

SUBJECT PARCEL

Legend

- Floodway
- Floodplain
- Overland Flow
- Step Line (Bow/Elbow River)
- 1050.2 Water Elevation Between Step Lines
- Cross-Section Line (Nose/West Nose Creek)
- 1050.2 Water Elevation at Cross-Section Lines
- Tentative Plan
- Legal Base
- 9 AV SE Street Names
- City Limits

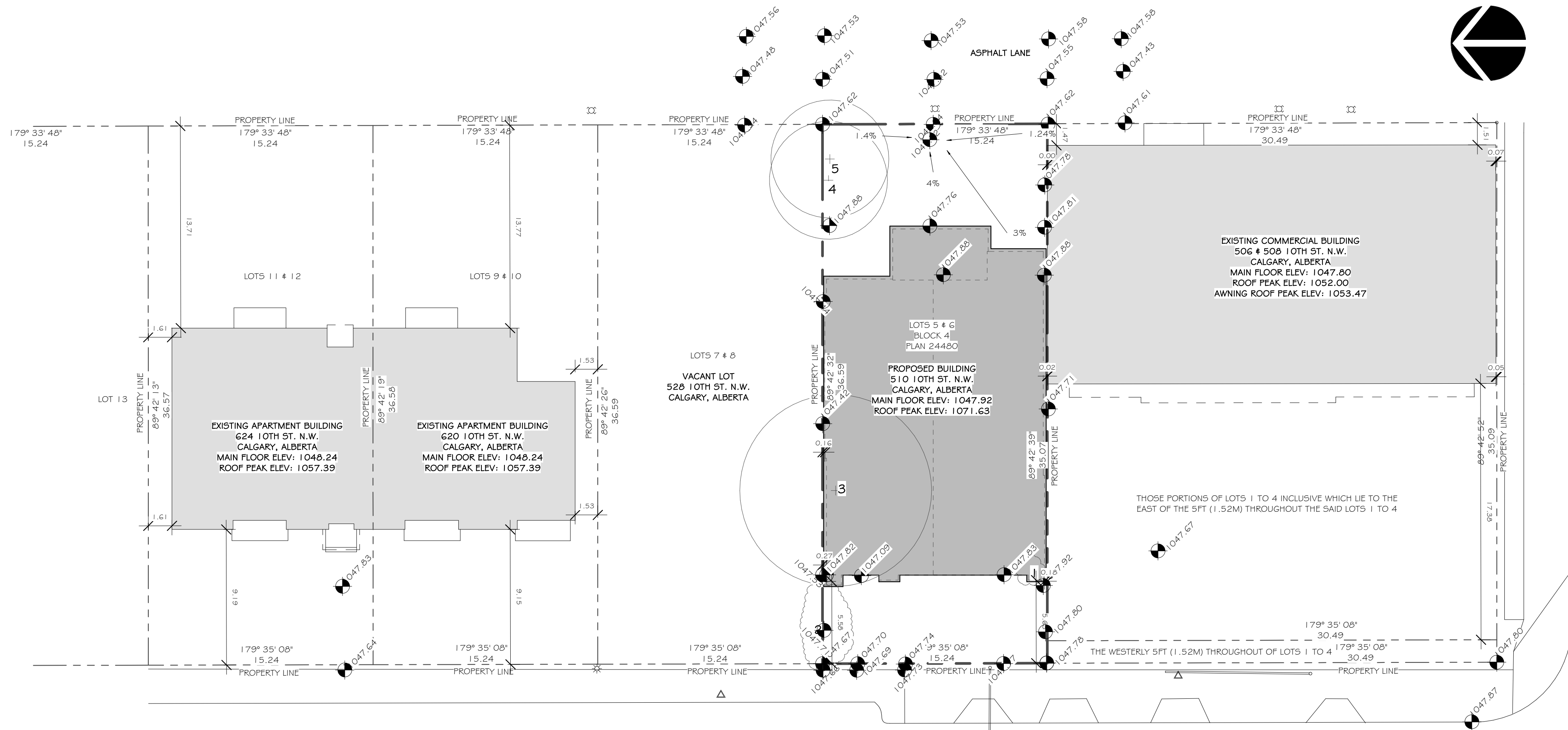
DP DRAWING INDEX	
DPO.0	COVER PAGE
DPO.1	CONSTRUCTION ASSEMBLIES
DP1.1	BLOCK PLAN & STREETScape
DP1.2	SURVEY DRAWING
DP1.3	Site PLAN
DP1.4	SHADOW STUDIES
DP2.1	LOWER & MAIN FLOOR PLAN
DP2.2	2ND-7TH FLOOR PLAN (TYP)
DP2.3	ROOF PLAN
DP4.1	ELEVATIONS
DP4.2	ELEVATIONS
DP5.1	SECTIONS
DP5.2	SECTIONS
DP6.1	WINDOW SCHEDULE
DP6.2	WINDOW SCHEDULE
DPL.1	LANDSCAPE PLAN

TYPICAL ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
ASF	ABOVE SUB-FLOOR
AFS	ABOVE FINISHED SLAB
BLDG	BUILDING
B.O.W.	BOTTOM OF WALL
CM	COMPLETE WITH
CONC.	CONCRETE
CSCI	CONTRACTOR SUPPLIED
	CONTRACTOR INSTALLED
CT	COOKTOP
DIA	DIAMETER
DN	DOWN
DW	DISHWASHER
DWG	DRAWING
EW	EACH WAY
ELEC.	ELECTRICAL
ENG.	ENGINEER
EQ.	EQUAL
E.O.S.	EDGE OF SLAB
F.	FRIDGE
FD	FLOOR DRAIN
FURN	FURNACE
GA	GROOVE
GWB	GYP/SUM WATER BOARD
HWH	HOT WATER HEATER
HDWD	HARDWOOD
I.D.	INSIDE DIAMETER
LL	LIVE LOAD
MANUF.	MANUFACTURER
MECH	MECHANICAL
MW	MICROWAVE
N.A.	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O/C	ON CENTRE
OSOI	OWNER SUPPLIED
	OWNER INSTALLED
OSCI	OWNER SUPPLIED
	CONTRACTOR INSTALLED
O.D.	OUTSIDE DIAMETER
SPEC.	SPECIFICATION
S	SINK
T.O.	TOP OF
T.O.W.	TOP OF WALL
T.O.S.	TOP OF SLAB
T#B	TOP AND BOTTOM
T#G	TONGUE AND GROOVE
TYP.	TYPICAL
U/S	UNDERSIDE
VERT.	VERTICAL
W/D	WASHER / DRYER
WD	WARMING DRAWER
WO	WALL OVEN
WPM	WATERPROOF MEMBRANE

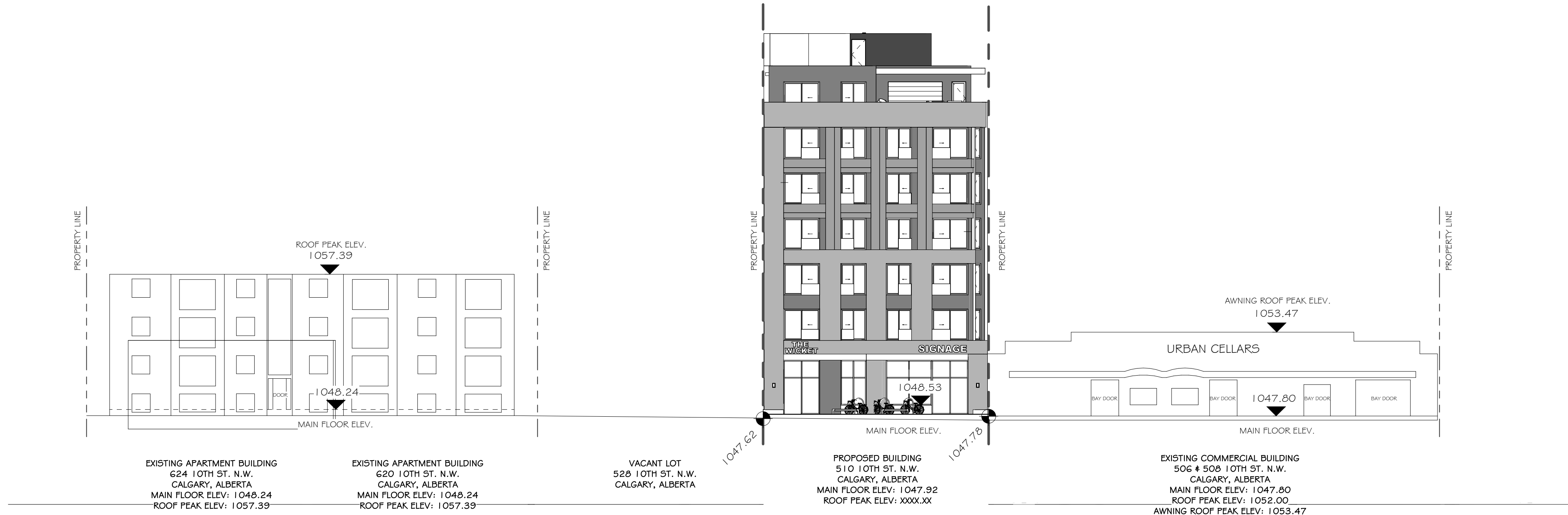
SYMBOL LEGEND	
	INDICATES ROOM NAME AND NUMBER
	INDICATES BUILDING SECTION MARKER
	INDICATES WALL SECTION MARKER
	INDICATES BUILDING DETAIL MARKER
	INDICATES EXISTING ELEVATION ON SITE / BLOCK PLANS
	INDICATES PROPOSED ELEVATION ON SITE / BLOCK PLANS
	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES EXISTING TREE TO REMAIN
	INDICATES NEW TREE
	INDICATES INTERIOR DOOR TAG
	INDICATES EXTERIOR DOOR / WINDOW TAG
	INDICATES HEIGHT OF CEILING STRUCTURE ABOVE SUBFLOOR
	INDICATES SUBFLOOR ELEVATION ON FLOOR PLANS
	INDICATES CONSTRUCTION ASSEMBLY TYPE TAG - REFER TO CONSTRUCTION ASSEMBLIES
	INDICATES FLOOR FINISH TYPE TAG - REFER TO FINISHES LEGEND
	INDICATES WALL FINISH TYPE TAG - REFER TO FINISHES LEGEND
	INDICATES CEILING FINISH TYPE TAG - REFER TO FINISHES LEGEND
	KEYNOTE TAG - REFER TO DRAWING NOTES

THIS DRAWING SUPERCEDES PREVIOUS ISSUES

TJ	
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1
DP1.1
BLOCK PLAN
1 : 200

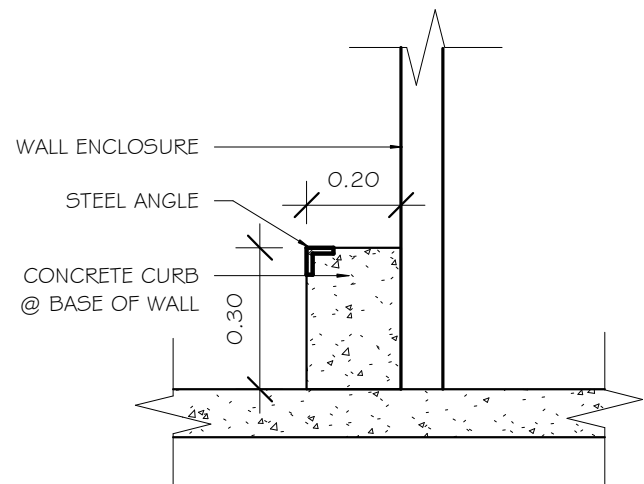


2
DP1.1
STREETSCAPE
1 : 200

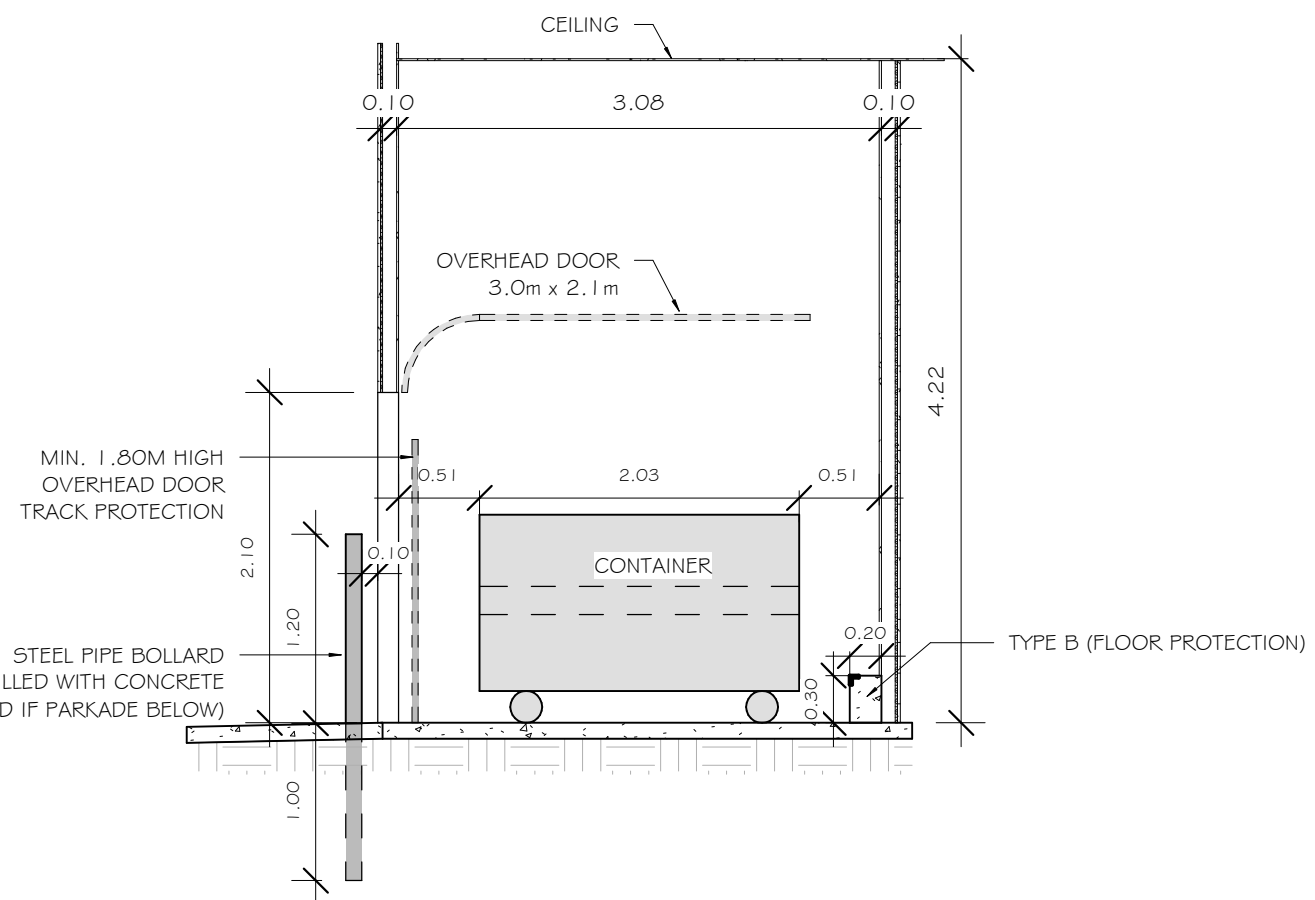
BYLAW REVIEW / DEVELOPMENT DATA		
	REQUIRED	PROVIDED
LEGAL DESCRIPTION:	LOTS 5 AND 6, BLOCK 4, PLAN 24480	
CIVIC ADDRESS:	510 10TH STREET N.W.	
STREET ZONING:	DIRECT CONTROL DISTRICT	
FRONT SETBACK:	0.00M	5.27 M.
REAR SETBACK:	4.00M	6.44 M.
SIDE SETBACK:	0.00M	0.16M. NORTH / 0.27M. SOUTH
PARCEL AREA:		557.57 SQ.M.
BUILDING COVERAGE:		344.68 SQ.M.
GROSS FLOOR AREA:		2636.03 SQ.M.
FLOOR AREA RATIO:	5.0 MAX	2636.03 SQ.M. ÷ 557.57 SQ.M. = 4.726
DENSITY:		32 UNITS / 0.056 HECTARE (571.4 UNITS PER HECTARE)
MAIN FLOOR ELEVATION:		1047.92 M.
ROOF PEAK ELEVATION:		1071.63 M

EXISTING TREE SCHEDULE					
TREE NO.	TREE TYPE	TRUNK DIA.	CANOPY DIA	HEIGHT	COMMENT
1	BUSH	---	2.00	3.00	TO BE REMOVED
2	BUSH	---	2.50	TO BE REMOVED	
3	DECIDUOUS	0.60	13.00	11.00	TO BE REMOVED
4	DECIDUOUS	0.25	8.00	9.00	TO BE REMOVED
5	DECIDUOUS	0.25	8.00	6.00	TO BE REMOVED

4
DP1.1
WASTE STORAGE PROTECTION (TYPE B)
3/4" = 1'-0"



3
DP1.1
WASTE STORAGE PROTECTION LOCATIONS
1/4" = 1'-0"



RECORD OF ISSUE:

01	2022-11-23	DEVELOPMENT PERMIT
02	2023-01-29	DP R1
03	2023-04-05	DTR - 1
04	2023-09-14	DTR - 2

RECORD OF REVISIONS:

ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE ABC, NBC, ELECTRICAL AND PLUMBING CODES

ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER

ALL MATERIALS SHALL BE HANDLED AND STORED TO PREVENT DAMAGE

VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION

DIMENSIONS PROVIDED ARE RELATIVE TO FACE OF STUD OR FACE OF CONCRETE

EACH SUCCESSIVE SUBTRADE IS REQUIRED TO CONFIRM THE LOCATION OF REFERENCE POINTS FOR LOCATING NEW WORK WITH THE WALLS / WORK ALREADY IN PLACE

ALL DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT PERMISSION OF THE DESIGNER

DO NOT SCALE DRAWINGS

THIS DRAWING SUPERCEDES PREVIOUS ISSUES

JACKSON McCORMICK
DESIGN GROUP

804-A 16TH AVENUE S.W.
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email: info@mcdesigngroup.ca

PROJECT

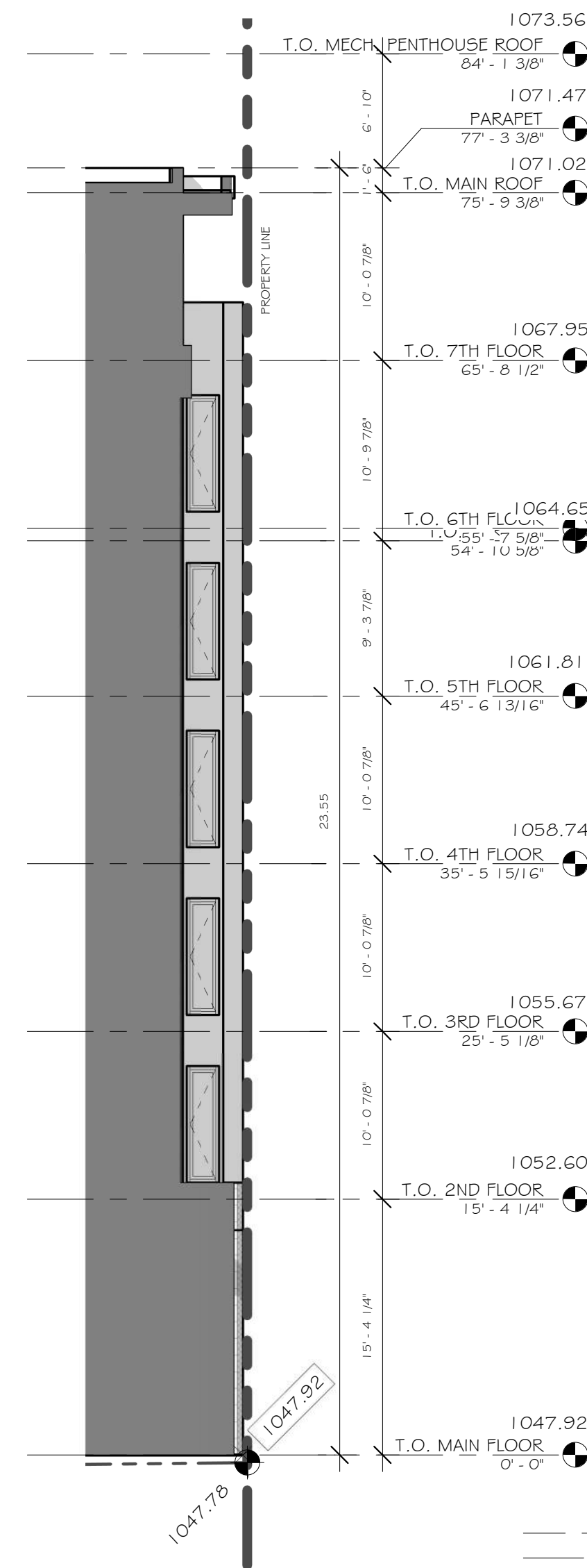
THE WICKET FLATS

510 10 STREET N.W.
CALGARY, ALBERTA
LOTS 5 & 6, BLOCK 4, PLAN 24480

DRAWING DESCRIPTION:

BLOCK PLAN & STREETSCAPE

PLOT SCALE:	AS NOTED	DRAWING NO.:	DP1.1	
PROJECT NO.:	2021-23	CHECKED BY:		TJ
DRAWN BY:	Author	PLOT DATE:		2023 09.14



4 RECESSED WALL @ WEST
DP4.1 1/8" = 1'-0"

EXTERIOR FINISHES LEGEND

1	FULL BED LIMESTONE COLOR: GREY
2a	TRIPLE COATED PANELS TEXTURE: ELEMENTS-BLACKEN STEEL
2b	TRIPLE COATED PANELS TEXTURE: ELEMENTS-WEATHERED CONCRETE
3a	EASY PANEL: CHARCOAL / TO MATCH WINDOWS
3b	EASY PANEL: LIGHT GREY TO MATCH
4a	CMU SMOOTH COLOR: LIGHT GREY TO MATCH
4b	CMU SMOOTH COLOR: EBONY / CHARCOAL
5	GLAZING
6a	OVERHEAD DOOR - GLASS
6b	OVERHEAD DOOR - IFG
7	CONCRETE WALL
8	WALL MOUNTED LIGHT FIXTURE



RIGHT / SOUTH SIDE ELEVATION



3 FRONT ISOMETRIC VIEW
DP4.1

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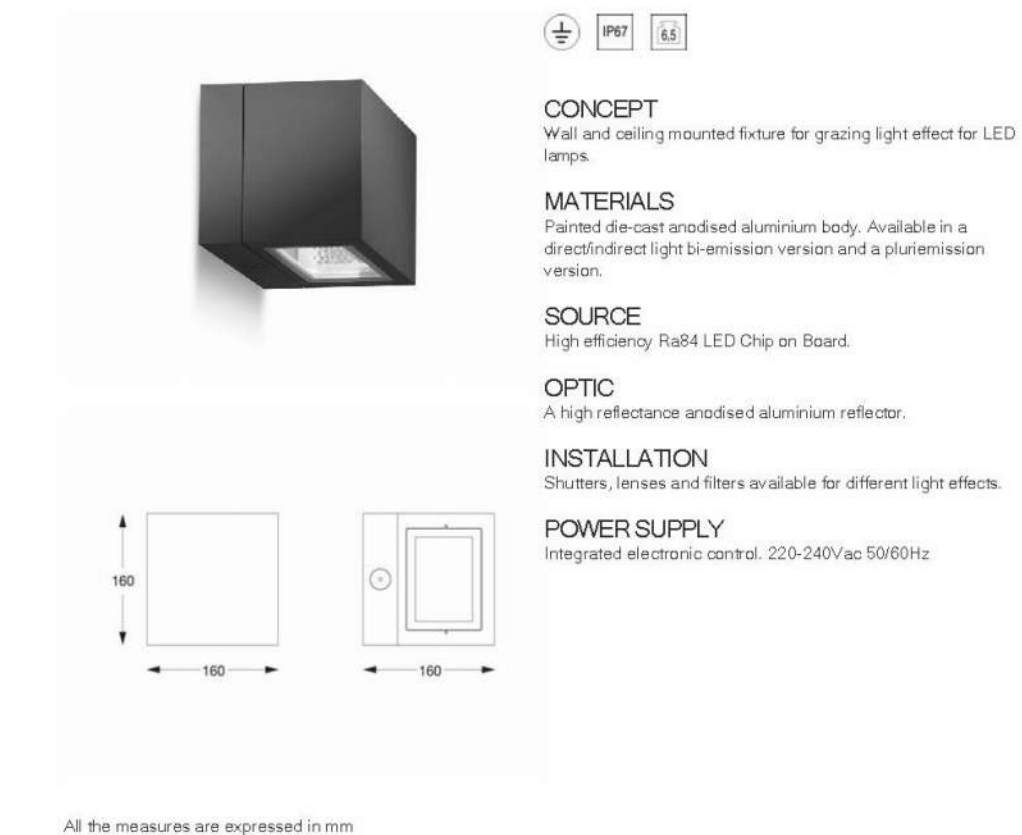
4 RECESSED WALL @ EAST
1/8" = 1'-0"

1 REAR / EAST ELEVATION
1/8" = 1'-0"

TARGETTI

Q-BO IP67 LED 1E2956

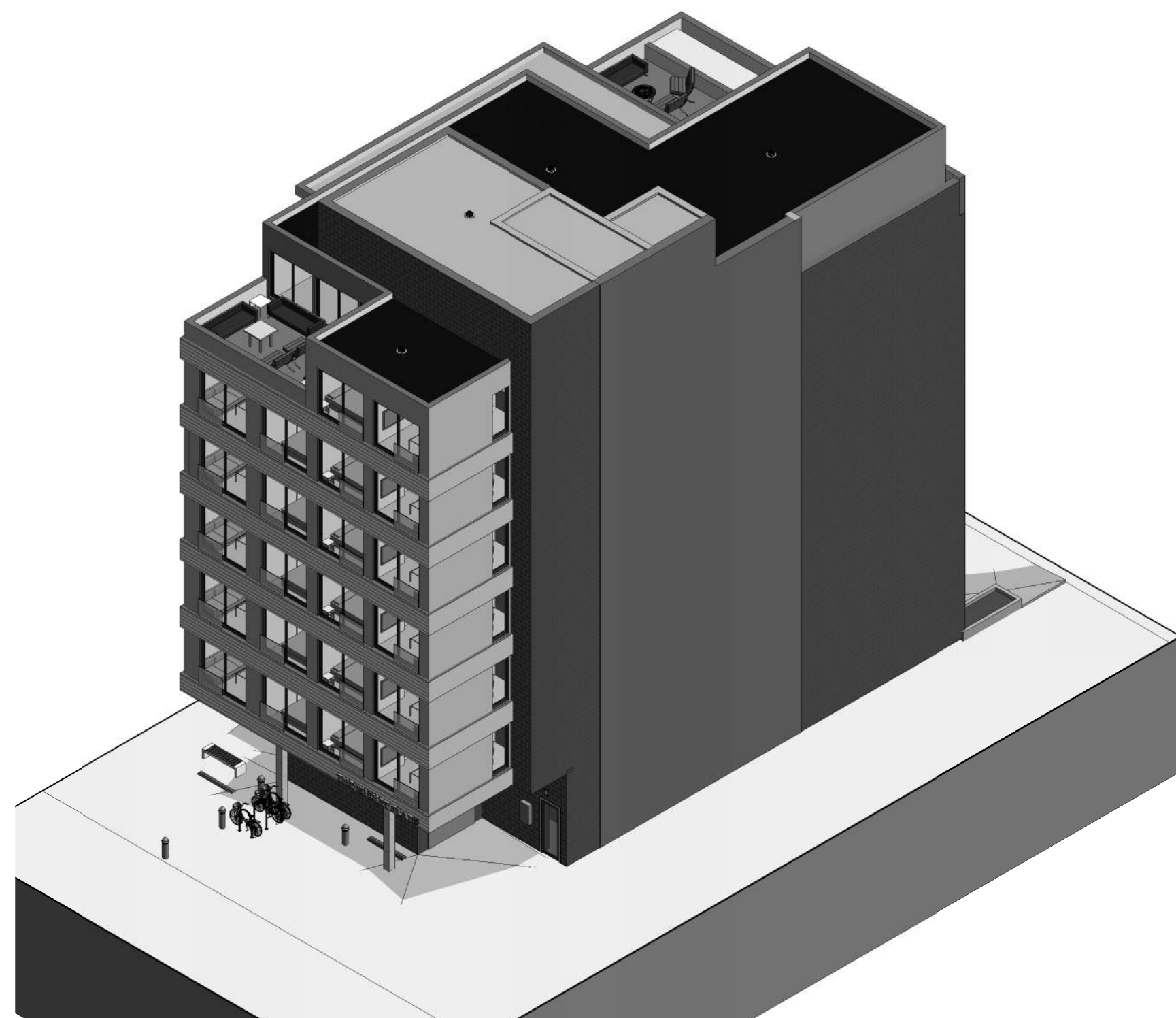
LIGHT SOURCE: LED, COLOUR TEMPERATURE: 3000K, POWER SOURCE: 20W, IP: 64, BEAM ANGLE: VWFL, DIMENSION: DIMENSION, COLOUR AND FINISH: RESINITE, POWER SUPPLY: 220-240VAC 50/60Hz, DRIVER: ELECTRONIC, DRIVER INCLUDED: YES, INSULATION CLASS: CLASS1, GLOBAL IP OR HOUSING: IP67, F CLASS: YES



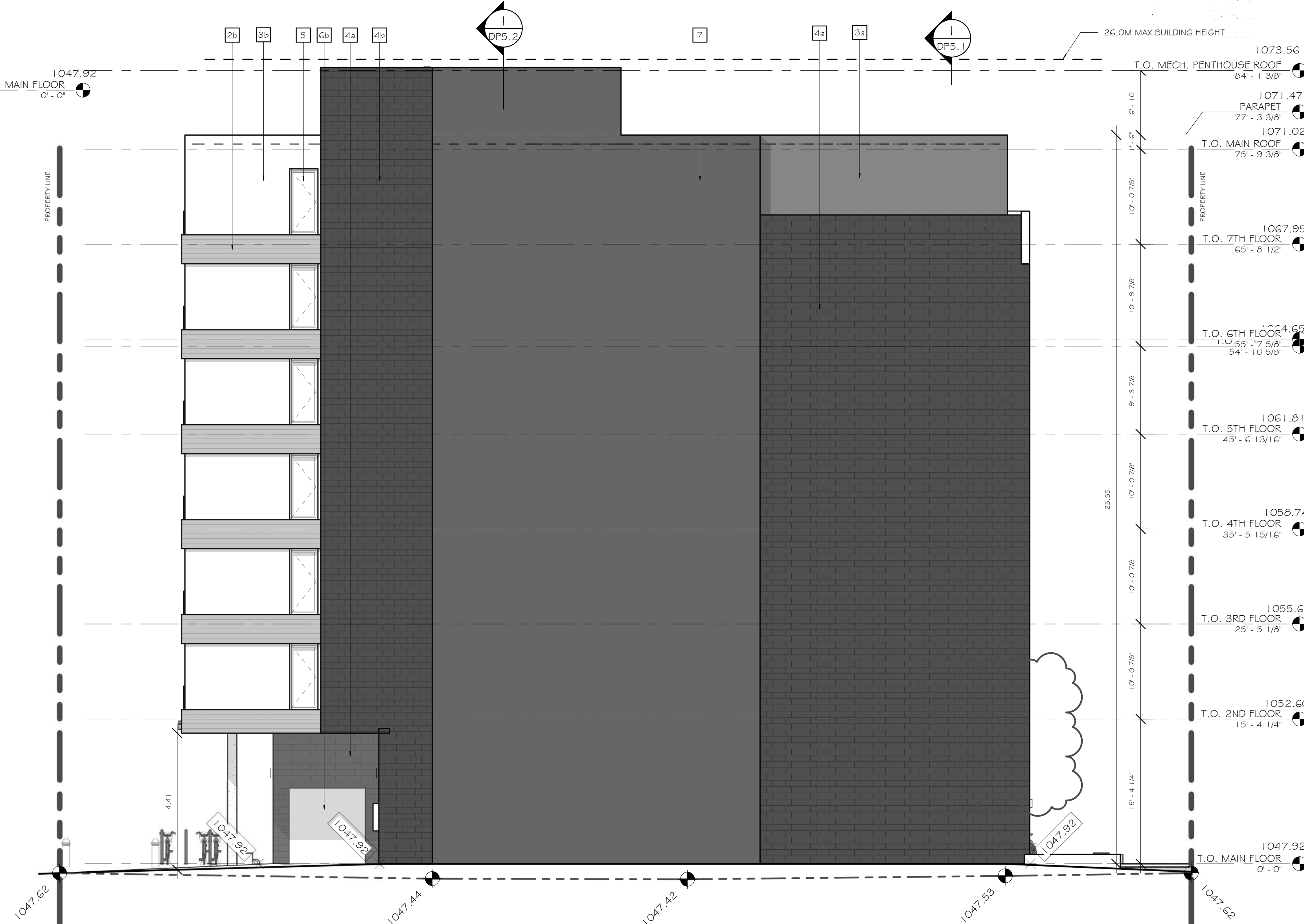
Photometrics	
Beam Angle	30°
Beam Flux	435lm
Beam Flux	134lm
Beam Flux	68lm
Beam Flux	137lm

5 EXTERIOR LIGHT FIXTURE
1/2" = 1'-0"

EXTERIOR FINISHES LEGEND	
1	FULL BED LIMESTONE COLOR: GREY
2a	TRIPLE COATED PANELS TEXTURE: ELEMENTS-BLACKEN STEEL
2b	TRIPLE COATED PANELS TEXTURE: TEXTURE: ELEMENTS-WEATHERED CONCRETE
3a	EASY PANEL: CHARCOAL / TO MATCH WINDOWS
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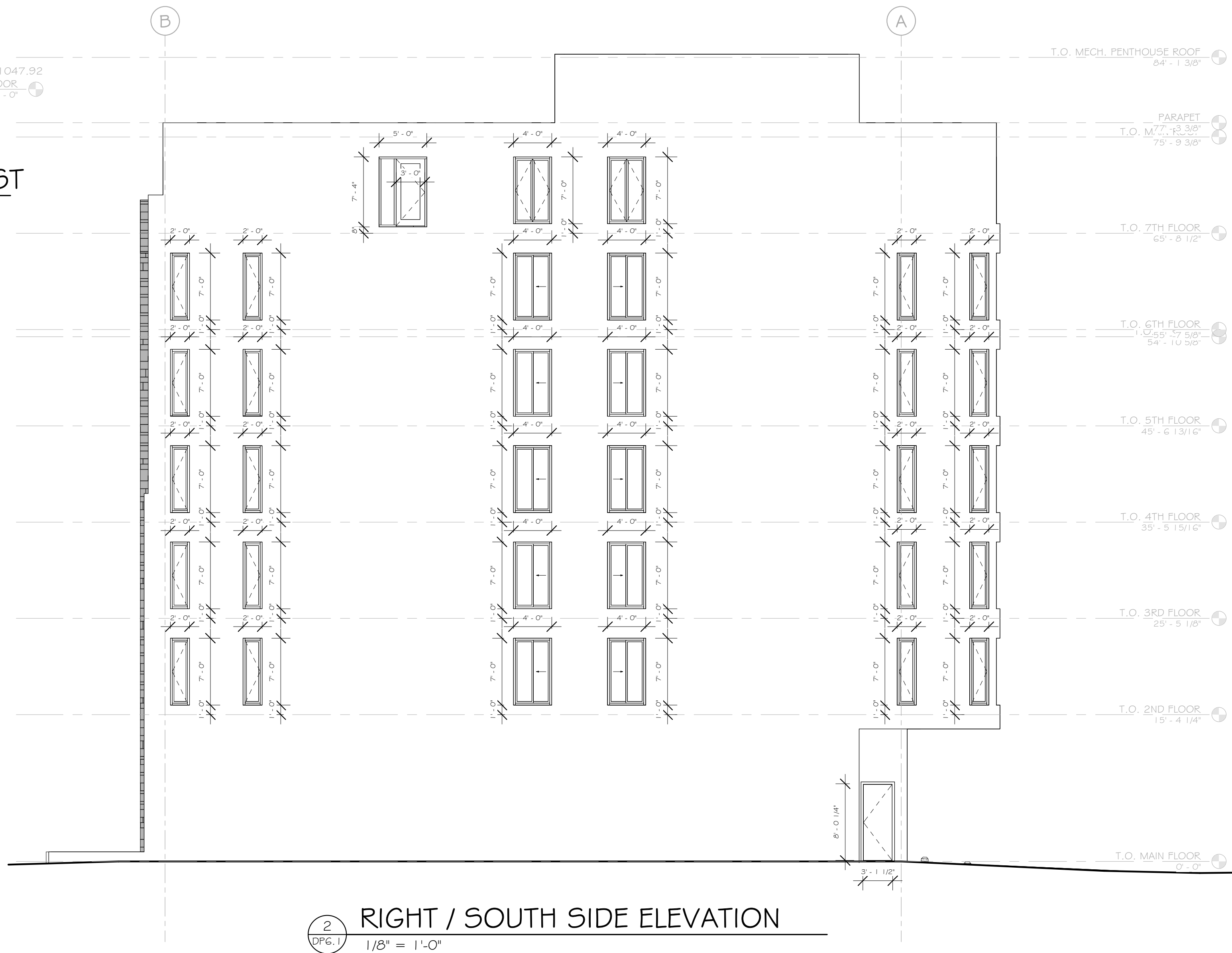


3 REAR ISOMETRIC VIEW
1/8" = 1'-0"



2 LEFT / NORTH ELEVATION
1/8" = 1'-0"

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ALL DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT PERMISSION OF THE DESIGNER		
DO NOT SCALE DRAWINGS		
THIS DRAWING SUPERCEDES PREVIOUS ISSUES		
JACKSON McCORMICK DESIGN GROUP		
804-A 16TH AVENUE S.W. CALGARY AB T2R 0S9		
tel: 403 520 8018 email: info@jmcdesigngroup.ca		
PROJECT THE WICKET FLATS 510 10 STREET N.W. CALGARY, ALBERTA LOTS 5 & 6, BLOCK 4, PLAN 24480		
DRAWING DESCRIPTION: ELEVATIONS		
PLOT SCALE:	AS NOTED	DRAWING NO.:
PROJECT NO.:	2021-23	DP4.2
CHECKED BY:	TJ	
DRAWN BY:	Author	
		PLOT DATE: 2023.09.14

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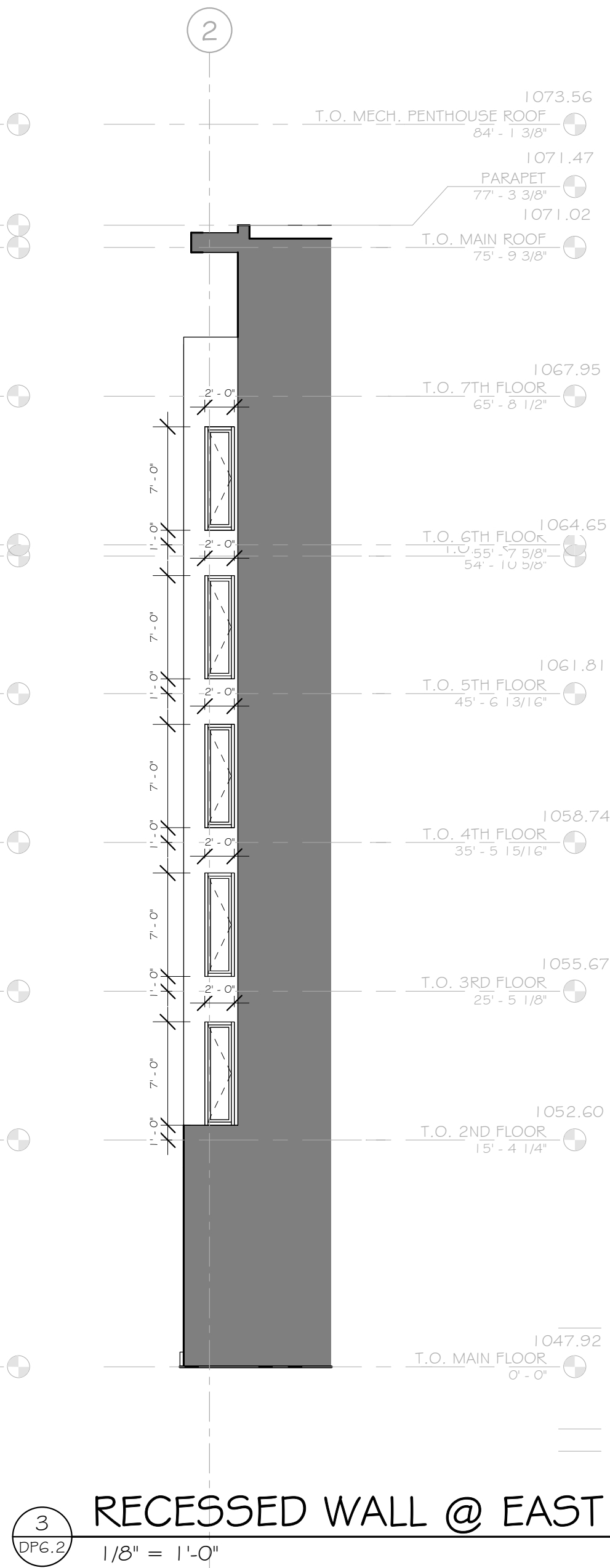
**THE WICKET
FLATS**

510 10 STREET N.W.
CALGARY, ALBERTA
LOTS 5 & 6, BLOCK 4, PLAN 24480

DRAWING DESCRIPTION:

WINDOW SCHEDULE

PLOT SCALE: AS NOTED	DRAWING NO.:
PROJECT NO.: 2021-23	DP6.1
CHECKED BY: TJ	
DRAWN BY: Author	PLOT DATE: 2023.09.14



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LOTS 5 AND 6, BLOCK 4,
PLAN 24480
MUNICIPAL ADDRESS: 510 10th ST NW, CALGARY, AB

LANDSCAPE INFORMATION:

ZONING: DC

TOTAL SITE AREA = 557.57 SQ.M.

PROPOSED BOULEVARD TREES

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	NOTES
	3	BRANDON ELM	<i>Ulmus americana</i> 'Brandon'	75 MM CAL.

PROPOSED TREES ON PRIVATE PROPERTY

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	NOTES
	3	NAVIGATOR PEAR	PIRUS 'DURP'3H303'	85 MM CAL.
	2	BLUE WONDER DWARF ALBERTA SPRUCE	PICEA GLAUCA 'BLUE WONER'	85 MM CAL.

PROPOSED SHRUBS

SYMBOL	QTY.	COMMON NAME	BOTANICAL NAME	NOTES
	4	"BLUE STAR" JUNIPER	<i>Juniperus Squamata</i> "BLUE STAR"	HEIGHT 60-90CM SPREAD 90-120 CM PLANT @ 600 MM O.

GENERAL NOTES:

THIS DRAWINGS IS FOR DEVELOPMENT PERMIT PURPOSES ONLY AND IS NOT INTENDED FOR CONSTRUCTION.

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CALGARY STANDARD SPECIFICATIONS LANDSCAPE CONSTRUCTION CURRENT EDITION.

- ALL PLANTING TO CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION.

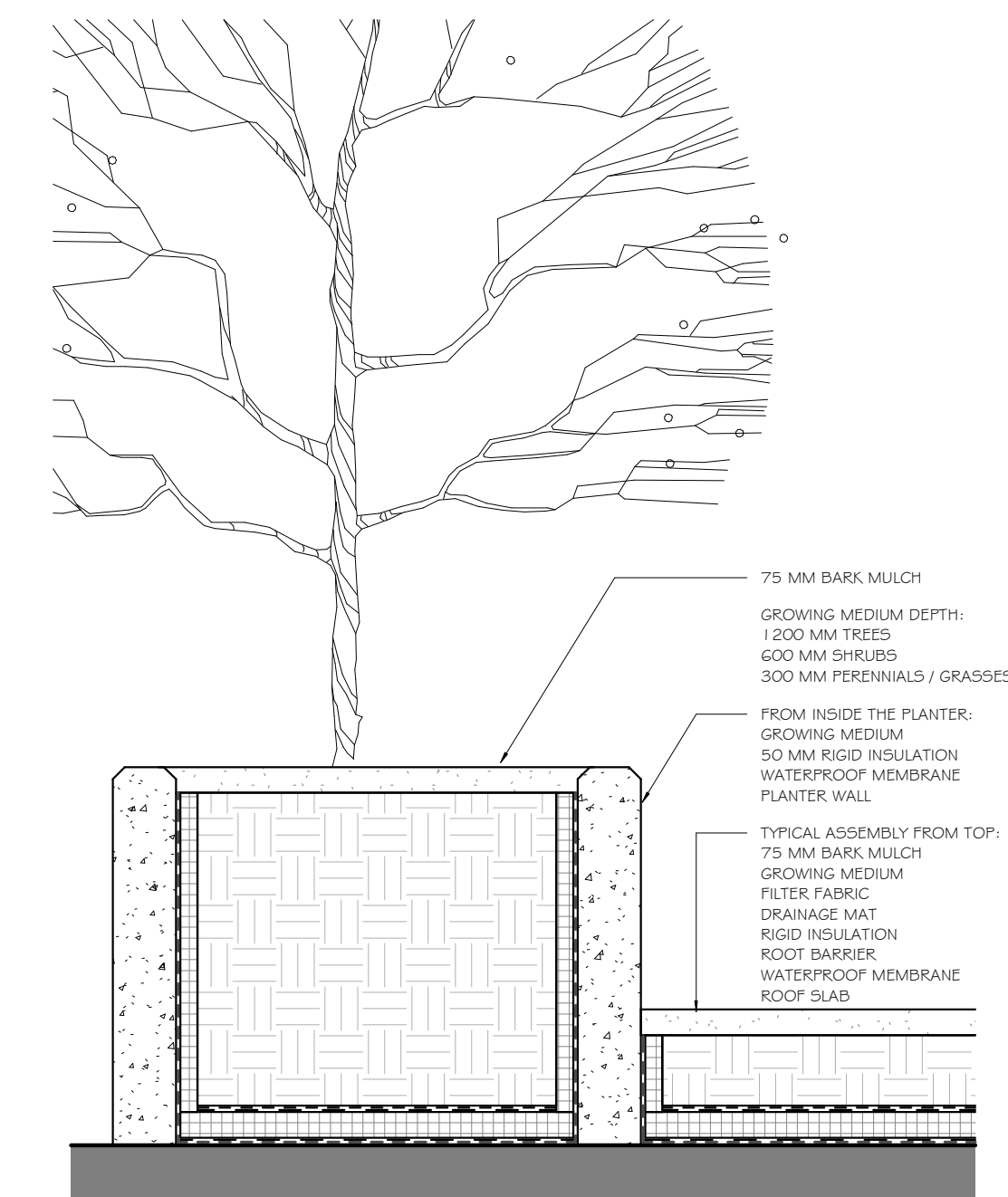
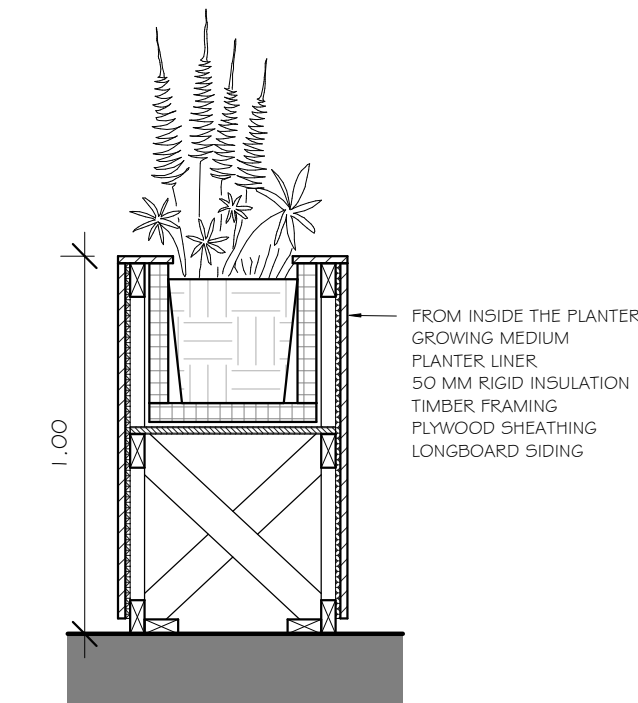
- ALL PLANTERS TO BE MULCHED.

- ALL DIMENSIONS IN METERS EXCEPT WHERE NOTED OTHERWISE.

- DO NOT SCALE DRAWINGS.

IRRIGATION:

ALL SOFT LANDSCAPE AREAS WILL BE IRRIGATED. THE SYSTEM WILL INCLUDE: A RAIN SENSOR OR SOIL MOISTURE SENSOR; A FLOW SENSOR FOR LEAK DETECTION; AND A MASTER VALVE TO SECURE THE SYSTEM IF A LEAK IS DETECTED.



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PROJECT:

THE WICKET FLATS

510 10 STREET N.W.
CALGARY, ALBERTA
LOTS 5 & 6, BLOCK 4, PLAN 24480

DRAWING DESCRIPTION:

LANDSCAPE PLAN

PLOT SCALE:	AS NOTED	DRAWING NO.: DPL.1
PROJECT NO.:	2021-23	
CHECKED BY:	TJ	
DRAWN BY:	Author	
		PLOT DATE: 2023.09.14