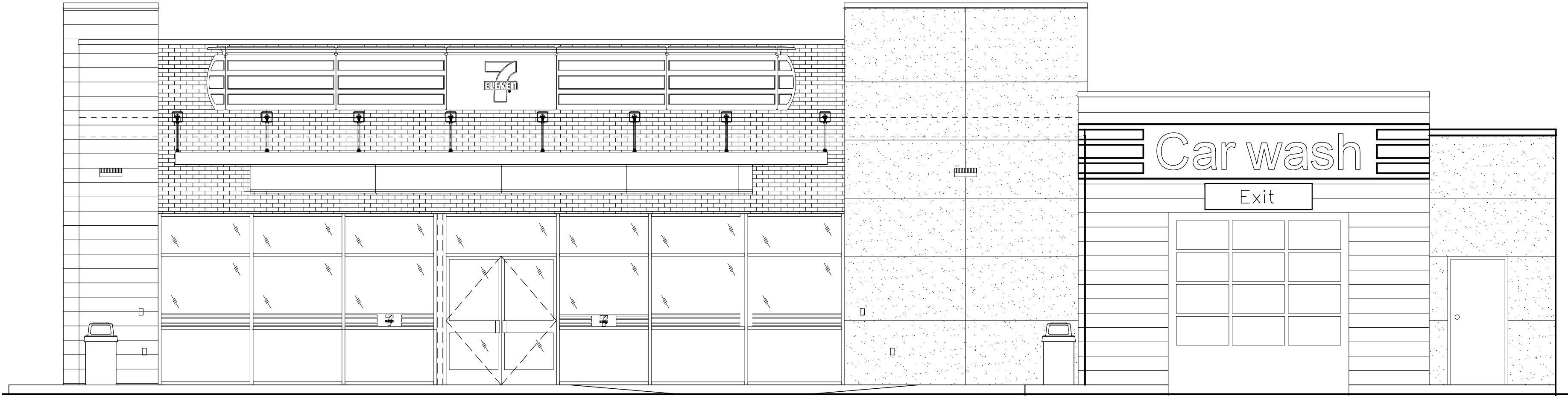




7-ELEVEN
CONVENIENCE STORE
WITH EXISTING CAR WASH
4700 16TH AVE N.W.
CALGARY, AB



DRAWING LIST	
DWG. NO.	DRAWING TITLE
CS	COVER PAGE
	SITE PLAN & DETAILS
SUR	SURVEY SITE PLAN
SP0	DEMOLITION SITE PLAN
SP1	PROPOSED SITE PLAN
SP2	PROPOSED VEHICLE PATH - FUEL TRUCK
SP2A	PROPOSED VEHICLE PATH - CUSTOMERS
SP2B	PROPOSED VEHICLE PATH - DELIVERY TRUCK
SP2C	PROPOSED VEHICLE PATH - FIRE FIGHTING TRUCK
SP2D	PROPOSED VEHICLE PATH - WASTE COLLECTION
SP5	MISCELLANEOUS YARDS DETAILS
SG1	SITE GRADING PLAN
SM1	SITE MECHANICAL PLAN
SM2	SITE MECHANICAL DETAILS
SWM	PROPOSED STORM WATER MANAGEMENT PLAN
SCS	SITE CROSS SECTIONS & DRIVEWAY DETAILS
SL1	SITE LANDSCAPING PLAN
SR-35177	SITE PHOTOMETRIC PLAN
	ARCHITECTURAL DRAWINGS
A1.0	EXISTING SITE PHOTOS
A1.0A	EXISTING SITE PHOTOS
A2.0	PROPOSED FLOOR PLAN
A3.0	PROPOSED EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS
A4.0	PROPOSED BUILDING SECTIONS

7-ELEVEN, INC.
ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221

7-11 #1044452
4700 16TH AVENUE N.W.
CALGARY, AB.

COVER SHEET

210, 340 Midpark Way SE, Calgary, Alberta, T2X 1P1
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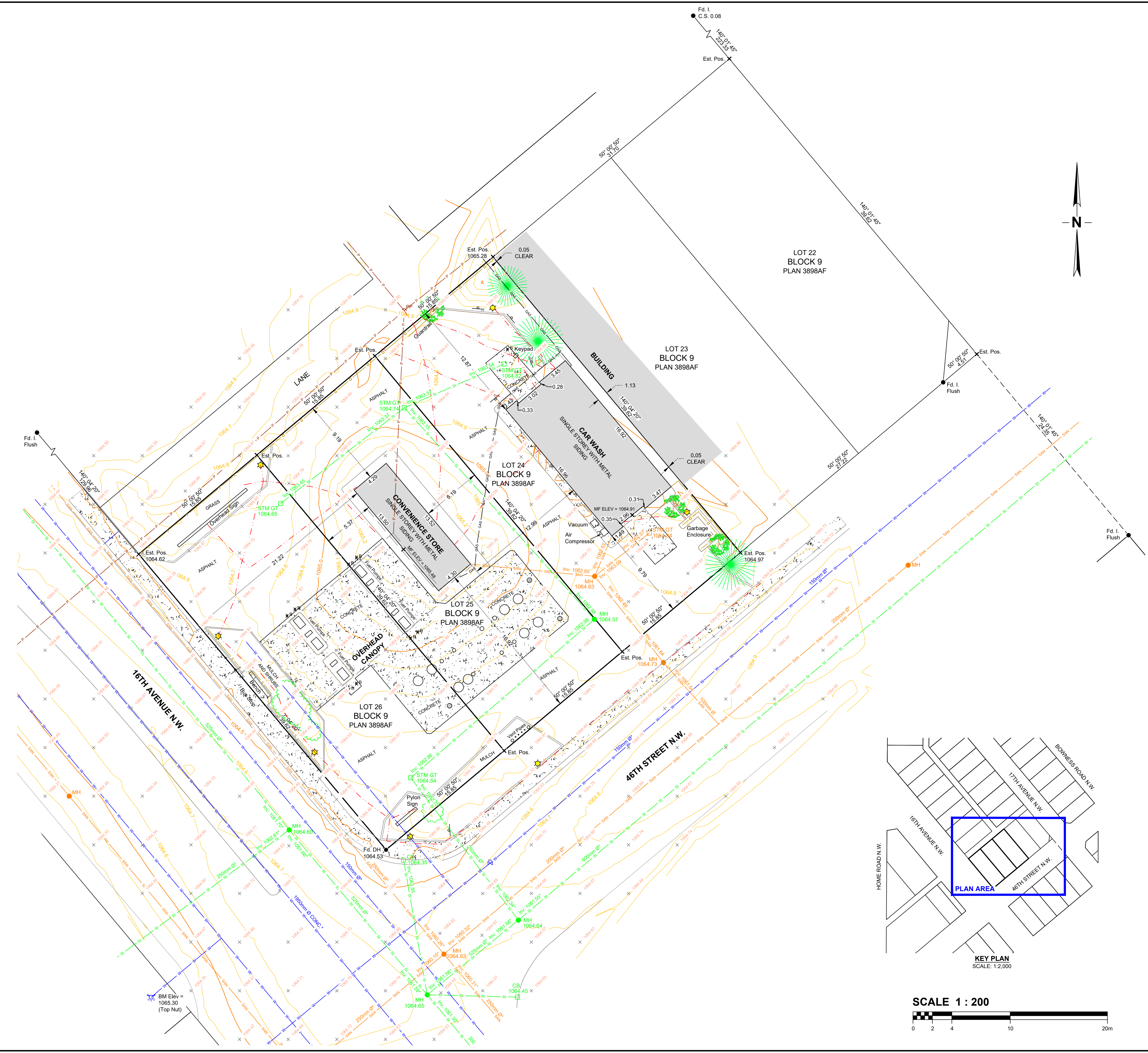
Job#: 18160
Scale: AS NOTED
Date: 2020-08-18
Drawn By: KK
Checked By: ST

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SHEET:

CS

Rev. #	Date	Description
1	08-28-20	ISSUED FOR DEVELOPMENT PERMIT
2	11-29-21	RE-ISSUED FOR DEVELOPMENT PERMIT
3	01-19-22	RE-ISSUED FOR DEVELOPMENT PERMIT



LEGEND & NOTES :

ELEVATIONS ARE GEODETIC DERIVED FROM A.S.C.M. 251975
ELEVATION = 1063.749m

DISTANCES AND ELEVATIONS SHOWN ARE IN METRES AND DECIMALS THEREOF.

BEARINGS ARE 3TM GRID NAD 83 (ORIGINAL) REFERENCE MERIDIAN 114°, DERIVED FROM GNSS OBSERVATIONS

COMBINED SCALE FACTOR: 0.999737

AREA OF INTEREST SHOWN THUS

ELEVATIONS ARE SHOWN THUS

STATUTORY IRON POSTS FOUND SHOWN THUS

DRILL HOLE FOUND SHOWN THUS

CALCULATED POSITIONS SHOWN THUS

LAMP POSTS SHOWN THUS

SIGNS SHOWN THUS

DECIDUOUS TREES SHOWN THUS

CONIFEROUS TREES SHOWN THUS

STORM MANHOLES SHOWN THUS

SANITARY MANHOLES SHOWN THUS

STORM GRATE SHOWN THUS

CATCH BASINS SHOWN THUS

BOLLARDS SHOWN THUS

FIRE HYDRANTS SHOWN THUS

WATER VALVES SHOWN THUS

MONITORING WELL SHOWN THUS

TANK LID SHOWN THUS

POWER POLES SHOWN THUS

BUILDING EAVES SHOWN THUS

RAILING SHOWN THUS

WOODEN FENCE SHOWN THUS

SANITARY LINE SHOWN THUS

STORM SEWER LINE SHOWN THUS

WATER LINE SHOWN THUS

UNDERGROUND GAS LINE SHOWN THUS

UNDERGROUND ELECTRICAL LINE SHOWN THUS

PERPENDICULAR OFFSETS SHOWN THUS

0.50m MAJOR CONTOURS SHOWN THUS

0.10m MINOR CONTOURS SHOWN THUS

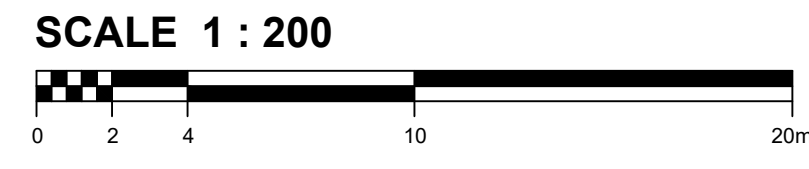
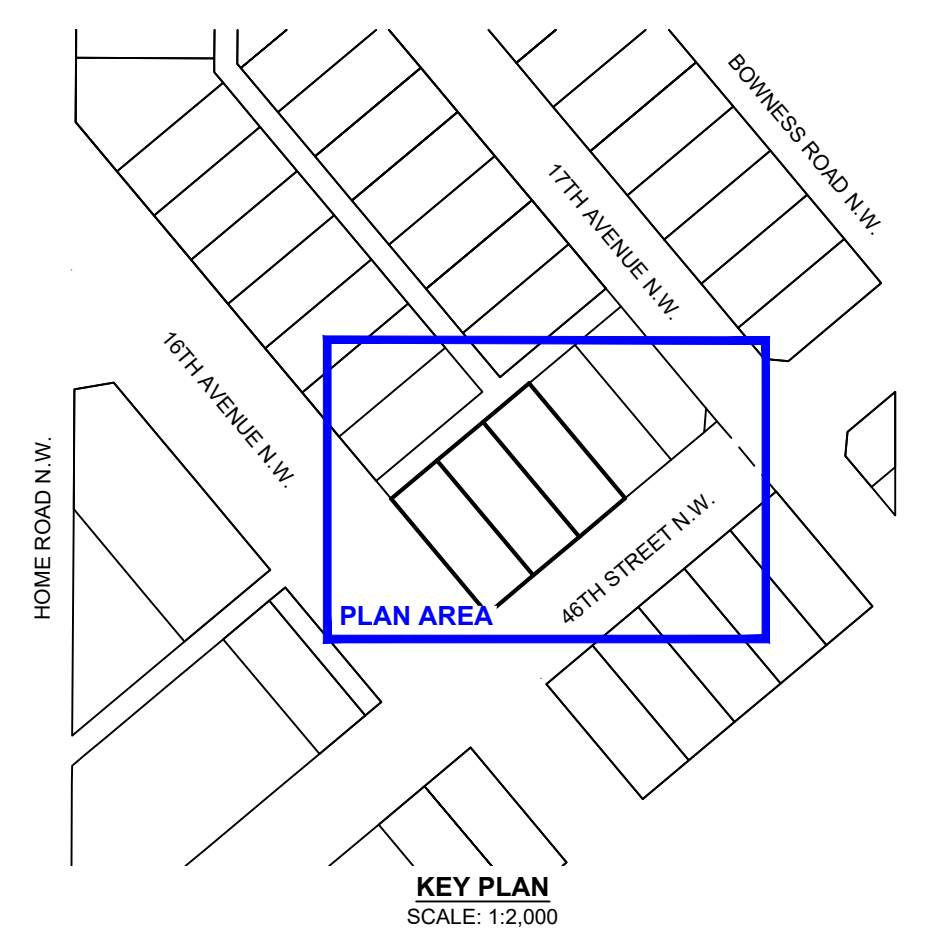
OVERHEAD POWER LINE SHOWN THUS

CURBS SHOWN THUS

SURVEY WAS PERFORMED BETWEEN MARCH 14, 2019 AND MAY 30, 2019

DEEP UTILITY INFORMATION WAS TAKEN FROM CALGARY CITY ONLINE MAPPING SERVICE. THESE ELEVATIONS ARE MARKED *.

FOR LOCATIONS OF UNDERGROUND UTILITIES, CONTACT THE UTILITY COMPANIES BEFORE EXCAVATING - (ALBERTA ONE CALL 1-800-242-3447)



**PLAN SHOWING
SITE SURVEY**

OF

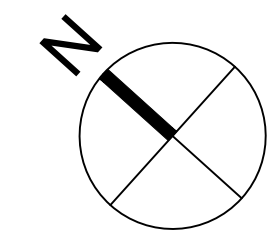
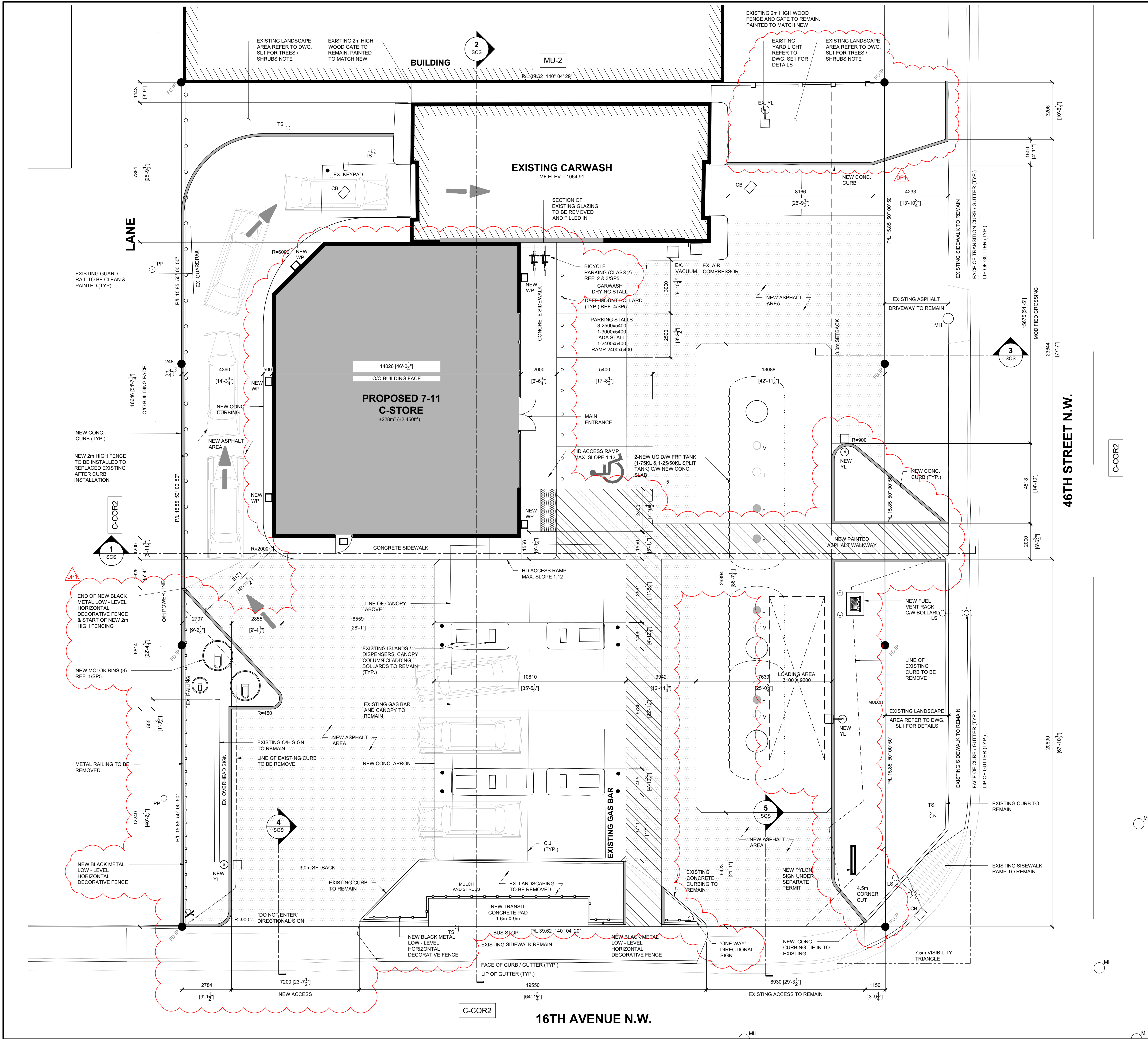
**LOTS 24-26
BLOCK 9
PLAN 3898AF**

**4700 16TH AVENUE N.W.
CALGARY, ALBERTA**

© CHALLENGER GEOMATICS LTD. 2019

Drawn by: SR	Scale: 1:200	Drawing: 41802-SS-16AVE-GROUND
Checked by: DS	Date: 2019-03-22	Date: 2019-05-30
2 ADD INVERTS		By: SR

www.challengergeomatics.com
Edmonton | Calgary | Whitehorse
Drayton Valley | Fort McMurray



SITE INFORMATION	
LEGAL DESCRIPTION LOTS 24, 25 AND 26 BLOCK 9 PLAN 3888 A.F.	
MUNICIPAL ADDRESS 4700 16 AVENUE NW, CALGARY, ALBERTA	
ZONING C-COR 2	
AREAS: SITE AREA: = 1.862m² (0.46 ACRES) EXISTING GAS BAR AREA: = 153m² (1.647P) EXISTING CARWASH AREA: = 131m² (1.410P) NEW C-STORE AREA: = 228m² (2.450P) TOTAL USE AREA: = 512m² (5.511P) MAX ALLOWABLE USE AREA: = 930m² (10.010P)	
YARDS & SETBACKS FRONT SETBACK (16 AVENUE) = 3.0m FRONT SETBACK (46TH STREET) = 3.0m REAR SETBACK (NE) = 0.0m REAR SETBACK (NW) = 0.0m	
PARKING PROVIDED: REGULAR: SIZE: 2700 x 5500 COUNT: = 4 STALLS BARRIER FREE: 4000 x 5500 = 1 STALL TOTAL PARKING PROVIDED: = 5 STALLS LOADING STALL: 3100 x 9200	

LEGEND	
IRON SURVEY POST FOUND	Fd,IP
MANHOLE	MH
CATCH BASIN	CB
FIRE HYDRANT	FH
POWER POLE	PP
TRAFFIC LIGHT	TL
TRAFFIC SIGN/SIGN POST	TS
POWER POLE / LIGHT STANDARD	PP/LS
LIGHT STANDARD (SGL)	YL
TELEPHONE PEDESTAL	TP
EXISTING CONC. CURBS	
NEW CONC. CURBS	
NEW HEAVY DUTY ASPHALT APPROXIMATE AREA 910.5 SQ. M.	

GENERAL NOTES	
1. ALL DIMENSIONS ARE IN MILLIMETERS U.N.O.	
2. DO NOT SCALE DRAWING.	
3. SURVEY DRAWINGS WAS PROVIDED BY CHALLENGER GEOMATICS LTD. DWG. # 41802-SS-16AVE-GROUND, DATED 2019-03-26.	
4. ALL SITE DIMENSIONS ARE SUBJECT TO VERIFICATIONS	

EXTERIOR LIGHTING				
	MODEL	MAX W.	HEIGHT	
YARDLIGHT LED STREET/AREA LUMINAIRE	XS-PLG-4ME	184W	20'-0"	YL 
	XS-PLG-4ME-2	184W		
LED WALL MOUNT LUMINAIRE	XSPW	31W	11'-4"	WP 

Rev. #	Date	Description
DP1	09-28-20	ISSUED FOR DEVELOPMENT PERMIT
DP1	11-03-21	RE-ISSUED FOR DEVELOPMENT PERMIT

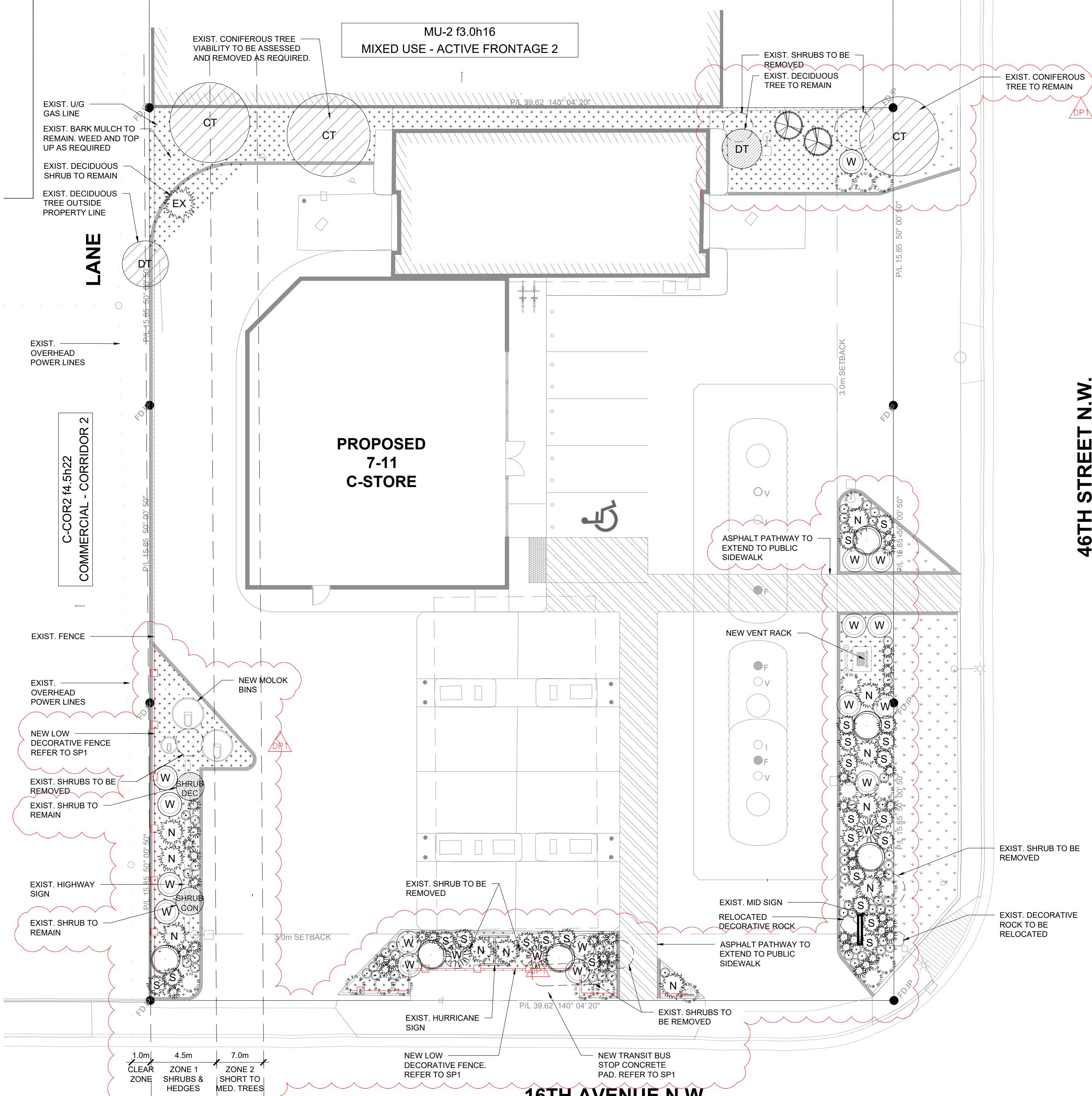
7-ELEVEN, INC.	ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221
7-11 #1044452	
4700 16TH AVENUE NW	
CALGARY, AB.	
PROPOSED SITE PLAN	

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Job#:	18160
Scale:	1:100
Date:	2020-07-24
Drawn By:	ED
Checked By:	ST

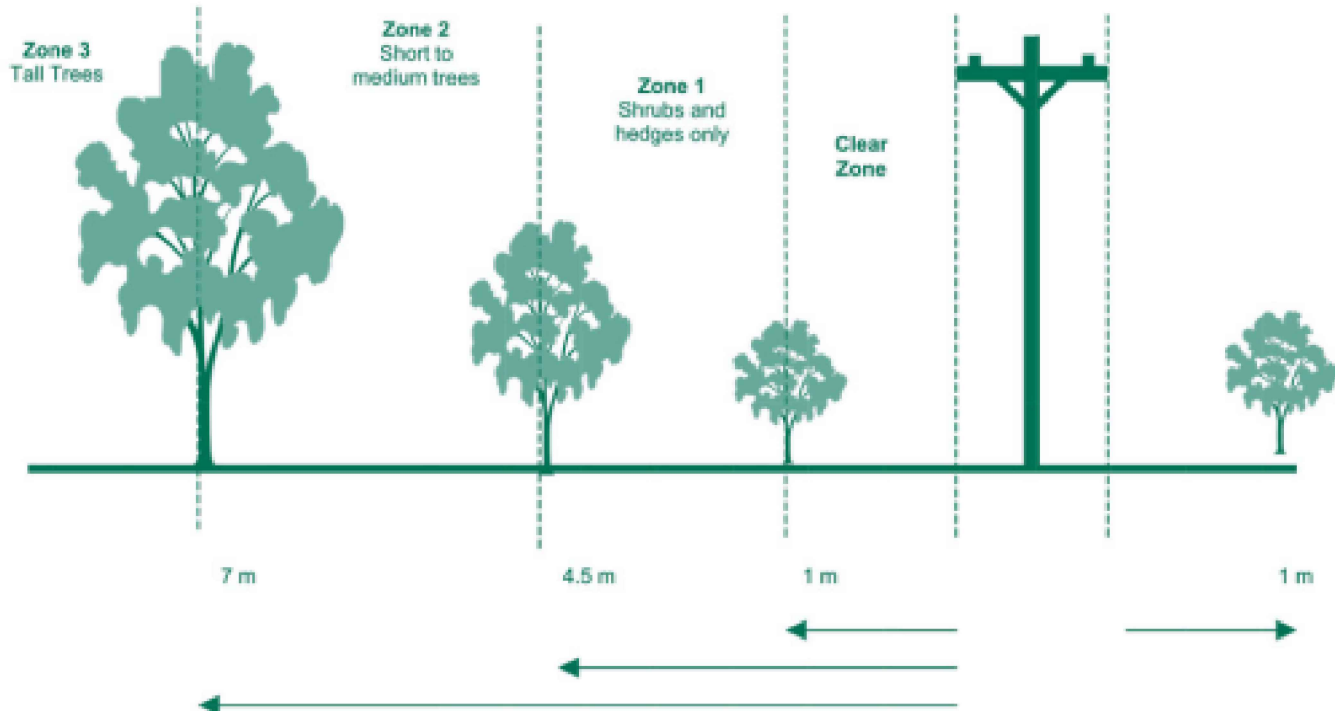
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SHEET:	SP1
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1 SITE LANDSCAPING PLAN

SL1 SCALE: 1:150



2 ENMAX PLANTING DESIGN AT OH POWER LINES

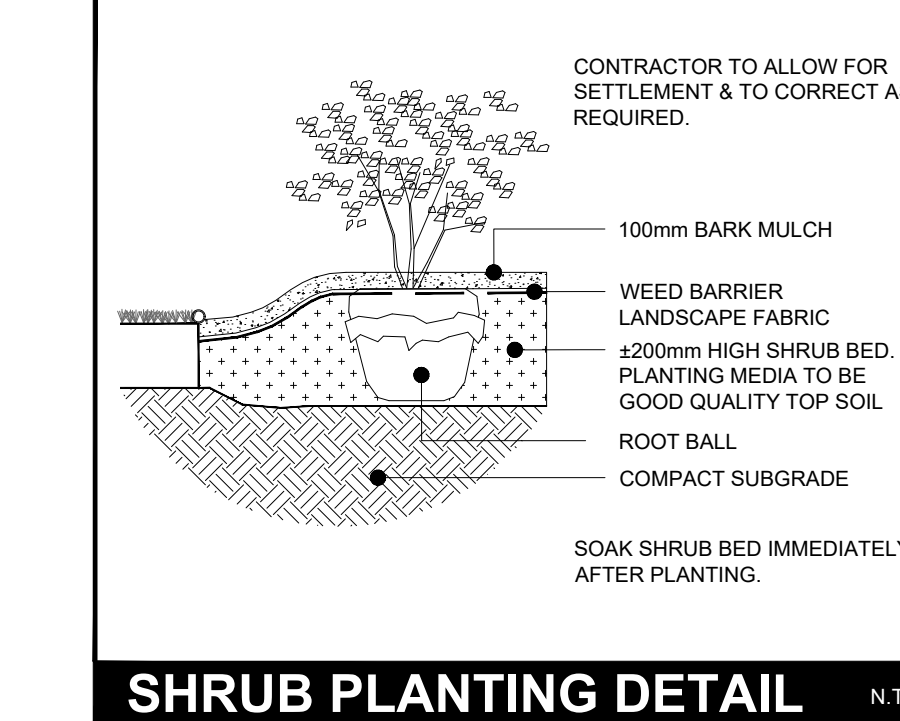
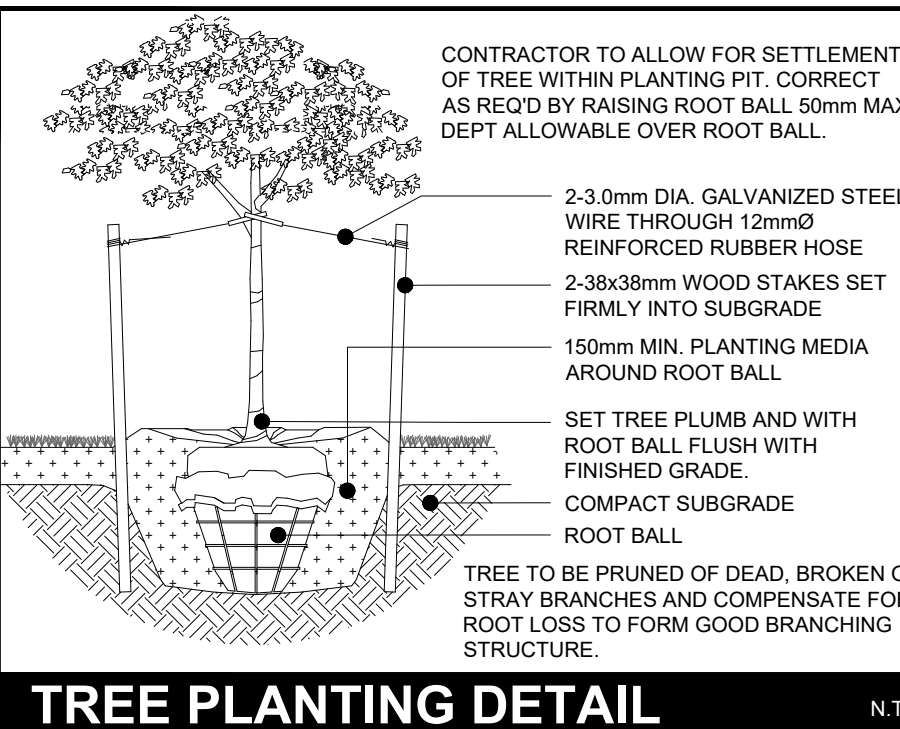
SL1 SCALE: NTS

GENERAL NOTES:

- ALL PLANTED SPECIES TO CONFORM TO SPECIFICATIONS AS PER LOCAL NURSERY TRADE ASSOCIATION, MUNICIPALITIES, TOWNSHIPS AND ABORIGINAL COUNCILS. ALL TREES & SHRUBS TO BE LOCALLY GROWN, ALBERTA STOCK, MEETING CMTA & LANTA STANDARDS.
- ALL DEPICTED PLANTED SPECIES ARE ILLUSTRATED AT FULL MATURITY
- ALL TREE PITS & SHRUB BEDS TO BE PREPARED TO 450mm DEPTH (MIN.) OR TO DESIRED PLANTING DEPTH USING COMPOST MIX:
 - 1/3 SCREENED TOPSOIL
 - 1/3 PEAT MOSS
 - 1/3 WELL ROTTED MANURE
- FINISHED GRADE TO BE COMPLETE w/ 75mm THICK DOUGLAS FIR BARK MULCH.
- PROVIDE CLEANLINE BLACK ALUMINUM (BURNCO - PART # H2007) EDGING BETWEEN ROCK MULCH AREAS & ADJOINING SHRUB BEDS.
- ALL UTILITIES TO BE LOCATED BY CONTRACTOR PRIOR TO INSTALLATION OF PLANT MATERIAL.
- CONTRACTOR TO VERIFY ALL QUANTITIES PRIOR TO CONSTRUCTION & NOTIFY OWNER'S REP. OF ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BOULEVARD LANDSCAPED AREAS, PAVEMENT, CONCRETE, UTILITIES & ANY OTHER ITEMS OR AREAS THAT ARE TO REMAIN & MUST MAKE ALL NECESSARY RESTORATIONS & REPAIRS AT THE CONTRACTOR'S EXPENSE & TO THE OWNER'S SATISFACTION
- CONTRACTOR IS RESPONSIBLE FOR HAULING OF ALL EXCESS OR UNSUITABLE MATERIALS OFF SITE & PAY ALL COSTS & FEES ASSOCIATED THEREWITH.
- REVIEW OF PLANT MATERIAL BY OWNER'S REPRESENTATIVE AT SOURCE IS RECOMMENDED. PLANT MATERIAL MAY STILL BE REJECTED IF IT SHOWS SIGNS OF DAMAGE DURING TRANSPORT.
- LAYOUT TREE & SHRUB BED LOCATIONS & RECEIVE APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR TO ROUGH GRADE ALL LANDSCAPE AREAS. ROUGH GRADING OF AREAS SHALL BE AS FOLLOWS:
 - 125mm BELOW FINISHED GRADE FOR GRASSED AREAS
 - 150mm BELOW ROOT BALLS FOR TREES
 - 200mm BELOW FINISHED GRADE FOR SHRUBS
- ALL PLANT MATERIAL TO HAVE A ONE YEAR MAINTENANCE & WARRANTY PERIOD STARTING FROM THE APPROVAL OF THE CONSTRUCTION COMPLETION DATE (SEE OWNER'S SPECIFICATION).
- CONTRACTOR IS RESPONSIBLE FOR GENERAL SITE CLEANUP & FOR ANY SEDIMENT TRACING OFF SITE.
- ALL CONSTRUCTION INSIDE PROPERTY LINES IS NEW.

LOW WATER IRRIGATION

ALL SOFT LANDSCAPED SHRUB & TREE BED AREAS SHALL BE IRRIGATED BY UNDERGROUND DRIP SYSTEM. THE GENERAL CONTRACTOR SHALL OBTAIN A SHOP DRAWING AND A COMPLETE COST FOR THE TOTAL SYSTEM.



SURFACING LEGEND:

PRODUCT	AREA	PRODUCT
BARK MULCH		100mm THICK DOUGLAS FIR BARK MULCH LOCATED ON ALL TREE & SHRUB BEDS AND WHERE INDICATED
SOD	±250.00m²	EXISTING TO REMAIN

SITE INFORMATION

LOTS 24, 25 AND 26 BLOCK 9 C-COR 2 f4.5h22 - COMMERCIAL
PLAN 3898 A.F. CORRIDOR 2
4700 16 AVENUE NW, SITE AREA: ±1862m²
CALGARY, ALBERTA. (±0.46 acres)
(0.186 ha.)
CALGARY PLANT HARDINESS ZONE: 4a

LANDSCAPE REQUIREMENTS

- PLANT MATERIAL MUST BE A SPECIES CAPABLE OF HEALTHY GROWTH IN CALGARY AND MUST CONFORM TO STANDARDS OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION
- 25% OF ALL TREES REQUIRED MUST BE CONIFEROUS
- ALL SOFT SURFACE LANDSCAPED AREAS MUST BE IRRIGATED BY AN U/G IRRIGATION SYSTEM UNLESS A LOW WATER IRRIGATION SYSTEM IS PROVIDED.
- WHEN A LOW WATER IRRIGATION SYSTEM IS PROVIDED, ONLY TREES AND SHRUBS MUST BE IRRIGATED AND THE EXTENT OF WATER DELIVERY MUST BE CONFINED TO THE TREE AND SHRUB AREA. SIMILAR WATER CONSUMPTION PLANTINGS ARE TO BE GROUPED TOGETHER.
- PORTIONS OF SETBACK AREAS THAT ARE PAVED FOR SIDEWALKS AND VEHICLE ACCESS, UTILITY RIGHTS OF WAY OR ANY OTHER PURPOSE ALLOWED BY THE DEVELOPMENT AUTHORITY, MUST BE INCLUDED IN THE CALCULATION OF THE REQUIRED AREA, EVEN THOUGH THEY ARE NOT CAPABLE OF SUSTAINING TREES AND SHRUBS.
- ALL SETBACK AREAS, NOT INCLUDING THOSE SPECIFICALLY REQUIRED FOR MOTOR VEHICLE ACCESS, SIDEWALKS OR ANY OTHER PURPOSE ALLOWED BY THE DEVELOPMENT AUTHORITY MUST BE A SOFT SURFACED LANDSCAPED AREA
- BUILDINGS, FINISHED GRADE OF A PARCEL AND VEGETATION WITHIN A CORNER VISIBILITY TRIANGLE MUST NOT BE LOCATED BETWEEN 0.75m AND 4.6m ABOVE THE LOWEST ELEVATION OF THE STREET.
- WHERE A SETBACK AREAS SHARES A PROPERTY LINE WITH A LRT CORRIDOR OR STREET, THE SETBACK AREA MUST:
 - BE A SOFT SURFACED LANDSCAPED AREA, AND
 - PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 50m² WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM.
- WHERE A SETBACK AREA SHARES A PROPERTY LINE WITH A LANE BUT THERE IS NO APPROVED ACCESS TO THE PARCEL FROM THE LANE OR WITH A PARCEL DESIGNATED AS COMMERCIAL, INDUSTRIAL, OR SPECIAL PURPOSE DISTRICT, THE SETBACK AREA:
 - MUST BE A SOFT SURFACED LANDSCAPED AREA, AND
 - MAY HAVE A SIDEWALK ALONG THE LENGTH OF THE BUILDING, AND
 - MUST PROVIDE A MINIMUM OF 1.0 TREES AND 2.0 SHRUBS FOR EVERY 50m² WHERE IRRIGATION IS PROVIDED BY A LOW WATER IRRIGATION SYSTEM.

STREET FACING SETBACK AREA = 112.5m²
112.5m² / 50m² = 2.25 (3) TREES REQUIRED
112.5m² / 50m² = 2.25 x 2 = 4.5 (5) SHRUBS REQUIRED

NO ACCESS LANE FACING SETBACK AREA = 8.10m²
8.10m² / 50m² = 0.16 (1) TREE REQUIRED
8.10m² / 50m² = 0.6 x 2 = 1.2 (2) SHRUB REQUIRED

REQUIRED

TREES: DECIDUOUS: 2 CONIFEROUS: 2 TOTAL: 4
SHRUBS/GRASSES: MIXED VARIETY: 7

PROVIDED

TREES: DECIDUOUS: 6 CONIFEROUS: 2 TOTAL: 7
SHRUBS: DECIDUOUS: 135 CONIFEROUS: 17 TOTAL: 152

LANDSCAPE AREA PROVIDED:

SOFT LANDSCAPING = 234.93m²
HARD LANDSCAPING = 0.0m²
TOTAL SITE LANDSCAPING PROVIDED = 234.93m² (13%)

REQUIREMENTS AT TIME OF PLANTING:

- DECIDUOUS TREES MUST HAVE A MIN CALLIPER OF 50mm AND AT LEAST 50% OF THE PROVIDED DECIDUOUS TREES MUST HAVE A MINIMUM CALLIPER OF 75mm
- CONIFEROUS TREES MUST HAVE A MIN. HEIGHT OF 2.0m AND AT LEAST 50% OF THE PROVIDED CONIFEROUS TREES MUST HAVE A MIN OF 3.0m IN HEIGHT AT THE TIME OF PLANTING.
- SHRUBS MUST BE A MIN HEIGHT OR SPREAD OF 0.6m AT THE TIME OF PLANTING

PLANT LEGEND:

DECIDUOUS TREES				MATURE		PLANTING MIN. SIZE
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD	
	6	CRATAEGUS MORDENENSIS 'TOBA'	TOBA HAWTHORNE	5.0m HEIGHT	4.0m	50mm
	1	EXISTING DECIDUOUS TREES				
CONIFEROUS TREES				MATURE		PLANTING MIN. SIZE
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD	
	2	PICEA PUNGENS 'FASTIGIATA'	COLUMNAR COLORADO SPRUCE	6.0m	1.5m	1.5m HT.
	3	EXISTING CONIFEROUS TREES				
DECIDUOUS SHRUBS				MATURE		PLANTING MIN. SIZE
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD	
	3	SALIX BRACHYCARPA 'BLUE FOX'	BLUE FOX WILLOW	1.0m HEIGHT	1.0m	#5 CONT.
	13	PHYSCARPUS OPULIFOLIUS 'DONNA MAY'	LITTLE DEVIL NINEBARK	1.25m HEIGHT	1.25m	#5 CONT.
	12	WEIGELA FLORIDA 'ALEXANDRA'	WINE & ROSES WEIGALA	1.5m HEIGHT	1.25m	#5 CONT.
	24	SPIRAEA X BUNALDA 'GOLDFLAME'	GOLDFLAME SPIREA	0.75m HEIGHT	1.0m	#2 CONT.
	33	BERBERIS THUNBERGII 'CONCORDE'	CONCORDE BARBERRY	0.6m HEIGHT	0.6m	#5 CONT.
	53	CORNUS STOLONIFERA 'KELSEY'	KELSEY DWARF DOGWOOD	0.5m HEIGHT	0.5m	#5 CONT.
	1	EXISTING DECIDUOUS SHRUB				
CONIFEROUS SHRUBS				MATURE		PLANTING MIN. SIZE
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPREAD	
	18	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	0.6m	1.0m	#2 CONT.
	1	EXISTING CONIFEROUS SHRUB				

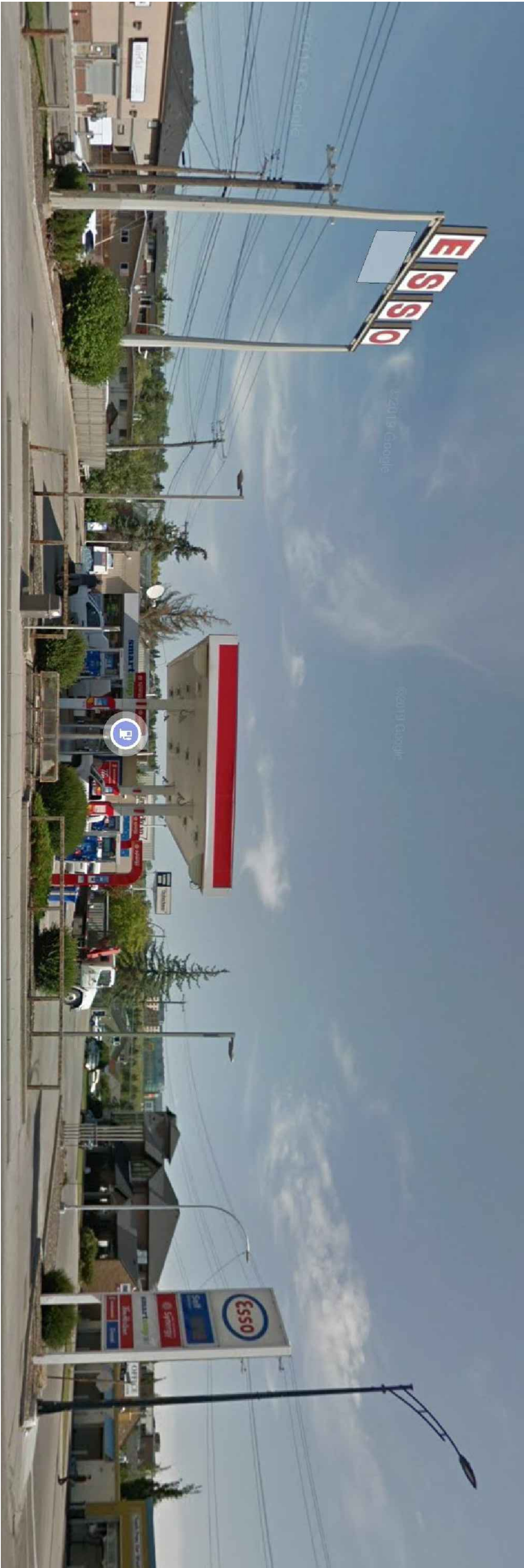
7-ELEVEN, INC.
ONE ARTS PLAZA, 1722 SOUTH STREET, DALLAS, TEXAS 75221
7-11 #1044452
4700 16TH AVENUE NW
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SITE LANDSCAPING PLAN

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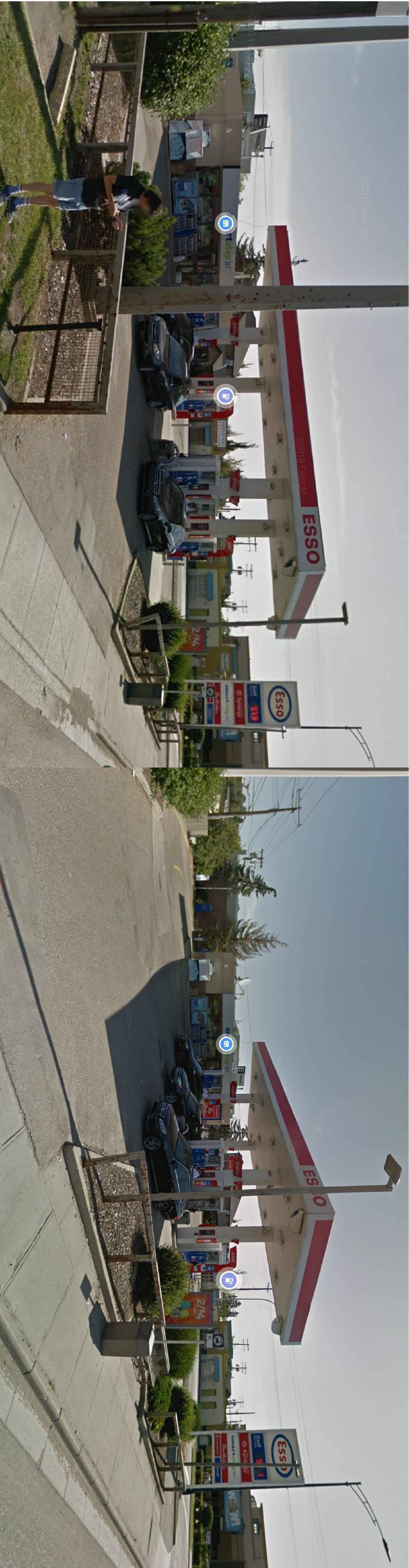
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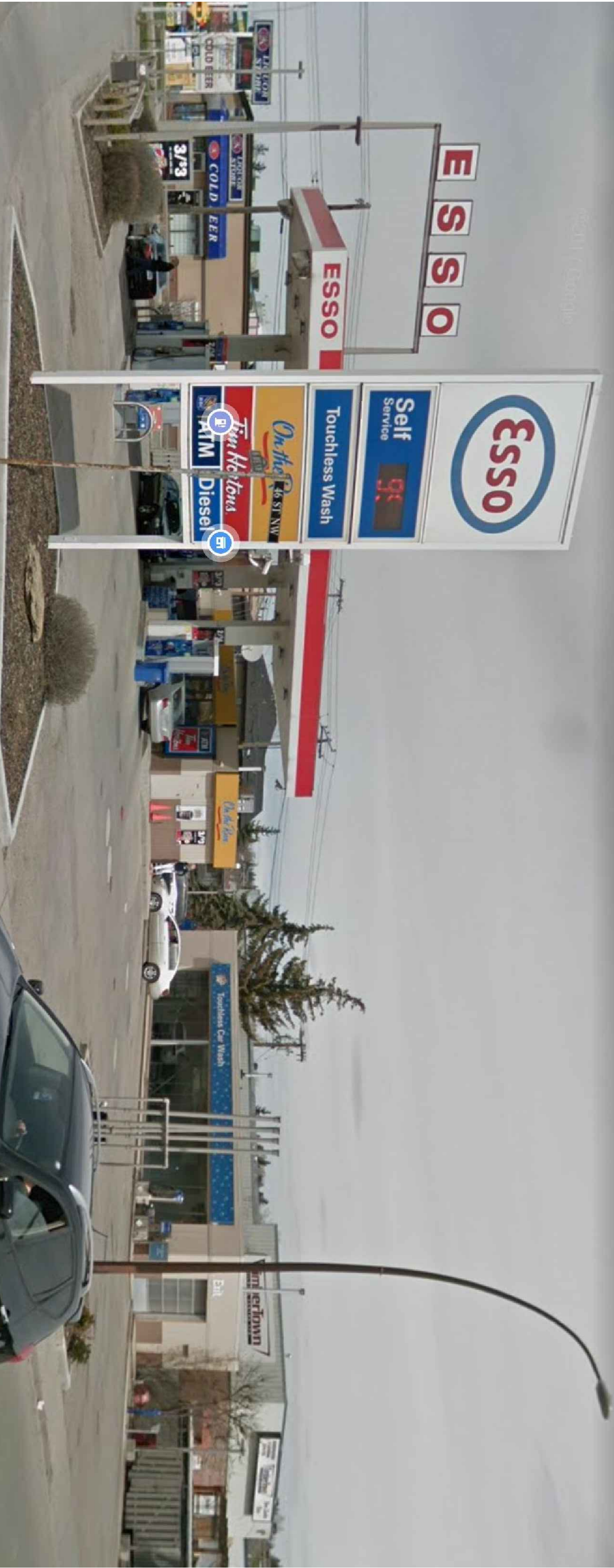
SHEET: SL1



1 WEST LOT FACE
NTS



2 NORTHWEST LOT CORNER
NTS



3 SOUTHWEST LOT CORNER
NTS

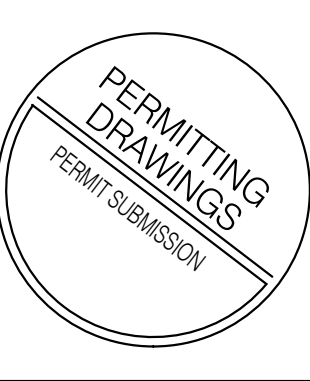
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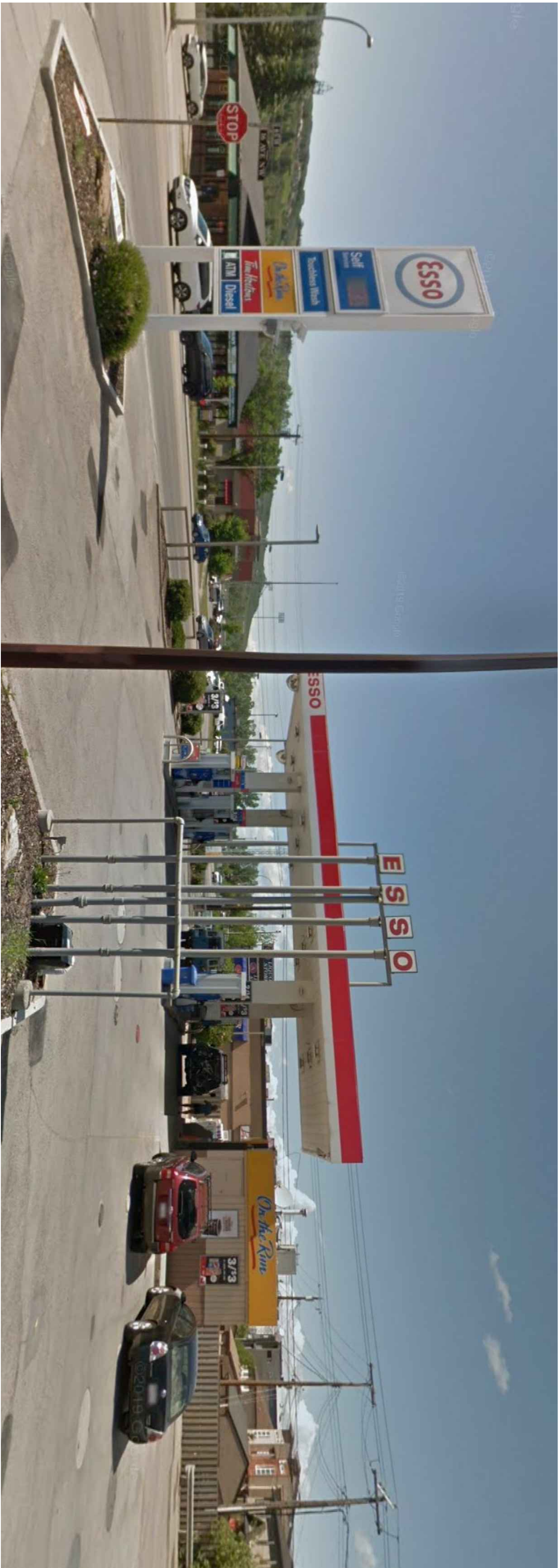
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ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221
7-11 #1044452
4700 16TH AVENUE N.W.
CALGARY, AB.
EXISTING SITE PHOTOS



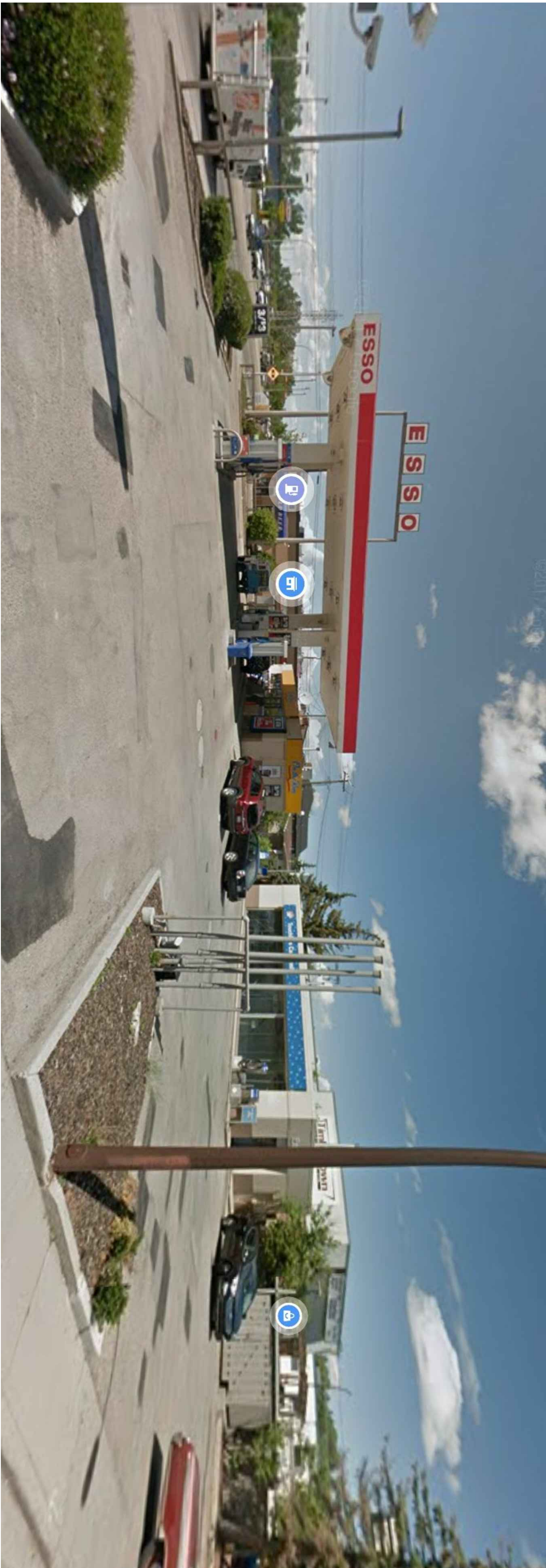
Job#:	18160
Scale:	AS NOTED
Date:	2020-08-20
Drawn By:	KK
Checked By:	ST

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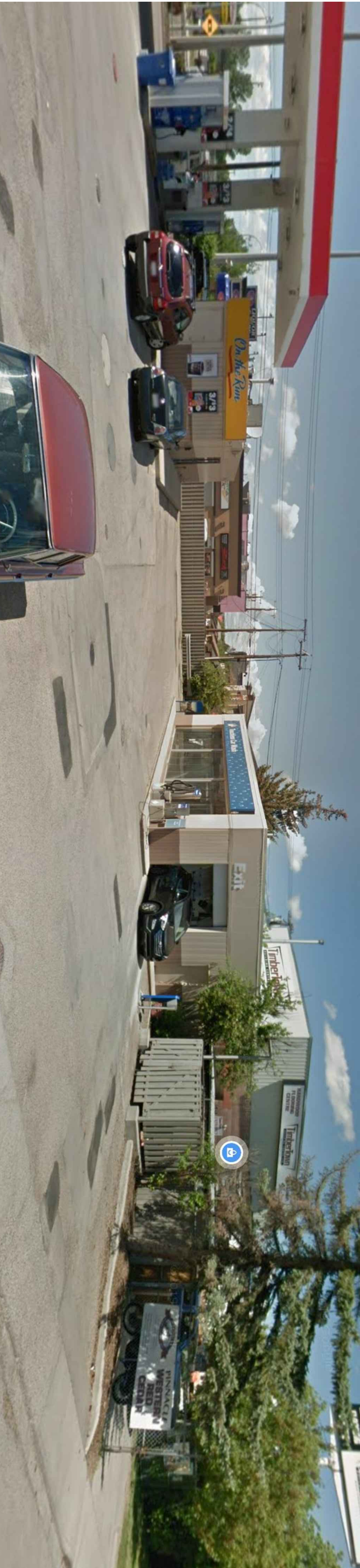




1
NTS
SOUTHWEST LOT CORNER



2
NTS
SOUTH LOT CORNER



3
NTS
SOUTHEAST LOT CORNER

Rev. #	Date	Description
1	08-28-20	ISSUED FOR DEVELOPMENT PERMIT

7-ELEVEN, INC.
ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221

7-11 #1044452
4700 16TH AVENUE N.W.
CALGARY, AB.

EXISTING SITE PHOTOS

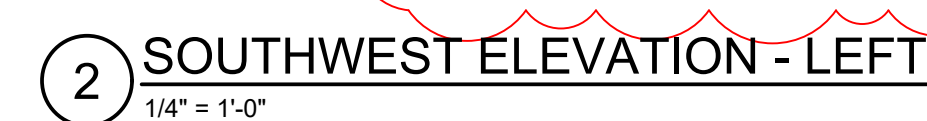


Job#: 18160
Scale: AS NOTED
Date: 2020-08-20
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Checked By: ST

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A1.0A



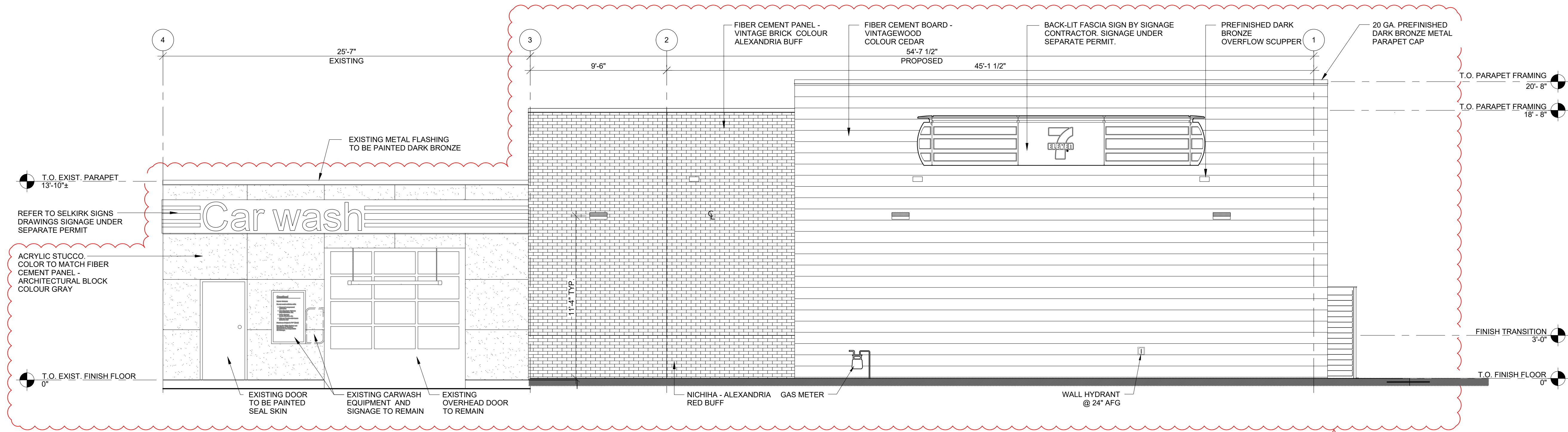
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A3.0

7-ELEVEN, INC. ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221	7-11 #1044452 4700 16TH AVENUE N.W. CALGARY, AB.	EXTERIOR ELEVATIONS
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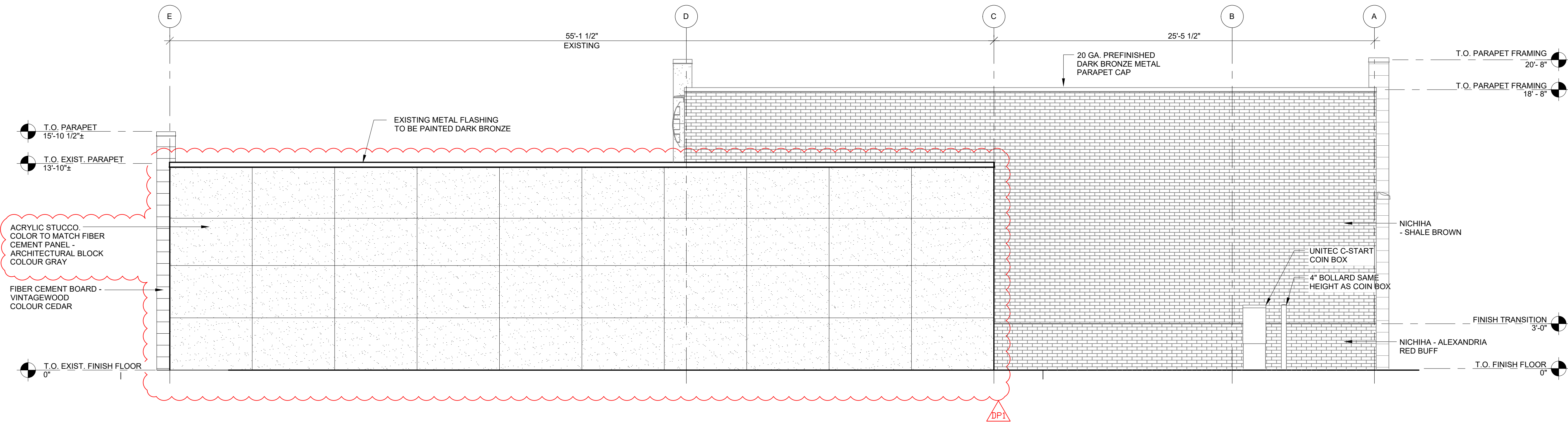


Job#:	18160
Scale:	AS NOTED
Date:	2020-07-21
Drawn By:	KK
Checked By:	ST

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1 NORTHWEST ELEVATION - REAR
1/4" = 1'-0"



2 NORTHEAST ELEVATION - RIGHT
1/4" = 1'-0"

DP1

EXTERIOR LIGHTING					
	MODEL	MAX W.	HEIGHT		
LED WALL MOUNT LUMINAIRE	XSPW	31W	11'-4"		

Description	ISSUED FOR DEVELOPMENT PERMIT
	RE-ISSUED FOR DEVELOPMENT PERMIT
Date	08-28-20
	03-09-21
Rev. #	1
	DP1
7-ELEVEN, INC.	
ONE ARTS PLAZA, 1722 ROUTH STREET, DALLAS, TEXAS 75221	
7-11 #1044452	
4700 16TH AVENUE N.W.	
CALGARY, AB.	
EXTERIOR ELEVATIONS	
Job#:	18160
Scale:	AS NOTED
Date:	2020-07-24
Drawn By:	KK
Checked By:	ST
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SHEET: A3.1	