



## Existing Secondary Suite Permit Checklist (inside or attached to existing house)

Before you apply:

- Visit [Calgary.ca/suites](http://Calgary.ca/suites) to find more information on rules, requirements and to estimate your fee
- For help with your drawings visit [Calgary.ca/drawingstandards](http://Calgary.ca/drawingstandards) for tips and examples
- Do not include personal information on plans
- If you do not have or are not planning to have cooking facilities, use the [Basement Permit Checklist](#)

### Existing Secondary Suite Criteria

|                                                                                                                                                                        |                                                                  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------|
| 1. Does the existing suite include a bathroom, cooking facilities and sleeping/living facilities?                                                                      | <input checked="" type="radio"/> Yes<br><input type="radio"/> No |
| 2. Is the suite accessible from outside without passing through the main dwelling unit? (A shared stairwell is acceptable but each unit must have a private entrance.) | <input checked="" type="radio"/> Yes<br><input type="radio"/> No |
| 3. Was the existing suite built prior to March 12, 2018 ?                                                                                                              | <input checked="" type="radio"/> Yes<br><input type="radio"/> No |

If you answered no any of the questions above, your suite is not considered existing, use the [New Secondary Suite Permit Checklist](#). If you answered yes to all, continue to question 4.

4. Is the existing suite located in a detached garage?

☒ No. Proceed to question 5

☐ Yes. Your suite is not considered an existing suite, use the [New Backyard Suite Permit Checklist](#)

5. Is there more than one suite on the property or in the building?

☐ No. Proceed to application below

☒ Yes. Contact the [Planning Services Centre](#) for further assistance.

FM NOTE: one dwelling unit upstairs, another (suite) downstairs, restaurant use remains as well

### Building Safety Approval (Building Permit) and/or Land Use Approval (Development Permit)

- Use the property information tool to determine your land use district and the review the section "Step 1: Review the rules and fees" found at [legalize an existing suite](#). If the tool advises a development permit is required, select Planning Approval when applying online. If you do not require planning approval select building safety approval. All suites require a building permit.
- If you require assistance with this section, please contact our [Planning Services Centre](#).

Please select one of the options below:

#### Option 1: Reduced Application Requirements

##### Required Documents

A. Completed [Application Form](#) (Do not fill out if applying online)

B. Completed [Owner Declaration](#)

C. Completed [Existing Secondary Suite Information Sheet](#)

D. Colour Photographs, showing:

- The entryway into the suite, from the outside
- The entryway into the suite, from the inside including the stairwell into the suite
- The suite kitchen (please ensure all cooking appliances are visible)

- The suite bathroom
- The parking area
- The outdoor amenity space area / yard
- The mechanical / furnace room showing the ceiling
- Each window in a bedroom / sleeping area (include a photo from the inside and the outside)

Note: the photos must be combined into one file to submit online

## Option 2: Full plans

### Required Documents

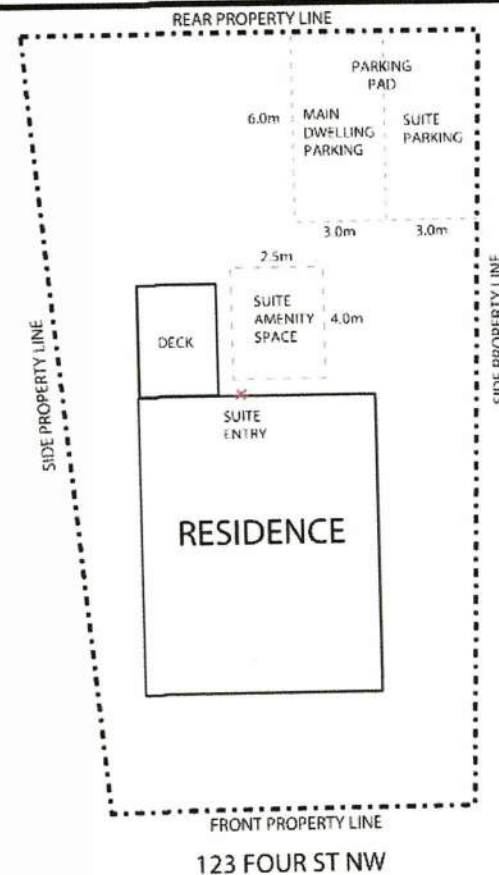
- Completed [Application Form](#) (Do not fill out if applying online)
- Completed [Owner Declaration](#)

### Required Plans

#### 1 One (1) copy of a Site Plan

Your Site Plan should include the following:

- Address
- Property lines
- Outline of the home
- Location and dimension of all parking stalls on the parcel and label stalls to be used for the secondary suite
- Location and dimensions of outdoor amenity space for the secondary suite
- Location of the suite entry marked by an 'X'



Tip: You can modify a Real Property Report (RPR) to use as your Site Plan

#### 2 One (1) copy of Floor Plans – sample drawings can be found [here](#)

Your Floor Plans should include the following:

- Address
- Layout of each floor of the house, dimension each room
- Label the purpose of each room (kitchen, bathroom, bedroom, etc.)
- Size, type and operation of windows
- Area of secondary suite



This worksheet is mandatory for all Existing Secondary Suite applications that do not include plans. For more information, visit [calgary.ca/suites](http://calgary.ca/suites).

Do not include personal information in comments.

Plans will be required in circumstances where bylaw or other regulations add complexity to the application. For more information regarding your specific suite, contact the [Planning Services Centre](#).

### SECTION 1: Suite Information

- 1 Main dwelling unit address: 1650 - 15 St SE
- 2 Where is the secondary suite located in the house?
  - ☒ Basement Size not required
  - ☐ Main floor Size: \_\_\_\_\_ ☐ square metres ☐ square feet
  - ☐ Upper floor Size: \_\_\_\_\_ ☐ square metres ☐ square feet
- 3 When looking at the front of the house where is the suite entrance located?
  - ☒ Front ☐ Rear ☐ Left ☐ Right
- 4 Is the suite accessible from outside without passing through the main dwelling unit? (A shared stairwell is acceptable, but each unit must have a private entrance.) ☒ Yes ☐ No
- 5 Provide the size of window opening for all applicable bedrooms. (If the suite has more than three bedrooms please provide information in comments).
  - ☐ Bedroom 1 Size: \_\_\_\_\_ x \_\_\_\_\_ ☐ metres ☐ feet
  - ☐ Bedroom 2 Size: \_\_\_\_\_ x \_\_\_\_\_ ☐ metres ☐ feet
  - ☐ Bedroom 3 Size: \_\_\_\_\_ x \_\_\_\_\_ ☐ metres ☐ feet

**Note:** See the [egress window guidelines](#) for more information about bedroom windows

- 6 Is there more than one suite on the property or in the building?
    - ☐ No. Proceed with the application below
    - ☒ Yes. Contact the Planning Services Centre for further assistance
- Additional comments (if required):

### SECTION 2: Outside of the Suite – Amenity Space

An amenity space is an outside area tenants can use for recreation. A secondary suite requires an amenity space with the following:

- a minimum area of 7.5 square metres,
- a minimum width or length of 1.5 metres;
- and located outside, accessible to the tenants.

- 1 A portion of the yard will be available as an amenity space.

☐ Yes ☒ No

### SECTION 3: Parking

The Land Use Bylaw typically requires one additional parking stall to be provided for a secondary suite.

All required parking must be located on the property and meet the following dimensions:

2.5 x 5.9 metres where both sides are free of a physical barrier or property line

2.85 x 5.9 metres where one side is against a physical barrier or property line

3.0 x 5.9 metres where both sides of the stall are against a physical barrier or property line

(Please note: A physical barrier is anything which physically prevents a car door from fully opening; for example, a fence, retaining wall, or garage wall)

1 Indicate below the location and size of ALL your parking area(s), for both the dwelling and the suite.

☐ Front garage

How many vehicles can the space accommodate?

☒ 2 ☐ 3

Size: \_\_\_\_\_ x \_\_\_\_\_

☐ metres ☐ feet

☒ Front driveway or ☒ Front parking pad

How many vehicles can the space accommodate?

☐ 1 ☒ 2 ☐ 3

Size: \_\_\_\_\_ x \_\_\_\_\_

☐ metres ☐ feet

How are the stalls surfaced?

☐ Gravel ☐ Pavement ☐ Paving stone

☒ Rear garage

How many vehicles can the space accommodate?

☐ 1 ☒ 2 ☐ 3

Size: \_\_\_\_\_ x \_\_\_\_\_

☐ metres ☐ feet

☐ Rear parking pad

How many vehicles can the space accommodate?

☐ 1 ☒ 2 ☐ 3

Size: \_\_\_\_\_ x \_\_\_\_\_

☐ metres ☐ feet

How are the stalls surfaced?

☐ Gravel ☐ Pavement ☐ Paving stone

2 If your suite parking is provided in an attached garage, have you provided a separate exit for the occupant to enter and exit from, in addition to the overhead garage door, that does not connect to the main residence? ☐ Yes ☐ No

Comments (optional):