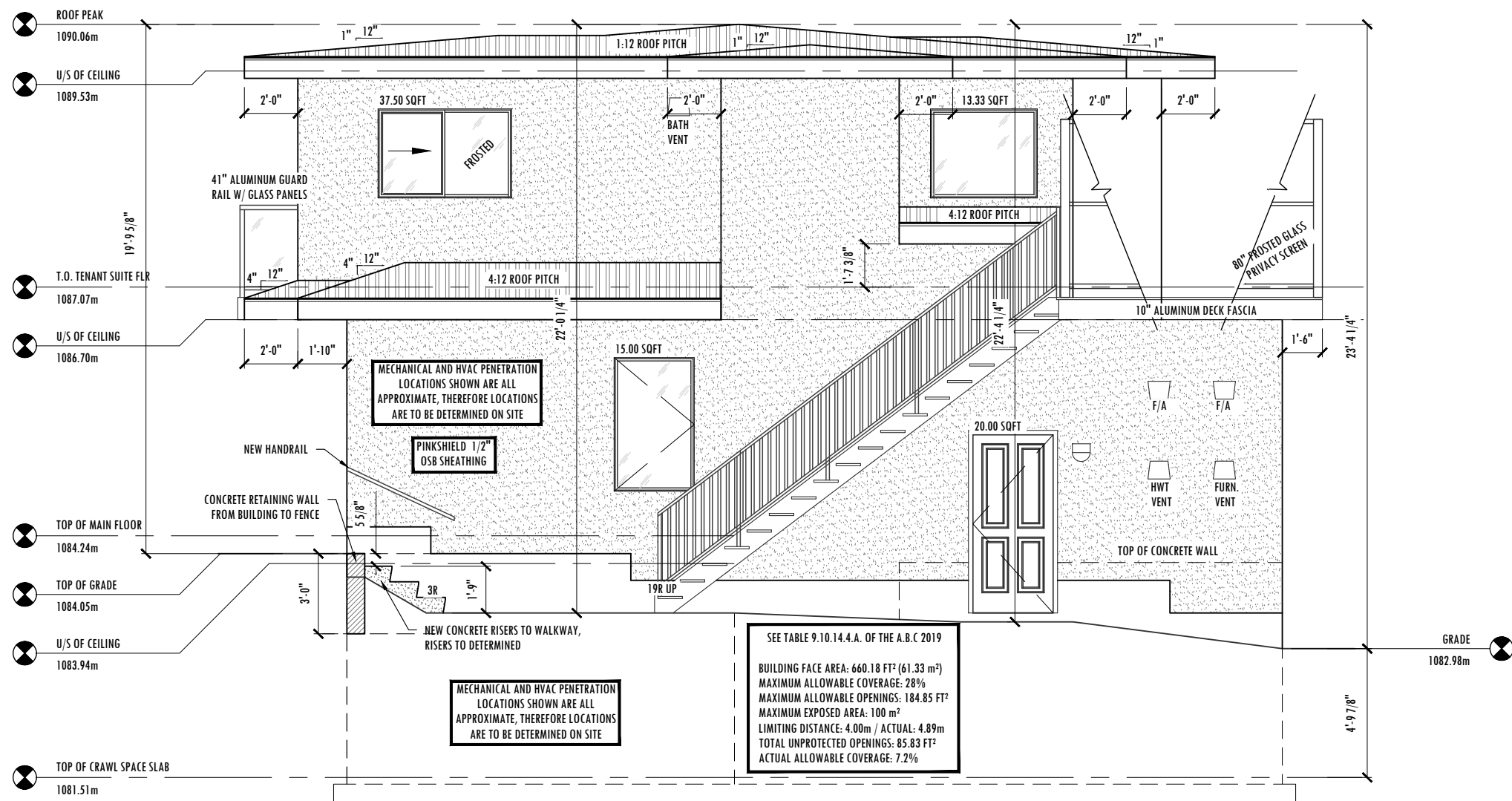
NEW BACKYARD SUITE	
ANOMALY DRAFTING AND DESIGN	
www.anomalydraftinganddesign.com	
PROJECT ADDRESS: 143 MARQUIS HEIGHTS SE, AB	TENANT SUITE AREA SQUARE FOOTAGE
	659 SQFT
	GARAGE MAIN FLOOR SQUARE FOOTAGE
	138 SQFT
BUILDING ENVELOPE SQUARE FOOTAGE	817 FT ² / 75.90m ²
TOTAL SQUARE FOOTAGE:	797 SQFT
CLIENT:	HOMEOWNER RESIDENCE
SCALE:	1/4" = 1'-0"
ISSUE DATE M/D/Y:	03/31/2023
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PROJECT NO:	HR058
PROJECT STATUS:	ISSUED FOR DEVELOPMENT PERMIT
SHEET TITLE: EXISTING AND PROPOSED SITE PLANS	
REVISION ISSUE #:	X
LEGAL ADDRESS:	LOT: 26 BLK: 21
PLAN: 141 1415	A1



NORTHWEST 'REAR LANE'
ELEVATION 'FRONT' VIEW

SCALE: 3/16" = 1'-0"

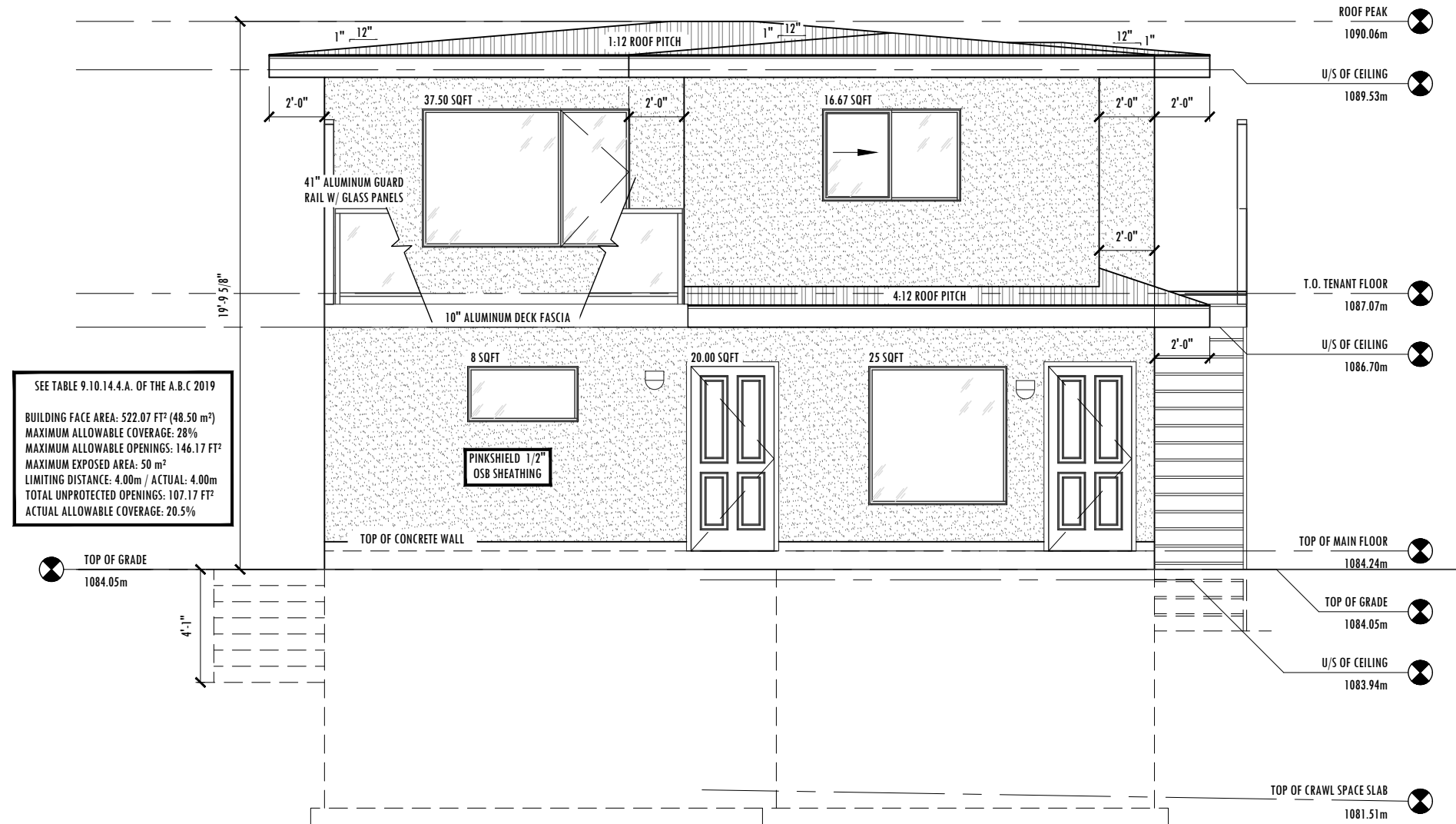
1



SOUTHEAST 'REAR'
ELEVATION 'REAR YARD' VIEW

SCALE: 3/16" = 1'-0"

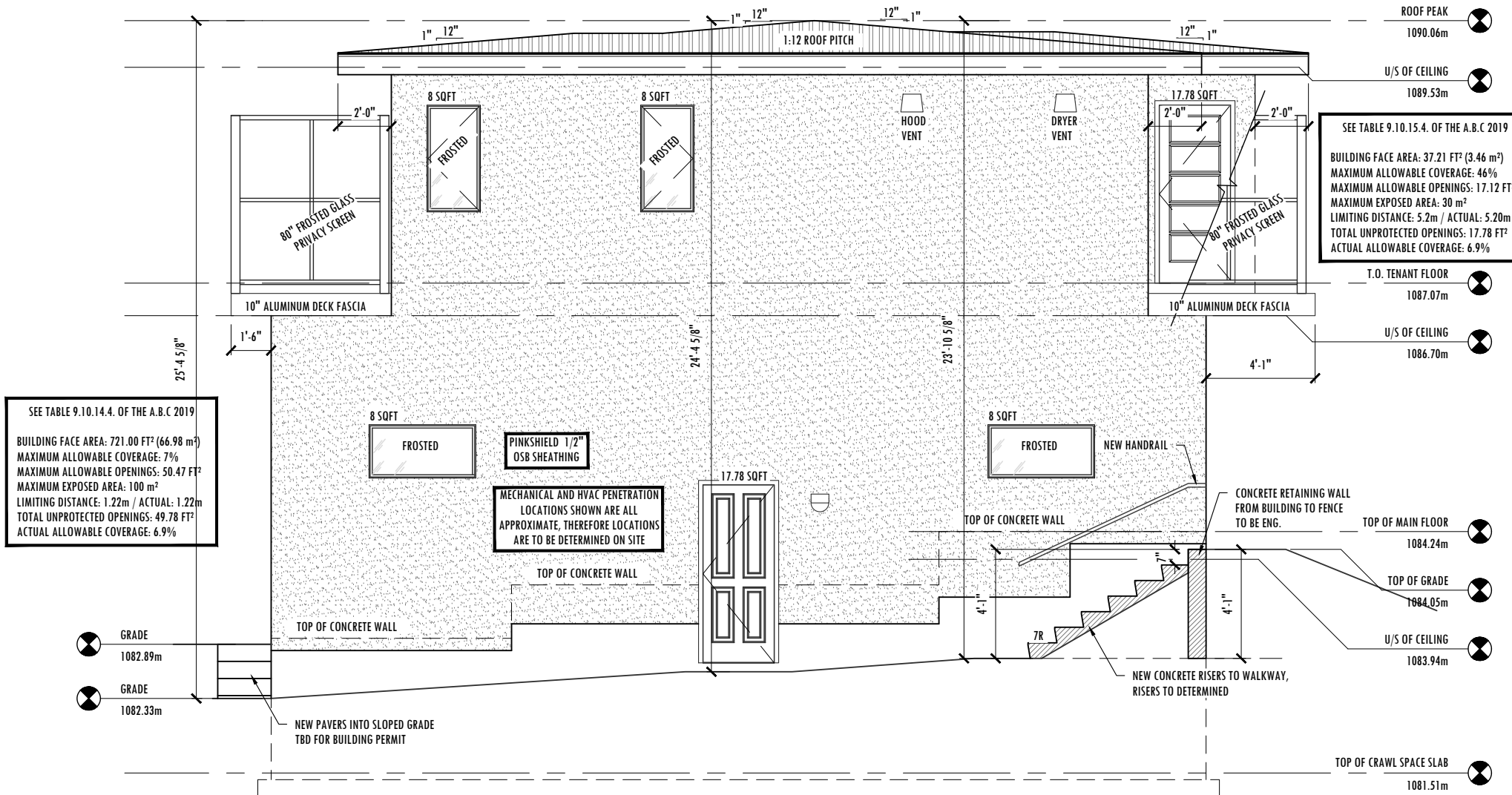
2



WEST 'RIGHT-SIDE'
ELEVATION VIEW

SCALE: 3/16" = 1'-0"

3



EAST 'LEFT-SIDE'
ELEVATION VIEW

SCALE: 3/16" = 1'-0"

4

ELEVATION GENERAL NOTES

- GEODEC ELEVATIONS AT BUILDING CORNERS IS TO BE REMAIN CONSTANT FOR MASONRY RETURN, THEREFORE G.C. IS TO CONFIRM GRADING WITH SURVEYOR PRIOR TO EXCAVATION. BOTH THE ELEVATIONS AND SITE PLAN NEED TO BE REVIEWED.
- ANY DISCREPANCIES WITH REGARDS TO EXTERIOR FINISH MATERIALS SHOWN, MUST BE COMMUNICATED TO ANOMALY DRAFTING AND DESIGN FOR CLARIFICATION.
- LOCATIONS OF DROPS IN FOUNDATION SHOWN ARE APPROXIMATE, THEREFORE, DROPS WILL BE VERIFIED ON SITE.
- EXCEPT STUCCO, ALL EXTERIOR SIDING WILL BE A MINIMUM 10" ABOVE GRADE.
- DOWNSPOUT LOCATIONS WILL BE DETERMINED BY SUPPLIER ON SITE.
- EAVES TROUGH AND DOWNSPOUTS TO BE 5" PRE-FINISHED ALUMINUM.
- FASCIA - 6" MAINTENANCE FREE PRE-FINISHED ALUMINUM.
- SOFFIT - MAINTENANCE FREE PRE-FINISHED VENTED AND UNVENTED ALUMINUM, TO MATCH FIRE CODE.
- WINDOWS TO BE SUPPLIED AND INSTALLED BY SUPPLIER, THEREFORE WINDOW DIMENSIONS SHOWN, TO BE CONFIRMED BY SUPPLIER PRIOR TO BUILDING PERMIT SUBMISSION.
- GRADE SLOPES SHOWN ARE APPROXIMATE, THEREFORE GEODETIC ELEVATIONS TO BE DETERMINED ON SITE.
- G.C. IS TO INSTALL FLASHING TO ALL EXTERIOR FINISH MATERIAL CHANGES.

EXTERIOR FINISHES LEGEND

ACRYLIC STUCCO: COLOUR OF STUCCO TBD AT BUILDING PERMIT

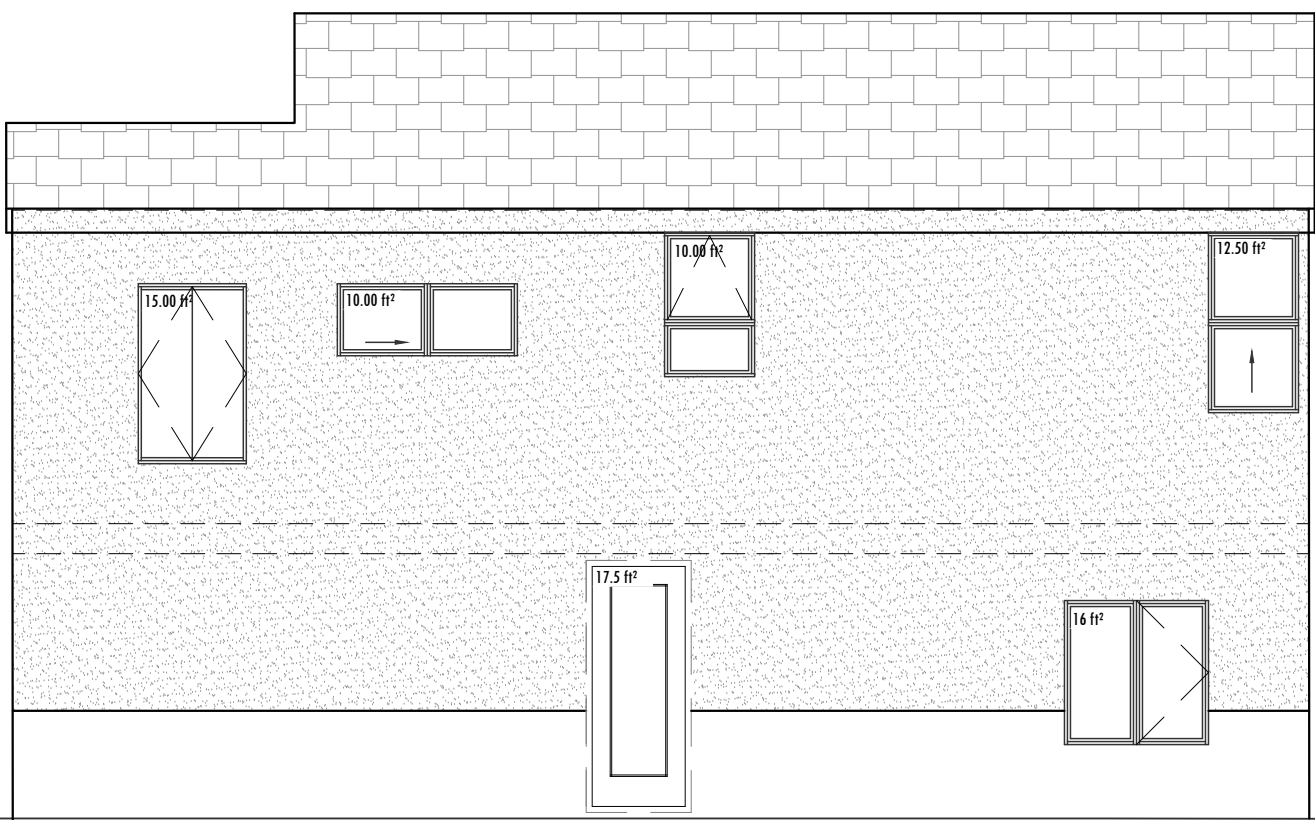
CORRUGATED STEEL ROOF PANELS: GC IS TO CONFIRM SUPPLIER, STYLE AND COLOR PRIOR TO BUILDING PERMIT

WINDOW DESCRIPTION	
U-VALUE:	R VALUE:
2.725	0.367
ALL WINDOWS ARE TO BE VINYL CLADDED, DUAL PANE, CLEAR GLASS, AND NO COATINGS	

NORTHWEST 'REAR LANE'
ELEVATION VIEW MAIN HOUSE

SCALE: 3/16" = 1'-0"

5



See Table 9.10.15.4 of the A.B.C. 2019

BUILDING FACE AREA: 583.68 FT² (54.23 M²)
MAXIMUM ALLOWABLE COVERAGE: 28%
MAXIMUM ALLOWABLE OPENINGS: 163.43 FT²
MAXIMUM EXPOSED AREA: 50 M²
LIMITING DISTANCE: 4.89M (TO SETBACK)
TOTAL UNPROTECTED OPENINGS: 81.00 FT²
ACTUAL ALLOWABLE COVERAGE: 13.88%

FOR REFERENCE USE ONLY

NEW BACKYARD SUITE

ANOMALY DRAFTING AND DESIGN

www.anomalydraftinganddesign.com

TENANT SUITE AREA SQUARE FOOTAGE	789 SQFT
MAIN FLOOR (MAIN DWELLING) SQUARE FOOTAGE	197 SQFT
BUILDING ENVELOPE SQUARE FOOTAGE	1050 FT ² / 97.55m ²

TOTAL SQUARE FOOTAGE:	986 SQFT
DRAWN:	EKS

CLIENT:	HOMEOWNER RESIDENCE
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SCALE:	3/16" = 1'-0"
ISSUE DATE M/D/Y:	04/18/2023

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PROJECT NO:	HR055
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PROJECT STATUS:
**ISSUED FOR
DEVELOPMENT PERMIT**

SHEET TITLE:
PROPOSED ELEVATIONS

REVISION ISSUE #:	X	SHEET NO.:	A5
LEGAL ADDRESS:	LOT: 12 BLK: 50		
PLAN:	4994GI		